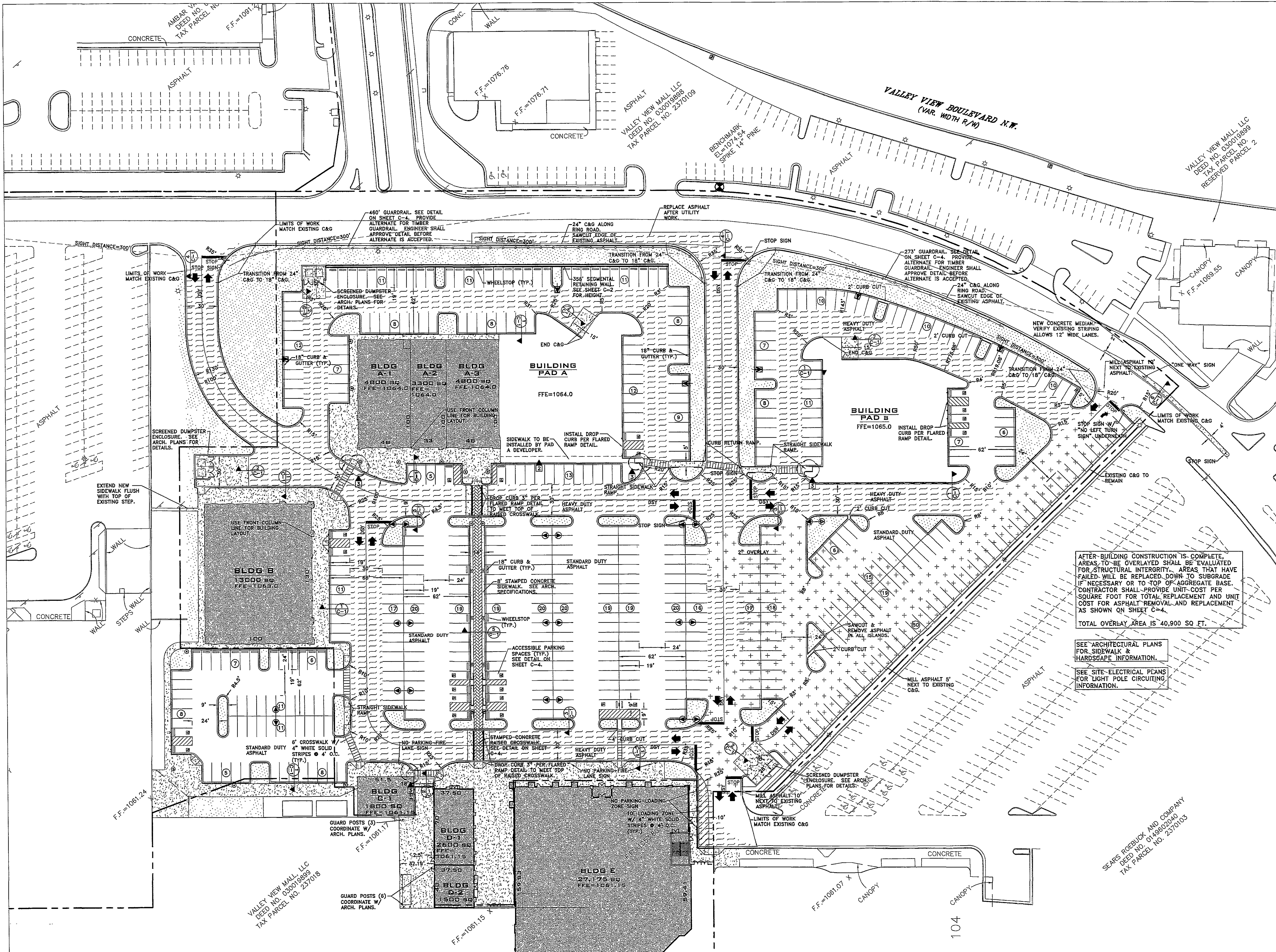




PARKING & PAVING LEGEND	
PROPERTY LINE	
CONCRETE CURB & GUTTER (C & G)	
EXISTING EDGE OF PAVEMENT (E.P.)	
6" DIA. GUARD POST (G.P.)	
DIRECTIONAL ARROW, PAINTED WHITE	
TRAFFIC SIGN	
LANDSCAPE AREA/ SODDED AREAS	
CONCRETE	
STAMPED CONCRETE	
HEAVY DUTY PAVEMENT	
2" OVERLAY	
WHITE STOP LINE (WSL) (24" WIDE)	
STRIPING:	
SINGLE SOLID YELLOW/SINGLE BROKEN YELLOW(SSY/SBY)	
SINGLE SOLID WHITE (SSW)	
SINGLE BROKEN WHITE (SBW)	
SINGLE SOLID YELLOW (SSY)	
DOUBLE SOLID YELLOW (DSY)	
LOSC	LIMITS OF SITE CONTRACTOR
LOBC	LIMITS OF BUILDING CONTRACTOR
LIGHT POLE (SEE SITE ELECTRICAL DRAWINGS BY OTHERS)	

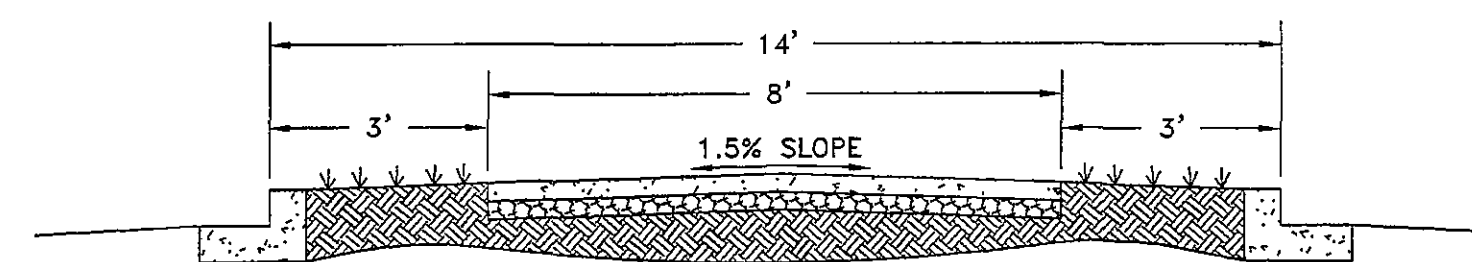
MALL DEVELOPMENT SUMMARY		
	Sq. Ft.	Parking
EXISTING TOTAL MALL	811,112	4,708
RED ROBIN ADDITION	6,353	4
THEATRE DEMOLITION	22,475	
PROPOSED DISTRICT EXPANSION		408
BUILDING A	12,900	
BUILDING B	13,000	
BUILDING C	1,800	
BUILDING D	4,100	
BUILDING E	27,175	
BUILDING PAD A	5,876	
BUILDING PAD B	5,400	
Proposed Total Development	868,341	4,298
Required Parking Ratio	4.0 SPACES / 1,000 SF	
Proposed Parking Ratio	4.95 SPACES / 1,000 SF	

SITE DEVELOPMENT SUMMARY		
	Proposed	Existing
TAX/PARCEL NUMBER		2370108
ZONING		CLS
SITE ACREAGE	9.89	
DISTURBED ACREAGE	9.00	
ON SITE PARKING SPACES	565	971
PROVIDED ACCESSIBLE SPACES	20	14
REQUIRED ACCESSIBLE SPACES (ON-SITE ONLY)	12	
IMPERVIOUS AREA (ACRES)	8.06	9.20

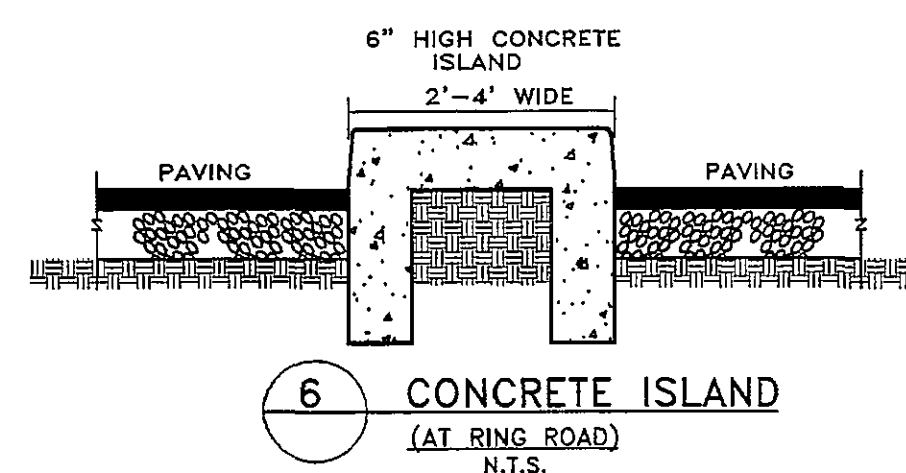
*Red Robin increased the mall impervious area by 0.32 acres. This increase shall be offset by this development.

RETAINING WALL NOTES

- CONSULT RETAINING WALL MANUFACTURER FOR SITE SPECIFIC RETAINING WALL DESIGN. DESIGN SHALL BE SUBMITTED TO ENGINEER & CITY FOR APPROVAL BEFORE STARTING CONSTRUCTION OF WALL. CONTRACTOR IS RESPONSIBLE TO OBTAIN ANY NECESSARY PERMITS FROM THE CITY FOR WALL CONSTRUCTION.
- CONTACT ARCHITECT FOR TYPE & COLOR TO BE USED. WALL SPECIFICATIONS SHALL BE APPROVED BEFORE SUBMITTING BIDS.



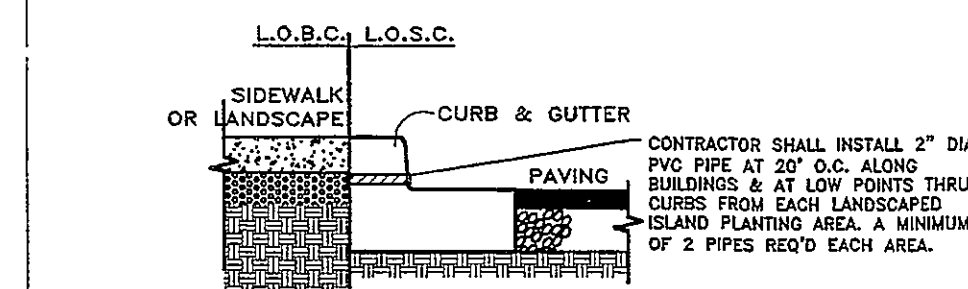
5 SIDEWALK DETAIL
(THRU MIDDLE OF SITE)
N.T.S.
SEE ARCH. PLANS FOR FINISHES



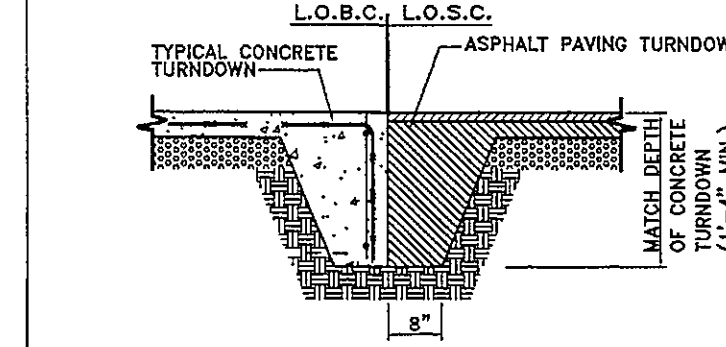
6 CONCRETE ISLAND
(AT KING ROAD)
N.T.S.

PARKING AND PAVING NOTES

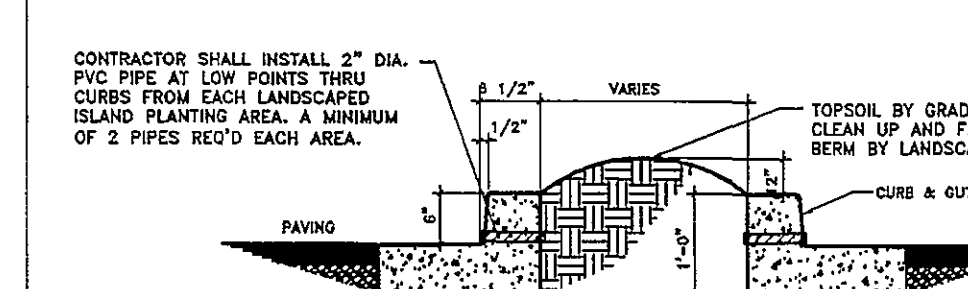
- ASPHALT SURFACE COURSE SHALL BE LAID WITH THE DIRECTION OF TRAFFIC IN ALL DRIVE LANES WITHIN PARKING FIELDS.
- ALL SIGNS, PAVEMENT MARKINGS, AND OTHER TRAFFIC CONTROL DEVICES SHALL CONFORM TO THE VIRGINIA MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
- ALL PAVEMENT MARKINGS SHALL BE FOUR (4") WIDE SOLID WHITE UNLESS INDICATED OTHERWISE ON THE DRAWINGS.
- A MINIMUM CLEARANCE OF TWO FEET SHALL BE MAINTAINED BETWEEN THE FACE OF CURB AND ANY PART OF A TRAFFIC SIGN OR LIGHT POLE.
- CONTRACTOR SHALL FURNISH AND INSTALL ALL PAVEMENT MARKINGS AS SHOWN. CONTRACTOR SHALL RE-STRIPE ALL PAVEMENT MARKINGS SIX MONTHS AFTER GRAND OPENING. AS AN ALTERNATIVE, CONTRACTOR SHALL PROVIDE PRICE FOR INSTALLING THERMOPLASTIC STRIPING ONCE, IN LIEU OF PAINTED STRIPING TWICE.
- CONTRACTOR SHALL COORDINATE INSTALLATION OF ALL SIGNS, PAVEMENT MARKINGS, AND OTHER TRAFFIC CONTROL DEVICES WITH OTHER CONTRACTORS ON SIGNS OR LIGHT POLES.
- CONTRACTOR SHALL SAW-CUT TO PROVIDE SMOOTH TRANSITIONS AT TIE-INS TO EXISTING EDGES OF PAVEMENT AND AT COLD JOINTS OF RECENTLY PAVED ASPHALT.
- JOINTS OR SCORE MARKS ARE TO BE SHARP AND CLEAN WITHOUT SHOWING EDGES OF JOINTING TOOL.
- CONTRACTOR SHALL SAW-CUT TIE-INS AT EXISTING CURBS AS NECESSARY TO ENSURE SMOOTH TRANSITIONS. CONTRACTOR SHALL SAW-CUT AND TRANSITION TO MEET EXISTING PAVEMENT AS NECESSARY AND AS DIRECTED BY INSPECTOR TO INSURE POSITIVE DRAINAGE. (TYPICAL @ ALL INTERSECTIONS)
- CONTRACTOR SHALL COMPLY WITH ALL PERTINENT PROVISIONS OF THE "MANUAL OF ACCIDENT PREVENTION IN CONSTRUCTION" ISSUED BY AGC OF AMERICA, INC., AND THE SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION ISSUED BY THE U.S. DEPARTMENT OF LABOR.
- ALL DIMENSIONS ARE TO FACE OF CURB UNLESS INDICATED OTHERWISE.
- ALL WORK SHALL COMPLY WITH ALL APPLICABLE CODES, REGULATIONS, AND/OR LOCAL STANDARDS IMPOSED BY LOCAL UTILITY, CITY, COUNTY, AND STATE.
- PAVING CONTRACTOR SHALL INSTALL PAPER BREAKAWAY EDGES AT COLD JOINTS OR SAWCUT AS REQUIRED TO INSURE A STRAIGHT, FULL-DEPTH JOINT FACE IMMEDIATELY PRIOR TO INSTALLING ADJUTING HOT ASPHALT.
- BASE AND ASPHALT THICKNESSES ARE MINIMUM REQUIRED. REFER TO SPECIFICATIONS FOR TYPE OF PAVING AND BASE TO BE USED.
- ALL CONCRETE SHALL BE CLASS A 4000 P.S.I. UNLESS NOTED OTHERWISE. DO NOT POUR ANY CONCRETE BEFORE FORMS ARE INSPECTED AND APPROVED BY THE INSPECTOR.
- ALL RAMPS CONSTRUCTED ARE NOT TO EXCEED A SLOPE OF 1:12.
- CONCRETE DUMPSTER PADS TO BE FLUSH WITH PAVEMENT UNLESS INDICATED OTHERWISE.
- CONTRACTOR SHALL PROVIDE ALL NECESSARY BARRICADES, SUFFICIENT LIGHTS, SIGNS AND OTHER TRAFFIC CONTROL METHODS AS MAY BE NECESSARY FOR THE PROTECTION AND SAFETY OF THE PUBLIC SHALL BE PROVIDED AND MAINTAINED THROUGHOUT THE CONSTRUCTION OF DRIVEWAYS CONNECTING TO ALL ROADWAYS. CONTRACTOR SHALL SUBMIT TRAFFIC CONTROL PLAN TO CITY AND STATE FOR APPROVAL.
- THE CONTRACTOR SHALL TAKE NECESSARY MEASURES TO SEPARATE WORK AREAS FROM PEDESTRIAN TRAFFIC AND TO INSURE SAFE PEDESTRIAN PASSAGE AT ALL TIMES.
- CONTRACTOR SHALL BE RESPONSIBLE FOR COST OF PAVEMENT REPLACEMENT WHERE UTILITY LINES ARE EXTENDED ACROSS EXISTING ASPHALT.
- IT IS THE CONTRACTORS RESPONSIBILITY THAT ALL THE CONSTRUCTION BE IN ACCORDANCE WITH THE CITY OF ROANOKE AND VDOT STANDARD DETAILS AND SPECIFICATIONS.
- SEE SHEET C-4 FOR ADDITIONAL DETAILS ON STRIPING, SIGNS, ETC.
- SIGHT DISTANCE AT ALL PROPOSED ENTRANCES CONFORMS TO AASHTO GUIDELINES FOR INTERSECTION SIGHT DISTANCE.
- COORDINATE RAMP LOCATIONS WITH BUILDING PLANS BEFORE POURING CURB & GUTTER.



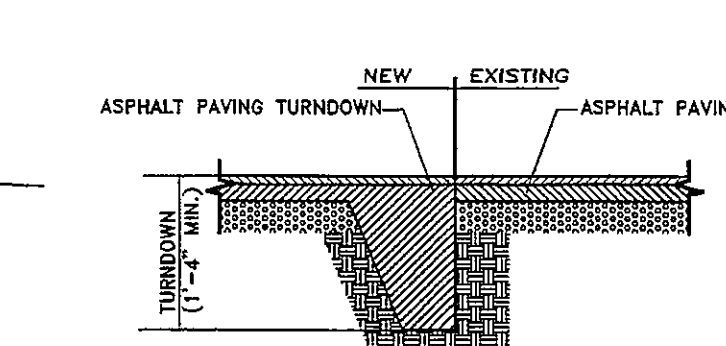
1 CURB & GUTTER
(AT SIDEWALK)
N.T.S.



2 TURNDOWN DETAIL
(AT SERVICE AREAS)
N.T.S.

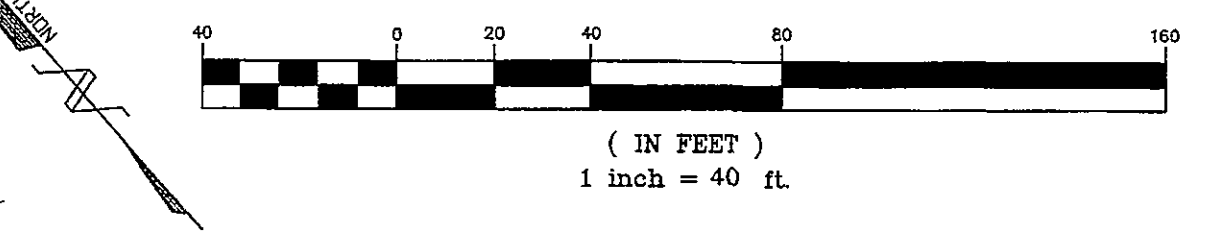


3 CURB & GUTTER
(AT LANDSCAPE ISLANDS)
N.T.S.



4 TURNDOWN DETAIL
(AT NEW ASPHALT)
N.T.S.

PARKING & PAVING PLAN



MILLER-McCOY, INC.
CONSULTING ENGINEERS
915 CREEKSIDE ROAD CHATTANOOGA, TENNESSEE 37406
PHONE (423) 698-2661 FAX (423) 698-2664



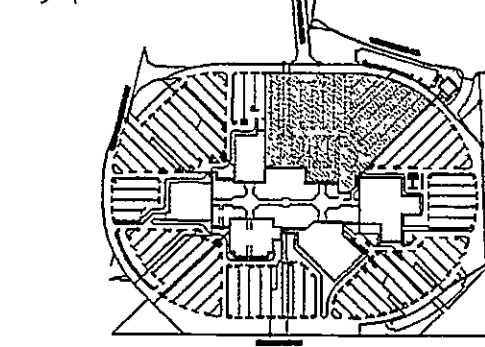
MSTSD, INC.
1776 Peachtree Road, N.W.
Suite 180
Atlanta, Georgia 30309
404 982 9680

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- Issue date/Revisions
- ADDENDUM #1 - 03/17/06
 - CHANGE REQUEST #1 - 03/31/06
 - CHANGE REQUEST #2 - 04/14/06



CBL & ASSOCIATES PROPERTIES, INC.
key plan



seal
Professional Engineer
Richard Wayne May
No. 0001606
State of Tennessee

project name
THE DISTRICT AT VALLEY VIEW MALL
ROANOKE, VIRGINIA

sheet title
PARKING & PAVING PLAN

drawn
RMB
checked
RWM
project no.
0536
date
02/06/06
sheet no.
C-1