

VICINITY MAP
NTS

FLOOD NOTE:

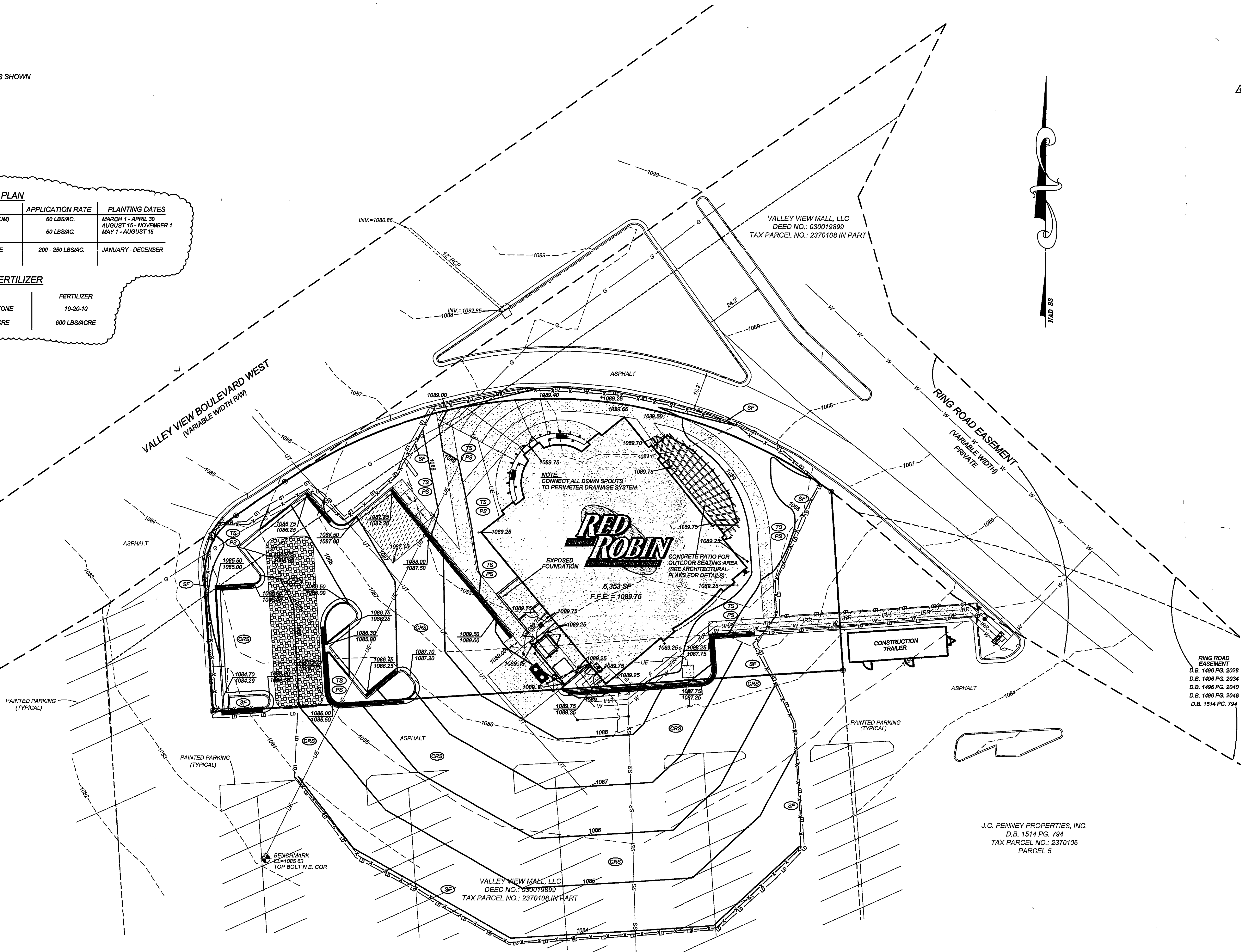
THIS PROPERTY IS IN ZONE 'X' OF THE HUD DEFINED FLOOD HAZARD AREA AS SHOWN
PANEL NUMBER 51161C0024 D DATED 10-15-1993.

VEGETATIVE PLAN

LOCATION	SPECIES	APPLICATION RATE	PLANTING DATES
ENTIRE SITE (TS) (TEMPORARY GRASSING)	ANNUAL RYE GRASS (LOLIUM MULTIFLORUM) GERMAN MILLET (SETARIA ITALICA)	60 LBS/AC. 50 LBS/AC.	MARCH 1 - APRIL 30 AUGUST 15 - NOVEMBER 1 MAY 1 - AUGUST 15
ENTIRE SITE (PS) (PERMANENT GRASSING)	KENTUCKY 31 OR TURF TYPE TALL FESCUE	200 - 250 LBS/AC.	JANUARY - DECEMBER

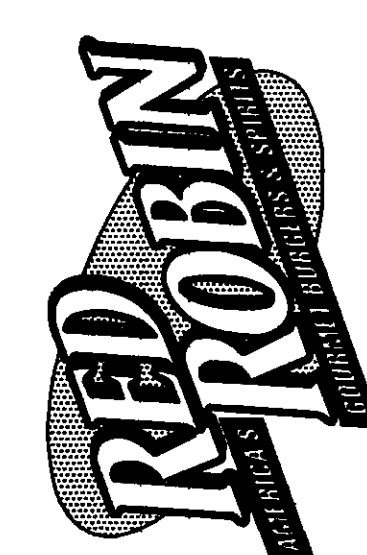
MULCH, LIME & FERTILIZER

MULCH	LIME	FERTILIZER
GRAIN STRAW OR GRASS HAY 2 1/2 TONS/ACRE	GROUND LIMESTONE 1 TO 2 TONS/ACRE	10-20-10 600 LBS/ACRE



EROSION AND SEDIMENT CONTROL NARRATIVE/NOTES:

- ALL GRADING, BACKFILLING, EXCAVATION, ETC., SHALL BE IN ACCORDANCE WITH THE RECOMMENDATIONS SET FORTH IN THE GEOTECHNICAL INVESTIGATION REPORTS. REFER TO THESE REPORTS FOR ADDITIONAL INFORMATION NOT TRANSFERRED TO THESE PLANS.
- CONTRACTOR IS TO CONTACT MISS UTILITY OF VIRGINIA AT 800-552-7001 FOR UNDERGROUND UTILITY LOCATION 3 DAYS PRIOR TO ANY DIGGING.
- THE EROSION CONTROL MEASURES ARE TO BE IN PLACE PRIOR TO ANY EARTHWORK ARE STABILIZED.
- ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED UNTIL DISTURBED AREAS ARE STABILIZED.
- ALL EROSION CONTROL FACILITIES SHALL BE INSPECTED AND REPAIRED AT THE END OF EACH MORNING DAY.
- ALL PAVED AREAS SHALL BE KEPT CLEAR OF EARTH MATERIALS AND DEBRIS. THE SITE SHALL BE MAINTAINED SO AS TO MINIMIZE SEDIMENT-LADEN RUNOFF TO ANY STORM DRAINAGE SYSTEM.
- CONTRACTOR SHALL LOCATE AND VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO BEGINNING CONSTRUCTION.
- ALL CONSTRUCTION TRAFFIC SHALL ENTER AND EXIT THE SITE VIA THE CONSTRUCTION ENTRANCES.
- THE APPROXIMATE AREA OF THE LIMITS OF CLEARING, GRADING, AND CONSTRUCTION IS 0.99 ACRES. THE TOTAL SITE AREA IS 0.61 ACRES.
- THE INSTALLATION OF EROSION CONTROL MEASURES AND PRACTICES SHALL TAKE PLACE PRIOR TO OR CONCURRENT WITH LAND DISTURBANCE ACTIVITIES.
- ALL EROSION AND SEDIMENT CONTROL MEASURES WILL BE CHECKED DAILY AND ANY DEFICIENCIES NOTED WILL BE CORRECTED BY THE END OF THE DAY. ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES WILL BE INSTALLED IF DEEMED NECESSARY AFTER ON-SITE INSPECTION BY THE ISSUING AUTHORITY.
- ALL CUT AND FILL SLOPES MUST BE ROUGHENED AND VEGETATED WITHIN SEVEN (7) DAYS OF THE CONSTRUCTION.
- ALL FILL SLOPES WILL HAVE SILT FENCE AT TOE OF SLOPES.
- AN UNDISTURBED VEGETATIVE BUFFER MEETING COUNTY AND STATE REGULATIONS WILL BE PRESERVED ADJACENT TO ALL STREAMS AND LAKES.
- APPLICANT INFORMATION:
RED ROBIN GOURMET BURGERS
6312 DODDERS CREEK CIRCLE
NORTH GREENWAY VILLAGE, COLORADO 80111
TELEPHONE: (303) 946-6154
FAX: (303) 946-6110
- PROJECT DESCRIPTION:
THE SITE IS AN EXISTING MASS GRADED OUTPARCEL. THE SITE COMPRISES APPROXIMATELY 0.61 ACRES AT THE SOUTHWEST CORNER OF VALLEY VIEW BOULEVARD WEST AND RING ROAD. THE SITE WILL HAVE 71% IMPERVIOUS AREA POST CONSTRUCTION WITH A NEW BUILDING TOTALING 6,353 SF. THE SITE IS ZONED CLS. THE DISTURBED AREA WILL BE 1.09 ACRES.
- ADJACENT AREA INFORMATION AND EXISTING SITE CONDITIONS:
THE SITE IS BOUNDED BY VALLEY VIEW BOULEVARD WEST TO THE NORTH, RING ROAD TO THE EAST, AND A COMMERCIAL PARKING LOT TO THE SOUTH AND WEST. THE SITE IS CURRENTLY A MASS GRADED OUTPARCEL WHICH SLOPES DOWN TO THE SOUTH.
- SOILS INFORMATION:
CECIL SANDY LOAM.
- CONSTRUCTION SEQUENCE:
THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT EROSION IS MINIMIZED AND THAT COMPLIANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL LAWS, REGULATIONS, AND ORDINANCES IS MAINTAINED THROUGHOUT EXECUTION OF THIS PROJECT.
 - UPON SELECTION OF A CONTRACTOR, A RESPONSIBLE LAND DISTURBER (RLD) CURRENTLY REGISTERED WITH THE VIRGINIA DEPARTMENT OF CONSERVATION AND RECREATION MUST BE IDENTIFIED FOR THE PROJECT PRIOR TO ISSUANCE OF A LAND DISTURBANCE PERMIT.
 - THE LAND DISTURBANCE PERMIT AND A COPY OF THE STAMPED APPROVED SET OF PLANS WILL BE ISSUED AT A PRE-CONSTRUCTION CONFERENCE. BOTH OF THESE DOCUMENTS ARE REQUIRED TO BE ISSUED PRIOR TO ANY CONSTRUCTION AND BOTH MUST BE KEPT ON SITE AT ALL TIMES. THE PRE-CONSTRUCTION CONFERENCE CAN BE SCHEDULED WITH ADRIAN GILBERT AT 853-2733.
 - CONSTRUCT ENTRANCE PAD.
 - INSTALL SILT FENCE AS SHOWN ON PLANS.
 - INSTALL STORM DRAINAGE.
 - PLACE STONE ON ENTRANCE DRIVE AND PARKING AREAS.
 - ALL CUT AND FILL SLOPES MUST BE SURFACE ROUGHENED AND VEGETATED WITHIN (7) DAYS OF THEIR CONSTRUCTION.
 - INSTALL INLET PROTECTION ON STORM INLETS.
 - EXCAVATE AND PROMPTLY SEED/MULCH PERIMETER AREAS OF SITE.
 - GRADE AND EXCAVATE FOR BUILDING PAD AND FOUNDATION AREA.
 - CONSTRUCT BUILDING.
 - MAINTAIN EROSION AND SEDIMENT CONTROL MEASURES FOR THE ENTIRE PROJECT.
 - FINE GRADE AROUND BUILDING. SPREAD TOPSOIL, SEED OR SOO AS APPLICABLE.
 - FINE GRADE PARKING AREA. ADD STONE WHERE NECESSARY, CONSTRUCT STRUCTURES.
 - FINE GRADE AND SEED OR SOO DISTURBED AREAS.
 - REMOVE ALL EROSION CONTROL STRUCTURES.
 - REMOVE ACCUMULATED SILT FROM ALL EXISTING DRAINAGE.
- CRITICAL AREAS:
THIS SITE HAS NO CRITICAL AREAS.
- DISPOSAL OF DEBRIS:
DEBRIS SHALL NOT BE BURIED ON-SITE. DEBRIS SHALL BE HAULED OFF-SITE.
- STORM WATER MANAGEMENT CONSIDERATIONS:
DETENTION IS PROVIDED IN REGIONAL FACILITY AS PART OF VALLEY VIEW MALL DEVELOPMENT.
- FLOOD HAZARD STATEMENT:
THIS PROPERTY IS IN ZONE 'X' OF THE HUD DEFINED FLOOD HAZARD AREA AS SHOWN PANEL NUMBER 51161C0024 D DATED 10-15-1993.
- STREAM BUFFER/WETLAND STATEMENT/CORPS OF ENGINEERS PERMIT/EPD BUFFER VARIANCE:
SITE DOES NOT HAVE STATE WATERS WITHIN 200 FEET REQUIRING UNDISTURBED BUFFER ACCORDING TO SURVEY. SITE DOES NOT CONTAIN WETLANDS ACCORDING TO SURVEY.
- EROSION AND SEDIMENT CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE. ALL EROSION CONTROL MEASURES SHALL BE IN ACCORDANCE WITH VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK.



RED ROBIN GOURMET BURGERS
4802 VALLEY VIEW BLVD.
ROANOKE, VA, 24012

GRADING/EROSION CONTROL PLAN

COMMERCIAL
SITE DESIGN
ENGINEERING • SURVEYING • PLANNING
LANDSCAPE ARCHITECTURE
7501 CREEDMOOR ROAD, SUITE 106
RALEIGH, NORTH CAROLINA 27613
PHONE: 919-848-6121 • FAX: 919-848-5741

Revisions

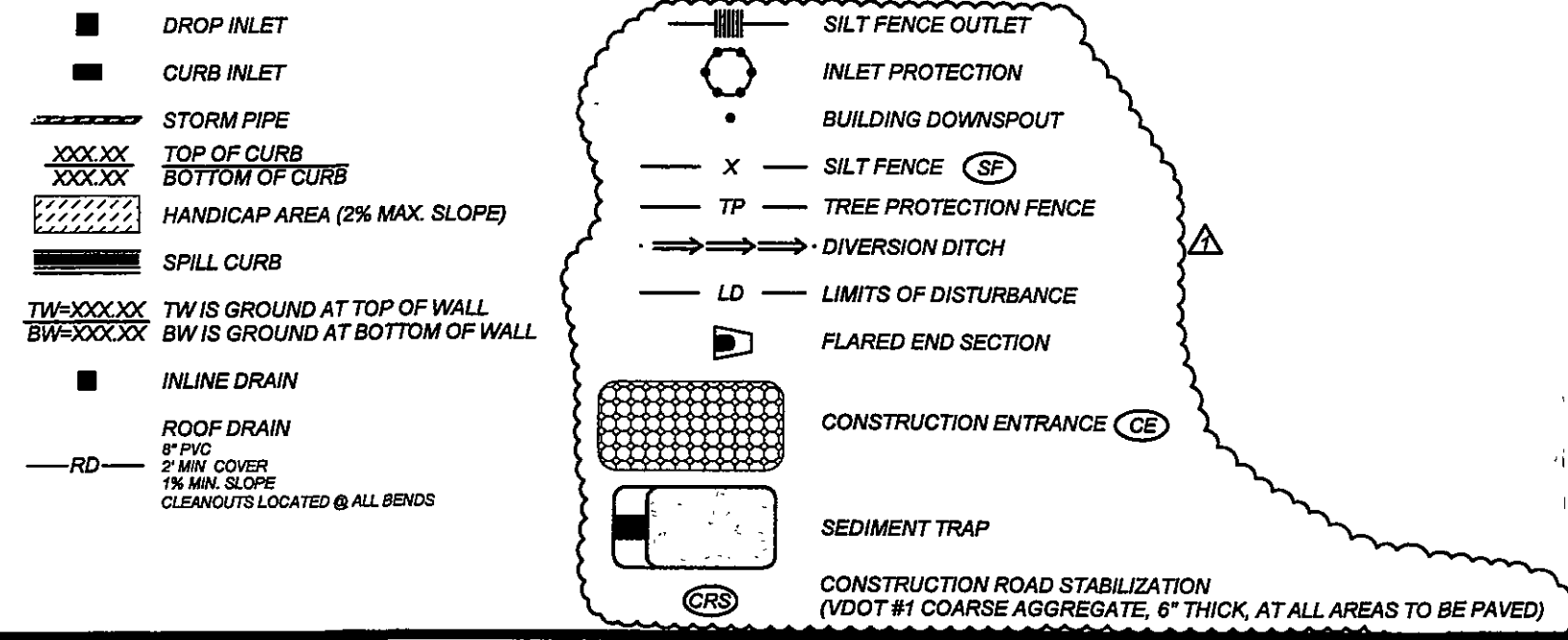
- 1-30-06
CITY COMMENTS #1
2-24-06
CITY COMMENTS #2
1.
2.
3.
4.
5.



DRAWN BY: STH
SCALE: 1"=20'
JOB NO.: RRB-0511
SHEET NO.: C-3

CHECKED BY: WBB
DATE: 12-13-05

GRADING/EROSION CONTROL LEGEND



CONSTRUCTION SCHEDULE (ANTICIPATED START DATE: MARCH 2006
ANTICIPATED COMPLETION DATE: SEPTEMBER 2006)

