

**SITE STATISTICS:**

PRE-DEVELOPED LAND COVER CONDITION:  
IMPERVIOUS SURFACE AREA: 144,049 SF  
MANAGED TURF AREA: 19,421 SF

TREE CANOPY REQUIRED: 10%  
TREE CANOPY PROVIDED: 13.7%

PARKING SPACE REQUIREMENT:  
RETAIL SALES ESTABLISHMENT - 1 SPACE PER 250 SF RETAIL AREA  
39,700 SF BUILDING: 159 SPACES REQUIRED  
229 SPACES PROVIDED

**DEMOLITION SCHEDULE:**

CONTRACTOR SHALL CONTACT MISS UTILITY AT 811 OR (800) 552-7001 TO CONFIRM UTILITY LOCATIONS BEFORE BEGINNING CONSTRUCTION. CONTRACTOR SHALL VERIFY LOCATIONS AND/OR PRESENCE OF EXISTING UTILITIES.

EXISTING CANOPY AND ASSOCIATED CURBING/SIDEWALK TO BE REMOVED AND REPLACED.

EXISTING CURBING/SIDEWALK TO BE REMOVED AND REPLACED.

EXISTING CURBING AND VEGETATION TO BE REMOVED.

EXISTING 8" SANITARY SEWER LINE TO BE RELOCATED.

EXISTING UNDERGROUND ELECTRIC LINE TO BE RELOCATED.

EXISTING STAIRS, LANDING, CURB AND GUTTER, AND WALL TO BE REMOVED.

EXISTING WATER SERVICE, FIRE SERVICE, AND FIRE DEPARTMENT CONNECTION TO BE REMOVED AND CAPPED.

**BOUNDARY DATA**

CURVE TABLE						
CURVE	LENGTH	RADIUS	TANGENT	DELTA	CHORD BRG.	CHORD LENGTH
C1	238.96'	315.00'	125.56'	43°27'52"	S 14°16'40"W	233.27'

LINE TABLE		
LINE	BEARING	DISTANCE
L1	S 36°00'00" W	312.81'
L2	S 50°00'00" W	40.00'
L3	N 81°27'05" W	43.93'
L4	N 48°55'38" W	326.60'
L5	N 41°04'22" E	35.42'
L6	N 48°55'38" W	63.00'
L7	N 41°04'22" E	300.00'
L8	S 48°55'38" E	120.00'
L9	N 41°04'22" E	32.50'
L10	S 48°55'38" E	180.00'
L11	N 41°04'22" E	215.00'

**CLS ZONING NOTES:**

LOT AREA MINIMUM = 43,560 S.F.  
LOT AREA MAXIMUM = NONE

LOT FRONTAGE MINIMUM = 150'  
LOT FRONTAGE MAXIMUM = NONE

FRONT YARD SETBACK MINIMUM = 0'  
FRONT YARD SETBACK MAXIMUM = NONE  
FRONT YARD INFILL REQUIREMENT = NONE

CIVIC YARD SPACE OPTION APPLIES - NO

SIDE YARD SETBACK = 0'  
REAR YARD SETBACK = 0'

ACCESSORY STRUCTURE MINIMUM SETBACK FROM SIDE AND REAR LINES = 0'

HEIGHT MAXIMUM - ABUTTING RESIDENTIAL DISTRICT = 1 FOOT FOR EACH FOOT OF SETBACK FROM ANY ABUTTING RESIDENTIAL LOT  
HEIGHT MAXIMUM - NOT ABUTTING RESIDENTIAL DISTRICT = NONE

FLOOR AREA RATIO MAXIMUM = 5.0

IMPERVIOUS SURFACE AREA MAXIMUM = 80%  
(THIS PROPERTY HAS BEEN DESIGNATED NON-CONFORMING AS THE PRE-DEVELOPED CONDITION CONSISTED OF 88% IMPERVIOUS SURFACE WHEN ZONED CG (85% REQUIRED). PER DISCUSSION WITH ROANOKE CITY STAFF, POST-DEVELOPED CONDITION SHALL NOT EXCEED THE PRE-DEVELOPED CONDITION).

MINIMUM PARKING REQUIREMENT APPLIES = YES  
PEDESTRIAN ACCESS REQUIREMENT APPLIES = YES

MAXIMUM BUILDING FOOTPRINT = NONE

BUILDING PLACEMENT AND FACADE TRANSPARENCY STANDARDS - GROUND FLOOR = 50%  
UPPER FLOORS = 20%

MINIMUM TREE CANOPY = 10%

**SANITARY SEWER:**

**SS-1**  
TOP = 1091.32'  
INVIN 8" PVC = 1084.7'  
INVIN 4" PVC = 1084.8'  
INVO 8" PVC = 1084.5'

**SS-2**  
APPEARS TO BE PAVED OVER

**SS-3**  
TOP = 1078.07'  
INVIN 8" PVC = 1066.0'  
INVO 8" PVC = 1065.9'

**SS-4**  
TOP = 1075.12'  
INVIN 8" PVC = 1063.7'  
INVIN 8" PVC = 1069.9'  
INVO 12" PVC = 1063.2'

**STORM SEWER:**

**DI-1**  
TOP = 1089.3'  
INVO 15" RCP = 1086.1'

**DI-2**  
TOP = 1085.94'  
INVIN 15" RCP = 1081.0'  
INVO 15" RCP = 1079.4'

**DI-3**  
TOP = 1079.91'  
INVIN 15" RCP = 1072.4'  
INVO 15" RCP = 1069.1'

**DI-4**  
TOP = 1085.25'  
INVO 15" RCP = 1075.9'

**DI-5**  
TOP = 1080.00'  
INVIN 24" RCP = 1073.1'  
INVO 15" RCP = 1074.6'  
INVO 24" RCP = 1073.0'

**DI-6**  
TOP = 1083.00'  
INVO 15" RCP = 1078.3'

**SDMH-7**  
TOP = 1082.79'  
INVIN 15" RCP = 1077.8'  
INVO 15" RCP = 1073.0'

**DI-8**  
TOP = 1075.89'  
INVIN 15" RCP = 1072.6'  
INVIN 24" RCP = 1069.6'  
INVO 24" RCP = 1069.5'

**DI-9**  
TOP = 1072.27'  
ACCURATE MEASUREMENT OF INVERTS NOT AVAILABLE  
DUE INSUFFICIENT ACCESS  
FLOOR = 1066.0' +/-

**DI-10**  
TOP = 1072.48'  
ACCURATE MEASUREMENT OF INVERTS NOT AVAILABLE  
DUE INSUFFICIENT ACCESS  
FLOOR = 1065.7' +/-

**DI-11**  
TOP = 1077.1'  
INVIN 18" RCP = 1070.5'  
INVIN 24" RCP = 1068.5'  
INVO 24" RCP = 1068.4'

**DI-12**  
TOP = 1081.58'  
INVO 18" RCP = 1073.0'

**DI-13**  
TOP = 1076.81'  
INVIN 24" RCP = 1069.3'  
INVO 24" RCP = 1069.2'

**DI-14**  
TOP = 1088.60'  
INVO 15" RCP = 1095.1'

**DI-15**  
TOP = 1084.4'  
INVO 15" RCP = 1080.9'

**DI-16**  
TOP = 1085.41'  
INVIN 15" RCP = 1088.7'  
INVIN 12" RCP = 1088.4'  
INVIN 15" RCP = 1088.2'  
INVO 15" RCP = 1088.1'

**DI-17**  
TOP = 1089.92'  
INVIN 15" RCP = 1086.2'  
INVO 15" RCP = 1085.8'

**DI-18**  
TOP = 1090.68'  
INVIN 15" RCP = 1085.7'  
INVO 15" RCP = 1085.6'

**TRENCH DRAIN**  
FLOOR = 1087.2'  
FLOOR = 1086.6'

**DI-19**  
TOP = 1088.84'  
INVIN 8" PVC = 1083.3'  
INVO 15" RCP = 1083.2'

**DI-20**  
TOP = 1088.82'  
INVIN 24" RCP = 1082.4'  
INVIN 15" RCP = 1082.4'  
INVO 24" RCP = 1082.3'

**DI-21**  
TOP = 1084.4'  
INVIN 24" RCP = 1080.3'  
INVIN 15" RCP = 1081.4'  
INVO 24" RCP = 1080.2'

**DI-22**  
TOP = 1082.43'  
INVO 15" RCP = 1078.8'

**SDMH-23**  
TOP = 1085.38'  
INVIN 24" RCP = 1079.0'  
INVO 24" RCP = 1079.0'

**SDMH-24**  
TOP = 1082.62'  
INVIN 24" RCP = 1077.2'  
INVIN 15" RCP = 1077.1'  
INVO 24" RCP = 1077.0'

**GENERAL NOTES:**

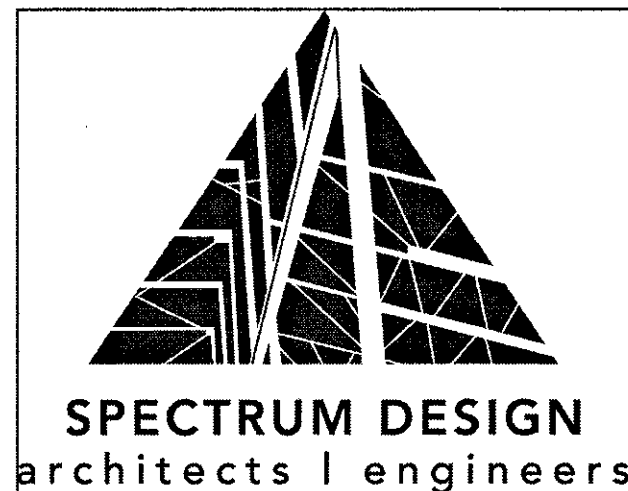
- THIS PLAN WAS PREPARED WITHOUT BENEFIT OF A TITLE REPORT AND IS SUBJECT THERETO. THEREFORE, THERE MAY EXIST ENCUMBRANCES WHICH AFFECT THE PROPERTY NOT SHOWN HEREON.
- THE SUBJECT PROPERTY IS WITHIN THE LIMITS OF ZONE "X" AS SHOWN ON THE FEMA FLOOD INSURANCE RATE MAP 51161C162 G, EFFECTIVE DATE OF SEPTEMBER 28, 2007. THIS DETERMINATION IS BASED ON SAID MAP AND HAS BEEN VERIFIED BY ACTUAL FIELD ELEVATIONS.
- THE UTILITIES SHOWN HEREON BY PARKER DESIGN GROUP ARE BASED ON FIELD LOCATION OF OBSERVED EVIDENCE OF UTILITIES, RECORDS AVAILABLE AT TIME OF SURVEY, AND BY MARKINGS DONE BY AN OUTSIDE FIRMS IN SEPTEMBER AND OCTOBER OF 2014. ADDITIONAL VERIFICATION AND OR REMARKING OF UTILITIES IS SUGGESTED BEFORE ANY POSSIBLE EARTH WORK IS PERFORMED.
- NO COMMUNICATION LINES WERE MARKED BY EITHER UTILITY LOCATION CONTRACTOR AS OF THE DATE OF THIS SURVEY.
- NO SANITARY SEWER WAS MARKED BY EITHER UTILITY LOCATION CONTRACTOR AS OF THE DATE OF THIS SURVEY. THE SANITARY SEWER MANHOLES SS-1, SS-3 & SS-4 SHOWN HEREON IS BASED ON FIELD LOCATION WHILE SANITARY SEWER MANHOLE SS-2 AND PIPING NETWORK ARE SHOWN BASED ON PLANS PREPARED BY ANDERSON AND ASSOCIATES DATED APRIL 2, 1998 FOR HAVERTY'S PARKING LOT RENOVATIONS (SEE UTILITY PLAN, PAGE C-5).
- STORM STRUCTURES DI-9 & DI-10 HAVE LIMITED ACCESS TO INVERTS AND PIPE SIZE. PIPE SIZING SHOWN HEREON, ALONG WITH DIRECTIONALITY, ARE BASED ON ROANOKE CITY GIS INFORMATION.

**TOPOGRAPHY CERTIFICATION:**

THIS TOPOGRAPHIC SURVEY WAS COMPLETED UNDER THE DIRECT AND RESPONSIBLE CHARGE OF ALAN CLEMONS, FROM AN ACTUAL GROUND SURVEY MADE UNDER MY SUPERVISION, THAT THE MAGERY AND/OR ORIGINAL DATA WAS OBTAINED ON SEPTEMBER 16 THROUGH OCTOBER 23, 2014 AND THAT THIS PLAN, MAP OR DIGITAL GEOSPATIAL DATA INCLUDING METADATA MEETS THE MINIMUM ACCURACY STANDARDS UNLESS OTHERWISE NOTED. THE ORIGINAL BENCHMARK USED WAS SET USING GPS POSITIONING SYSTEM.

KEY PLAN

GENERAL NOTES



19 CHURCH AVE SE, PLAZA SUITE 1 ROANOKE, VIRGINIA 24011 540.342.8001

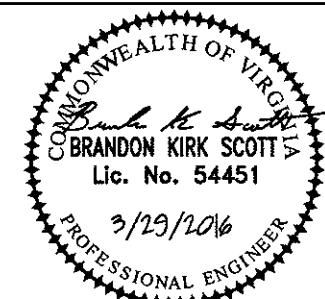
1920 VALLEY VIEW BLVD NW

COMMERCIAL BUILDING  
UPGRADE

ROANOKE, VIRGINIA

STATE PROJECT NO. N/A

SPECTRUM DESIGN PROJECT NO.



DATE 3/29/2016

DESIGN ARCHITECT

PROJECT ARCHITECT

CHECKED BY

DRAWN BY

REVISIONS

DATE

SHEET TITLE

EXISTING CONDITIONS  
AND DEMOLITION PLAN

C100

IF THIS DRAWING IS A REDUCTION  
GRAPHIC SCALE MUST BE USED

