

GENERAL NOTES

PROVIDE NEW MATERIALS AND WORKMANSHIP IN CONFORMANCE WITH ALL APPLICABLE CODES, STATE AND FEDERAL LAWS, LOCAL ORDINANCES, INDUSTRY STANDARDS, AND OTHER CRITERIA WHICH WOULD NORMALLY APPLY TO WORK OF THIS NATURE. NOTIFY THE ENGINEER IMMEDIATELY UPON DISCOVERING A CONFLICT IN CODES, ORDINANCES, STANDARDS, OR OTHER CRITERIA. APPLICABLE CODES AND STANDARDS INCLUDE, BUT ARE NOT NECESSARILY LIMITED TO, THE FOLLOWING:

- BOCA - BASIC CODES
- CITY OF ROANOKE
- VDOT - VIRGINIA DEPARTMENT OF TRANSPORTATION, ROAD AND BRIDGE STANDARDS AND SPECIFICATIONS
- VIRGINIA EROSION AND SEDIMENT CONTROL REGULATIONS AND HANDBOOK
- OSHA - OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION
- ASTM - AMERICAN SOCIETY FOR TESTING AND MATERIALS
- WVWA - WESTERN VIRGINIA WATER AUTHORITY

OBTAIN EACH REQUIRED PERMIT PRIOR TO COMMENCING THAT PART OF THE WORK. PAY REQUIRED FEES.

NOTIFY THE ENGINEER IMMEDIATELY UPON DISCOVERY OF CONDITIONS WHICH DIFFER FROM THOSE SHOWN ON THE PLANS.

COMPLY WITH LOCAL ORDINANCES FOR BURNING OF WASTE. TRANSPORT WASTE MATERIALS AND UNSUITABLE MATERIALS FROM OWNER'S PROPERTY.

VERIFY THE LOCATION AND ELEVATION OF EACH EXISTING UNDERGROUND UTILITY IN AREAS OF CONSTRUCTION PRIOR TO COMMENCEMENT OF WORK. CONTACT ENGINEER IMMEDIATELY IF THERE APPEARS TO BE A CONFLICT, UPON DISCOVERY OF A UTILITY WHICH IS NOT SHOWN, AND UPON DISCOVERY OF A LOCATION OR ELEVATION WHICH DIFFERS FROM THAT SHOWN. TO LOCATE UTILITIES, CALL "MISS UTILITY", 1-800-552-7001. UTILITY LOCATIONS SHOWN ARE THE RESULT OF A COMBINATION OF FIELD LOCATION AND EXISTING INFORMATION. LOCATIONS ARE APPROXIMATE.

REPAIR ALL DAMAGE TO ANY UTILITY, PUBLIC OR PRIVATE, CAUSED AS A RESULT OF CONSTRUCTION ACTIVITIES, AT NO ADDITIONAL COST TO OWNER.

NOTIFY OWNERS OF UTILITIES IN AREAS OF CONSTRUCTION PRIOR TO COMMENCEMENT OF EXCAVATION.

ANY SITE DEVELOPMENT OUTSIDE THE SCOPE OF THIS PLAN WILL REQUIRE ADDITIONAL PLAN REVIEW AND APPROVAL.

ANY SIGNAGE PROPOSED FOR THIS DEVELOPMENT SHALL COMPLY WITH THE APPLICABLE REGULATIONS OF THE CITY OF ROANOKE ZONING ORDINANCE, SPECIFICALLY SEC. 36.2-660. A SEPARATE SIGN PERMIT AND APPROVAL WILL BE REQUIRED.

ANY NEW ALIGNMENTS, CHANGES IN GRADES, ALTERNATIVE PIPE SIZES OR MANHOLES WILL REQUIRE A NEW SET OF PLANS STAMPED BY THE CONSULTING ENGINEER. COUNTY ENGINEER WILL REVIEW PLANS WITHIN THREE DAYS OF SUBMITTAL. PLAN SHEETS CAN BE 8.5 X 11 IF THE INFORMATION IS LEGIBLE.

NO CONSTRUCTION/FIELD CHANGES WITHOUT APPROVAL OF THE CONSULTING ENGINEER AND THE CITY OF ROANOKE.

STANDARD CITY OF ROANOKE CONSTRUCTION PROCEDURE REQUIREMENTS

NOTICE TO ALL LANDOWNERS, DEVELOPERS, AND CONTRACTORS:

FAILURE TO COMPLY WITH THE CONSTRUCTION PROCEDURE REQUIREMENTS LISTED BELOW MAY RESULT IN THE COSTLY REMOVAL OF STRUCTURES, TIME DELAYS, OR THE ISSUANCE OF A STOP WORK ORDER.

RIGHT-OF-WAY EXCAVATION PERMIT: PRIOR TO THE COMMENCEMENT OF ANY DIGGING, ALTERATION, OR CONSTRUCTION WITHIN THE PUBLIC RIGHT-OF-WAY (STREETS, ALLEYS, PUBLIC EASEMENTS), A RIGHT-OF-WAY EXCAVATION PERMIT SHALL BE APPLIED FOR AND OBTAINED BY THE CONTRACTOR FROM THE CITY OF ROANOKE.

LAND DISTURBANCE PERMIT: AN APPROVED EROSION AND SEDIMENT CONTROL PLAN FOR ANY BORROW/FILL SITES ASSOCIATED WITH THE PROJECT MUST BE SUBMITTED PRIOR TO THE ISSUANCE OF A LAND DISTURBANCE PERMIT.

PLANS AND PERMITS: A COPY OF THE PLANS AS APPROVED BY THE CITY OF ROANOKE (SIGNED BY THE PROPER CITY OFFICIALS) AND ALL PERMITS ISSUED BY THE CITY SHALL BE MADE AVAILABLE AT THE CONSTRUCTION SITE AT ALL TIMES OF ONGOING CONSTRUCTION.

LOCATION OF UTILITIES: THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION.

CONSTRUCTION ENTRANCE: THE CONTRACTOR SHALL INSTALL AN ADEQUATE CONSTRUCTION ENTRANCE FOR ALL CONSTRUCTION RELATED EGRESS FROM THE SITE. SIZE AND COMPOSITION OF THE CONSTRUCTION ENTRANCE SHALL BE AS SHOWN ON THE PLANS.

STREETS TO REMAIN CLEAN: IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO INSURE THAT THE PUBLIC STREET ADJACENT TO THE CONSTRUCTION ENTRANCE REMAINS FREE OF MUD, DIRT, DUST, AND/OR ANY TYPE OF CONSTRUCTION MATERIALS OR LITTER AT ALL TIMES.

BARRICADES/DITCHES: THE CONTRACTOR SHALL MAINTAIN THE INTEGRITY OF ALL EXCAVATED DITCHES AND SHALL FURNISH AND ENSURE THAT ALL BARRICADES PROPER AND NECESSARY FOR THE SAFETY OF THE PUBLIC ARE IN PLACE.

SEWER AND PAVEMENT REPLACEMENT: CONSTRUCTION OF SANITARY SEWERS AND THE REPLACEMENT OF PAVEMENT SHALL BE IN ACCORDANCE WITH APPROVED STANDARDS AND SPECIFICATIONS OF THE CITY OF ROANOKE AND THE WESTERN VIRGINIA WATER AUTHORITY.

APPROVED PLANS/CONSTRUCTION CHANGES: ANY CHANGE OR VARIATION FROM CONSTRUCTION DESIGN AS SHOWN ON THE OFFICIALLY APPROVED PLANS SHALL BE APPROVED BY THE EROSION AND SEDIMENT CONTROL AGENT PRIOR TO SAID CHANGES OR VARIATION IN CONSTRUCTION BEING MADE.

FINAL ACCEPTANCE/CITY: THE OWNER OR DEVELOPER SHALL FURNISH THE CITY OF ROANOKE'S PLANNING BUILDING AND DEVELOPMENT DEPARTMENT WITH A FIELD SURVEYED FINAL CORRECT SET OF AS-BUILT PLANS OF THE NEWLY CONSTRUCTED STORM DRAIN AND/OR STORMWATER MANAGEMENT FACILITIES PRIOR TO FINAL ACCEPTANCE AND ISSUANCE OF A CERTIFICATE OF OCCUPANCY BY THE CITY. AS-BUILT PLANS SHALL BE PROVIDED IN THE STATE PLANE VIRGINIA SOUTH COORDINATE SYSTEM, NAD 1983, FIPS 4502 FEET, US SURVEY FEET, DATUM NA 83, IN THE FORM OF 1 PAPER COPY AND 1 DIGITAL AUTOCAD FILE.

4753 VALLEY VIEW BOULEVARD

CITY OF ROANOKE, VIRGINIA

SHEET INDEX

- | | |
|-----|---------------------------------|
| C1 | COVER SHEET |
| C2 | EXISTING CONDITIONS & DEMO PLAN |
| C3 | LAYOUT & UTILITY PLAN |
| C4 | GRADING PLAN |
| C5 | PHASE 1 ESC PLAN |
| C6 | PHASE 2 ESC PLAN |
| C7 | ESC NOTES |
| C8 | ESC DETAILS |
| C9 | LANDSCAPE PLAN |
| C10 | GENERAL NOTES |
| C11 | SITE DETAILS 1 |
| C12 | SITE DETAILS 2 |
| C13 | WATER & SEWER DETAILS |
| C14 | SITE LIGHTING PLAN |
| C15 | LIGHTING DETAILS |

LEGEND

---348---	EX. INTRMDT. CONTOUR	---	PROP. INTRMDT. CONTOUR
---345---	EX. INDEX CONTOUR	---(1320)---	PROP. INDEX CONTOUR
+35.55	EX. SPOT ELEVATION	35.55	PROP. SPOT ELEVATION
8" WL	EX. WATER LINE	8" WL	PROP. WATER LINE
8" SAN	EX. SANITARY SEWER	8" SAN	PROP. SANITARY SEWER
18" RCP	EX. STORM PIPE	---	PROP. STORM PIPE
---	EX. EDGE OF PAVEMENT	---	PROP. EDGE OF PAVEMENT
---	EX. BUILDING	---	PROP. BUILDING
---	EX. CONCRETE	---	PROP. CONCRETE
---	EX. PAVEMENT	---	PROP. ASPHALT PAVEMENT (STANDARD/HEAVY DUTY)
---	EX. GRAVEL	---	PROP. GRAVEL
---	PAVEMENT REPLACEMENT	---	PROP. PAVERS
●	EX. POWER POLE	●	PROP. POWER POLE
●	EX. SANITARY SEWER MANHOLE	●	PROP. SANITARY SEWER MANHOLE
●	EX. STORM SEWER MANHOLE	---	SIGN
●	CLEANOUT	---	WATER METER
●	EX. LIGHT POLE	---	PROP. GATE VALVE
▶	WATER LINE REDUCER	---	BLOW-OFF VALVE
---	EX. TELEPHONE	☆	BENCHMARK
G	EX. GAS LINE	G	PROP. GAS LINE
OHU	EX. OVERHEAD CABLE	OHU	PROP. OVERHEAD CABLE
X	EX. FENCE	P	PROP. UNDERGRND POWER LINE
---	EX. TREE LINE	X	PROP. FENCE
---	ADJOINING PROPERTY LINE	---	PROP. TREE LINE
---	EXISTING ROAD MONUMENTS	---	SITE PROPERTY LINE
---	WETLAND AREA	---	INLET PROTECTION

ABBREVIATIONS

AHFH	ARROW HEAD TOP OF FIRE HYDRANT	EW	ENDWALL	RR	RAILROAD
APPROX	APPROXIMATE	EXIST	EXISTING	RYS	REAR YARD SETBACK
ASPH	ASPHALT	FDN	FOUNDATION	SAN	SANITARY
BC	BOTTOM OF CURB	FF	FINISHED FLOOR	SBL	SOUTH BOUND LANE
BIT	BITUMINOUS	FG	FINISH GRADE	SD	STORM DRAIN
BLDG	BUILDING	GBE	GRADE BREAK ELEVATION	SECT	SECTION
BLK	BLOCK	GBS	GRADE BREAK STATION	SE	SLOPE EASEMENT
BM	BENCHMARK	HOA	HOMEOWNERS ASSOCIATION	SS	SANITARY SEWER
BVCE	BEGIN VERT. CURVE ELEV.	HPT	HIGH POINT	SSD	STOPPING SIGHT DISTANCE
BVCS	BEGIN VERT. CURVE STA.	HSO	HEADLIGHT SIGHT DISTANCE	SSE	SANITARY SEWER EASEMENT
BW	BOTTOM OF WALL	INTX	INTERSECTION	STA	STATION
CB	CINDER BLOCK	INV	INVERT	STD	STANDARD
C&G	CURB & GUTTER	IP	IRON PIN	STO	STORAGE
CMP	CORRUGATED METAL PIPE	LT	LEFT	SYS	SIDE YARD SETBACK
CONC	CONCRETE	LVC	LENGTH OF VERTICAL CURVE	TBR	TEMPORARY BENCHMARK TO BE REMOVED
COR	CORNER	MH	MANHOLE	TC	TOP OF CURB
DBL	DOUBLE	MIN	MINIMUM	TEL	TELEPHONE
DEFL	DEFLECTION	MBL	MINIMUM BUILDING LINE	TRANS	TRANSFORMER
DI	DROP INLET	MON	MONUMENT	TW	TOP OF WALL
DIA	DIAMETER	NBL	NORTH BOUND LANE	TYP	TYPICAL
DE	DRAINAGE EASEMENT	PROP	PROPOSED	VDOT	VIRGINIA DEPARTMENT OF TRANSPORTATION
ELEC	ELECTRIC	PUE	PUBLIC UTILITY EASEMENT	VERT	VERTICAL
ELEV	ELEVATION	PVMT	PAVEMENT	WBL	WEST BOUND LANE
ENTR	ENTRANCE	R	RADIUS	YD	YARD
EP	EDGE OF PAVEMENT	RT	RIGHT		
EVCE	END VERT. CURVE ELEV.	R.O.W.	RIGHT OF WAY		
EVCS	END VERT. CURVE STA.	REQD	REQUIRED		
		RR	RAILROAD		

SITE INFORMATION

OWNER:	ART HOLDING, LLC 333 E. BROADWAY AVE. MARYVILLE, TN 37804
DEVELOPER:	FRONTIER BUILDING CORP. 1801 SW 3RD AVE., SUITE 500 MIAMI, FL 33129
EXISTING USE:	VACANT RESTAURANT
PROPOSED USES:	MEDICAL CLINIC - 3,500 S.F. EATING ESTABLISHMENT - 2,300 S.F. EATING ESTABLISHMENT - 1,200 S.F.
ZONING:	CG(C) - COMMERCIAL GENERAL W/ CONDITIONS ORDINANCE # 33360-050597
TAX PARCEL NO.S:	2250111
TOTAL SITE AREA:	1.12 AC.
DISTURBED AREA:	0.51 AC.
WATER/SEWER:	PUBLIC BY WESTERN VIRGINIA WATER AUTHORITY
BUILDING AREA:	7,000 S.F. TOTAL GROSS FLOOR AREA
MINIMUM PARKING REQUIRED:	MEDICAL CLINIC - 1 SPACE/300 S.F. OF NET FLOOR AREA 3,500 S.F. GROSS F.A. X 0.75 = 2,625 S.F. NET F.A. 9 SPACES REQUIRED EATING ESTABLISHMENT - 1 SPACE/100 S.F. OF NET FLOOR AREA 3,500 S.F. GROSS F.A. X 0.75 = 2,625 S.F. NET F.A. 27 SPACES REQUIRED 36 TOTAL SPACES REQUIRED
PARKING PROVIDED:	71 SPACES PROVIDED, INCLUDING 3 HANDICAP
LOADING SPACES REQUIRED/PROVIDED:	1 REQUIRED/1 PROVIDED
SETBACKS:	FRONT: 0' MIN. / 30' MAX. SIDE: 0' REAR: 0'
MAX. FLOOR AREA RATIO ALLOWED/PROVIDED:	5.0/0.14
IMPERVIOUS SURFACE RATIO ALLOWED/PROVIDED:	85%/72%
MAX. BUILDING HEIGHT ALLOWED/PROPOSED:	45'/25'-8" PROPOSED

ENGINEERS NOTES

BALZER AND ASSOCIATES, INC. ASSUMES NO RESPONSIBILITY FOR ADEQUACY OF PLANS OR FOR INFORMATION ON PLANS UNTIL SUCH PLANS HAVE BEEN APPROVED BY THE REQUIRED PUBLIC AGENCIES.

ANY WORK COMMENCED ON A PROJECT PRIOR TO PLAN APPROVAL IS AT SOLE RISK OF THE DEVELOPER.

BALZER AND ASSOCIATES, INC. WILL NOT BE RESPONSIBLE FOR THE CONTRACTORS FAILURE TO CARRY OUT THE WORK IN ACCORDANCE WITH THE PLANS OR WILL NOT BE RESPONSIBLE FOR ACTS OR OMISSIONS OF THE CONTRACTOR, SUBCONTRACTORS, OR THEIR AGENTS OR EMPLOYEES, OR OF ANY OTHER PERSONS PERFORMING PORTIONS OF THE WORK.

SOURCE OF TOPOGRAPHIC MAPPING IS FIELD SURVEY PERFORMED BY BALZER AND ASSOCIATES, INC., DATED 2017.

COMPREHENSIVE SITE PLAN #: CP18-0013

City of Roanoke Planning, Building, & Development	
COMPREHENSIVE DEVELOPMENT PLAN	
APPROVED	
Any changes to this approved plan must be coordinated with the Agent to the Planning Commission and revisions approved prior to construction.	
Agent, Planning Commission	Ian D. Shaw Digitally signed by Ian D. Shaw Date: 2018.01.15 Time: 10:00:00 -0500
Development Engineer	John P. Moore Digitally signed by John P. Moore Date: 2018.01.15 Time: 10:00:00 -0500
Zoning Administrator	John P. Moore Digitally signed by John P. Moore Date: 2018.01.15 Time: 10:00:00 -0500

CITY OF ROANOKE APPROVAL BLOCK



www.balzer.cc

Roanoke
New River Valley
Richmond
Staunton
Harrisonburg

RESIDENTIAL LAND DEVELOPMENT ENGINEERING
SITE DEVELOPMENT ENGINEERING
LAND USE PLANNING & ZONING
LANDSCAPE ARCHITECTURE
LAND SURVEYING
ARCHITECTURE
STRUCTURAL ENGINEERING
TRANSPORTATION ENGINEERING
ENVIRONMENTAL & SOIL SCIENCE
WETLAND DELINEATIONS & STREAM EVALUATIONS

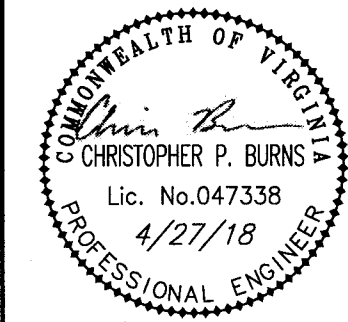
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4753 VALLEY VIEW BOULEVARD

COVER SHEET

CITY OF ROANOKE, VIRGINIA

DRAWN BY CPB

DESIGNED BY CPB

CHECKED BY BTC

DATE 4/3/2018

SCALE N/A

REVISIONS:
4/27/2018

SHEET NO.

C1

JOB NO. 04170073.00