

NOTES:

ELECTRIC, CABLE AND TELEPHONE SERVICES ARE TO BE PROVIDED UNDERGROUND TO THE NEW BUILDING. REFER TO PLUMBING PLANS FOR UTILITY SERVICE CONNECTION LOCATIONS AT THE BUILDING PRIOR TO BEGINNING SITE INSTALLATION.

4" DOMESTIC WATER LINE TO BE CLASS 52 DUCTILE IRON
6" SPRINKLER WATER LINE TO BE CLASS 52 DUCTILE IRON

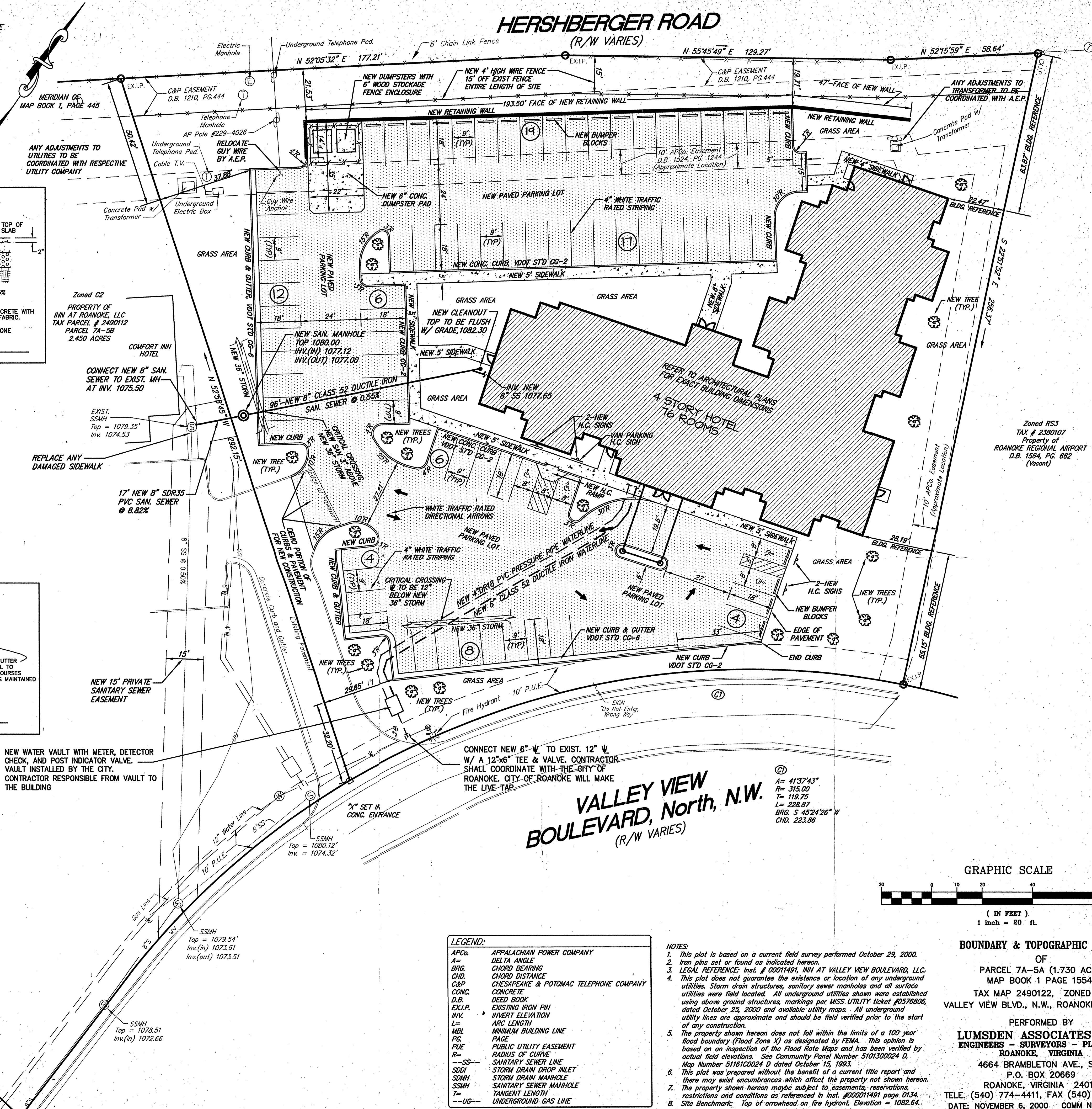
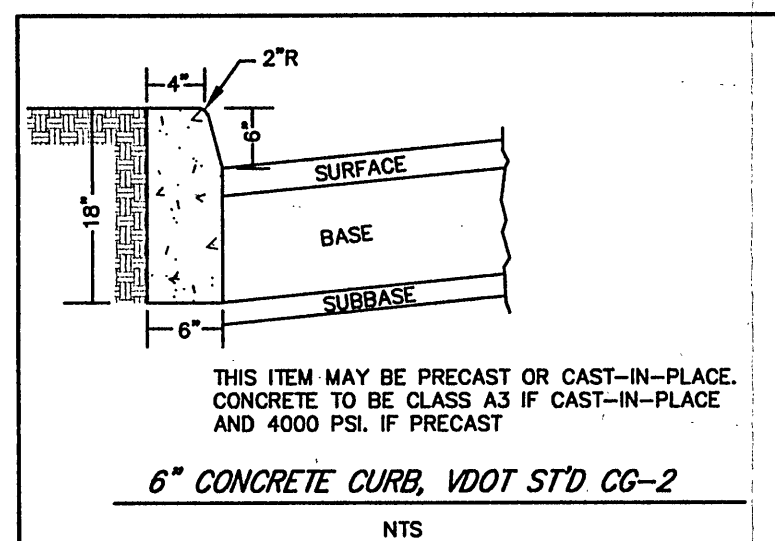
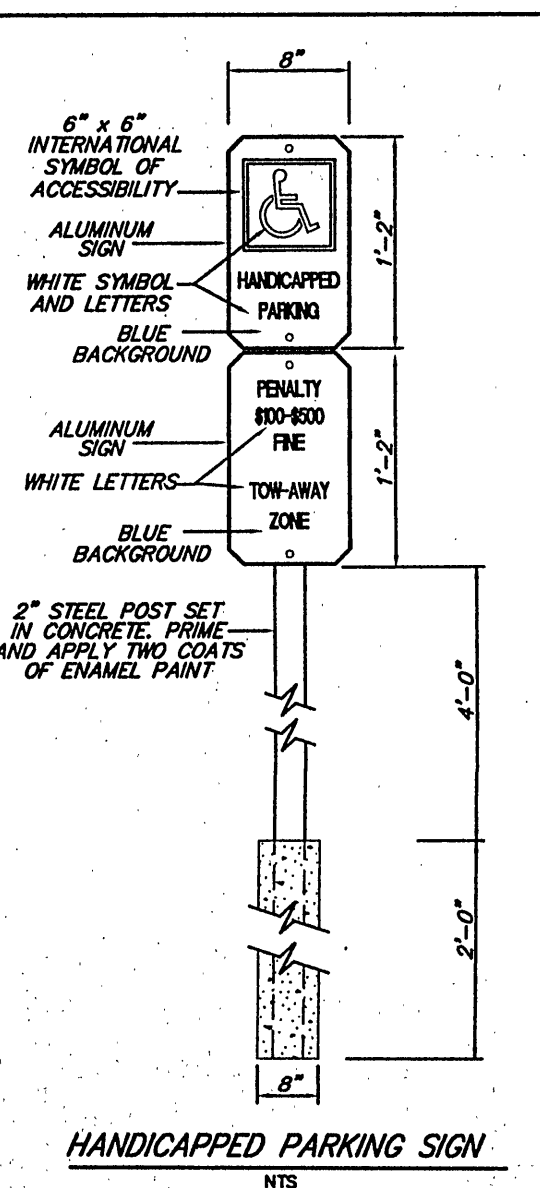
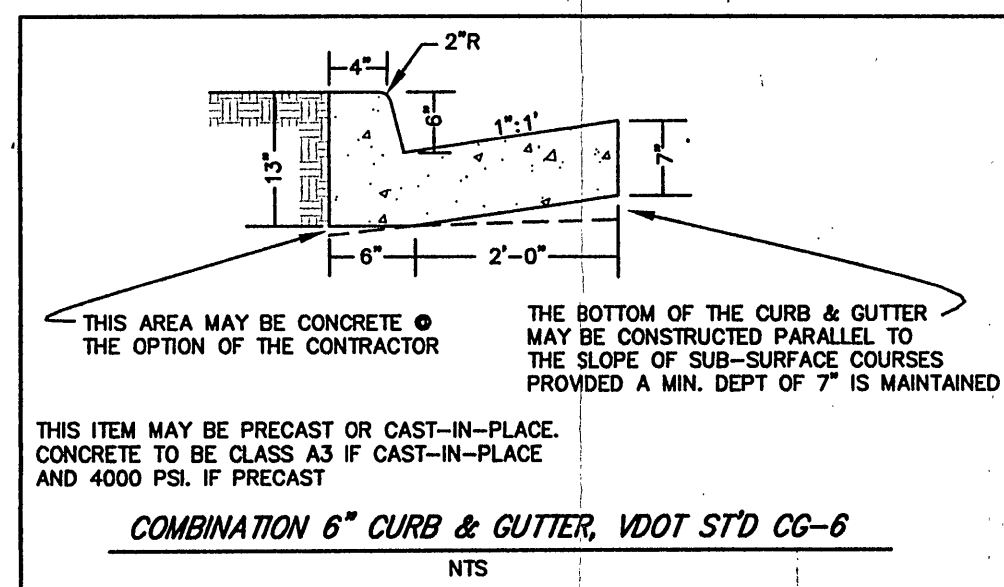
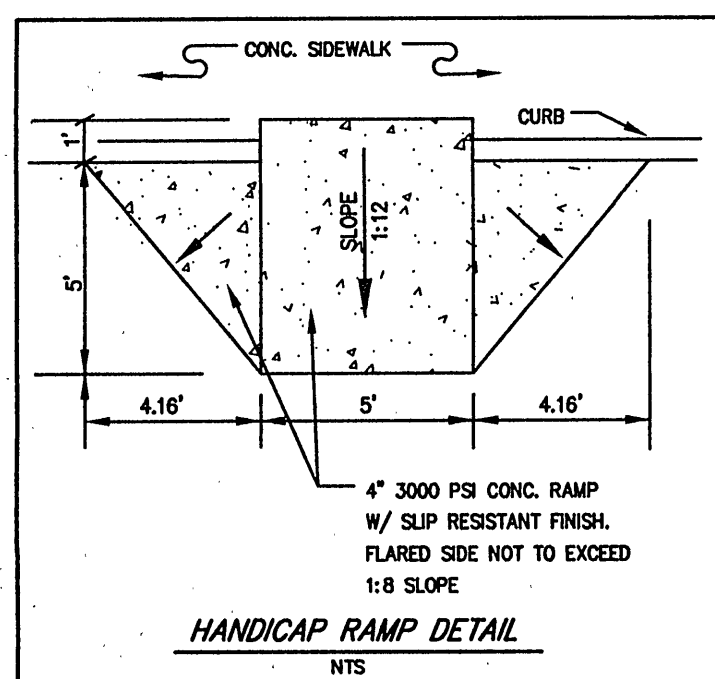
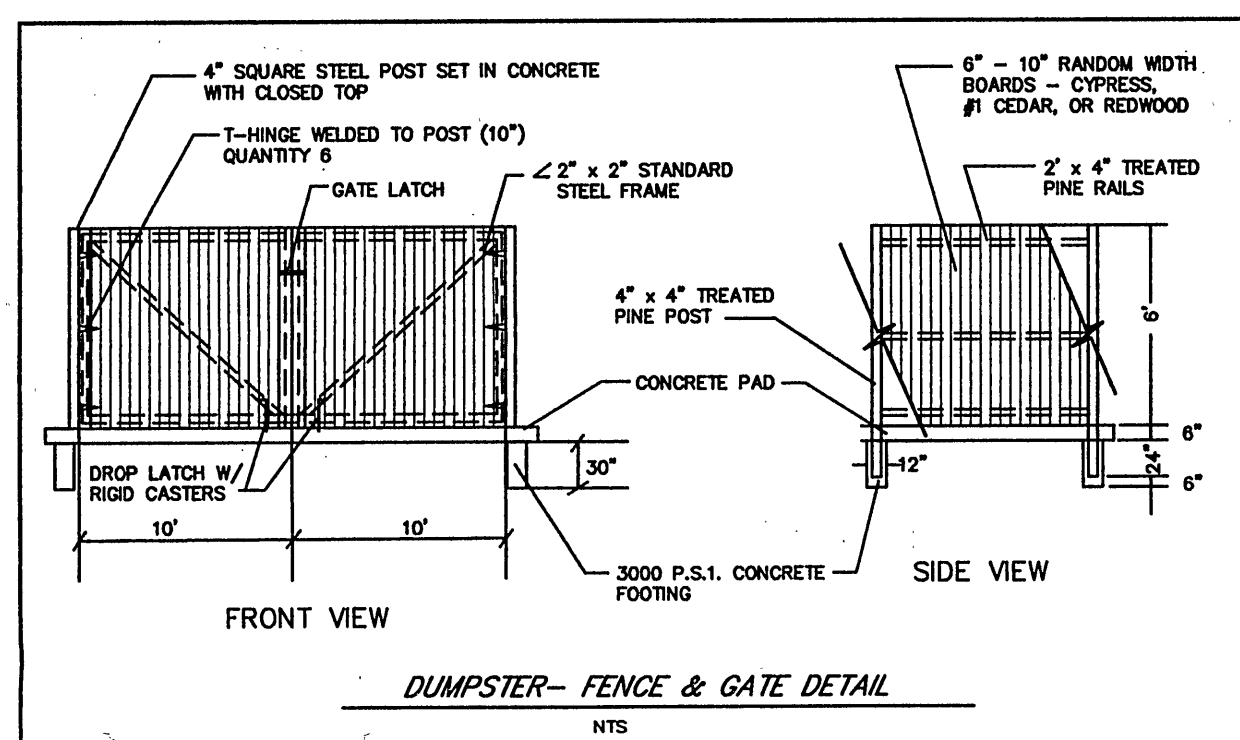
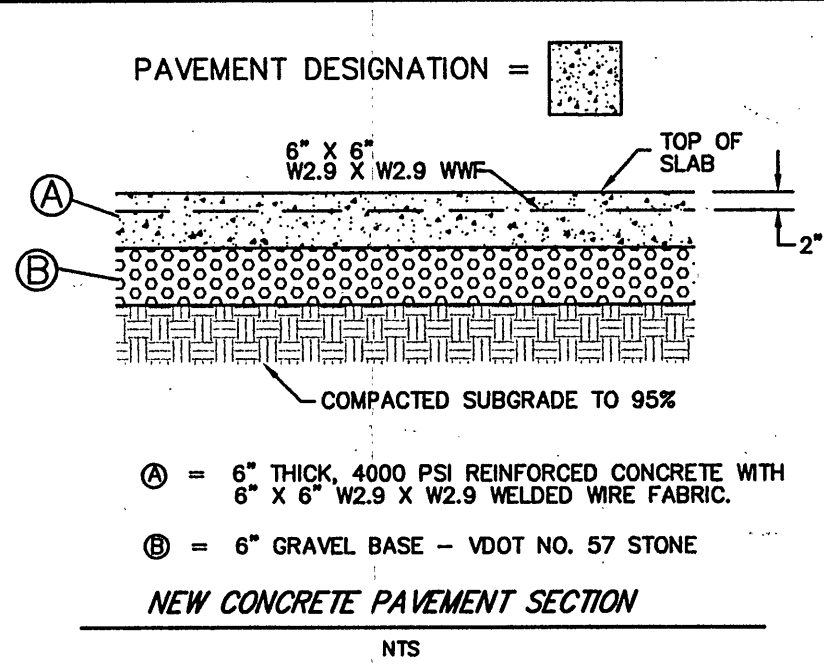
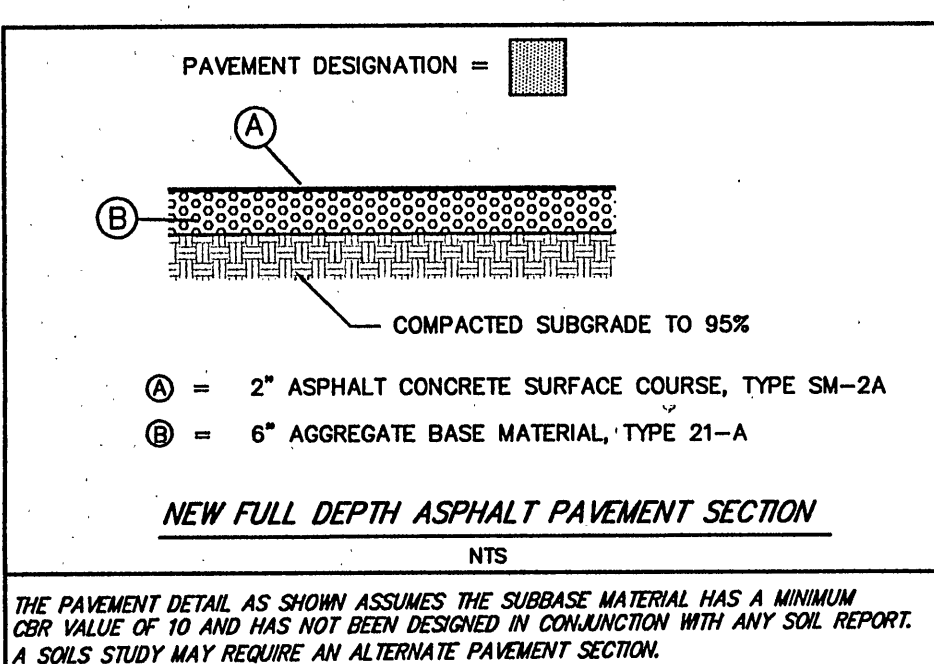
SEWER LINES, WATER LINES AND MANHOLES SHALL BE CONSTRUCTED IN ACCORDANCE WITH STANDARDS AND REGULATIONS AS SET FORTH BY THE CITY OF ROANOKE UTILITY DEPT.

A MINIMUM COVER OF 36" IS REQUIRED OVER THE PROPOSED WATER LINE. ALL JOINTS FOR THE PROPOSED WATER LINE SHALL BE MECHANICALLY RESTRAINED (EG. MEGALUG OR EQUAL).

ALL OUTSIDE MECHANICAL EQUIPMENT SHALL BE SCREENED AND/OR LANDSCAPED

ALL EXTERIOR LIGHTING FIXTURES SHALL BE DESIGNED, LOCATED AND ARRANGED SO AS NOT TO DIRECT GLARE ON ADJOINING STREETS. THE LIGHTING INTENSITY AT ADJOINING PROPERTIES SHALL NOT EXCEED 0.5 FOOT CANDLES. REFER TO SITE ELECTRICAL PLANS FOR LOCATION AND TYPE OF SITE LIGHTING & WIRING.

DIMENSIONS SHOWN ARE MEASURED FROM FACE OF CURB, FACE OF BUILDING, FACE OF WALL AND/OR EDGE OF PAVEMENT

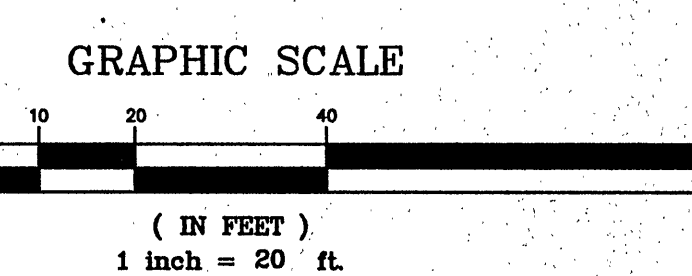


LEGEND:

APCA.	APPALACHIAN POWER COMPANY
A=	DELTA ANGLE
BRG.	CHORD BEARING
CHD.	CHORD DISTANCE
C&P	CHESAPEAKE & POTOMAC TELEPHONE COMPANY
CONC.	CONCRETE
D.B.	DEED BOOK
EX.L.P.	EXISTING IRON PIN
INV.	INVERT ELEVATION
L=	MINIMUM BUILDING LINE
MBL	PAGE
PG.	PUBLIC UTILITY EASEMENT
PUE	RADIUS OF CURVE
R=	SANITARY SEWER LINE
SS=	STORM DRAIN DROP INLET
SDOI	STORM DRAIN MANHOLE
SDMH	SANITARY SEWER MANHOLE
T=	TANGENT LENGTH
UG=	UNDERGROUND GAS LINE

NOTES:

- This plot is based on a current field survey performed October 29, 2000.
- Iron pins set or found as indicated hereon.
- LEGAL REFERENCES: Inst. # 00011491, INN AT VALLEY VIEW BOULEVARD, LLC.
- This plot does not guarantee the existence or location of any underground utilities. Storm drain structures, sanitary sewer manholes and all surface utilities were field located. All underground utilities shown were established using above ground structures, markings per MISS UTILITY ticket #0576806, dated October 25, 2000 and available utility maps. All underground utility lines are approximate and should be field verified prior to the start of any construction.
- The property shown hereon does not fall within the limits of a 100 year flood boundary (Flood Zone X) as designated by FEMA. This opinion is based on an inspection of the Flood Rate Maps and has been verified by actual field elevations. See Community Panel Number: 5101300024 D, Map Number: 51161C0024 D dated October 15, 1993.
- This plot was prepared without the benefit of a current title report and there may exist encumbrances which affect the property not shown hereon.
- The property shown hereon maybe subject to easements, reservations, restrictions and conditions as referenced in Inst. #000011491 page 0134.
- Site Benchmark: Top of arrowhead on fire hydrant, Elevation = 1082.64.



BOUNDARY & TOPOGRAPHIC SURVEY
OF
PARCEL 7A-5A (1.730 AC.)
MAP BOOK 1 PAGE 1554
TAX MAP 2490122, ZONED C2
VALLEY VIEW BLVD., N.W., ROANOKE CITY, VA

PERFORMED BY
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DATE: NOVEMBER 6, 2000 COMM NO. 00-354

PROGRESS PRINT
NOT FOR CONSTRUCTION
FOR CITY OF ROANOKE REVIEW

COMMISSION No.
00051
SHEET
SP-2
No. 2 of 3
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A PROFESSIONAL CORPORATION

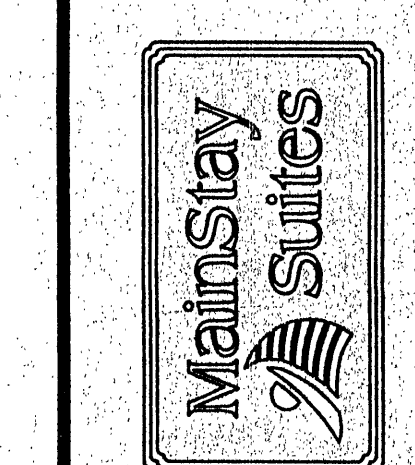
DATE: MARCH 6, 2001
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DIMENSIONAL LAYOUT & UTILITY PLAN