

GENERAL SITE NOTES:

1. NO CONSTRUCTION/FIELD CHANGES WITHOUT THE APPROVAL OF THE CONSULTING ENGINEER, WWA, AND CITY OF ROANOKE PLANNING, BUILDING, AND DEVELOPMENT DEPARTMENT. G.C. SHALL OBTAIN A RIGHT OF WAY PERMIT FROM THE CITY OF ROANOKE PRIOR TO ANY WORK WITHIN THE CITY OF ROANOKE R.O.W.
2. GENERAL CONTRACTOR TO ENSURE POSITIVE DRAINAGE AWAY FROM THE PROPOSED BUILDING.
3. ANY PAVEMENT TO REMAIN THAT IS DISTURBED OR DESTROYED DURING THE CONSTRUCTION PROCESS SHALL BE REPAIRED/REPLACED AS NECESSARY TO PRE-CONSTRUCTION CONDITIONS AT NO COST TO THE OWNER.
4. ALL BUILDING DIMENSIONS AND UTILITY TIE-IN LOCATIONS SHALL BE COORDINATED WITH THE ARCHITECTURAL PLANS.
5. G.C. TO PROVIDE ALL REQUIRED CONDUIT FOR EXTERIOR LIGHTING, ELECTRICAL, TELEPHONE, AND COMMUNICATIONS.
6. G.C. SHALL COORDINATE CONCRETE FINISHING AROUND THE PROPOSED BUILDING WITH THE ARCHITECTURAL PLANS.
7. ALL ROOFTOP OR GROUND MOUNTED MECHANICAL EQUIPMENT SHALL BE SCREENED FROM VIEW PER CITY OF ROANOKE ZONING ORDINANCE. THE PERIMETER OF ALL GROUND-MOUNTED EQUIPMENT SHALL BE SCREENED FROM ANY STREET FRONTAGE OR ADJACENT PROPERTY BY A FENCE OR SOLID WALL WITH 60% OR GREATER OPACITY. THE PERIMETER OF ALL ROOFTOP EQUIPMENT THAT WOULD OTHERWISE BE VISIBLE FROM ANY STREET FRONTAGE SHALL BE SCREENED BY A FENCE OR SOLID WALL WITH 60% OR GREATER OPACITY AT LEAST 1/2 THE VERTICAL HEIGHT OF THE EQUIPMENT FROM THE ADJACENT STREET, TO BE VERIFIED BY SUBMISSION OF A FIELD REVISION TO THE DEVELOPMENT PLAN OR SEPARATE BUILDING PERMIT. AT THIS TIME, IT IS ANTICIPATED THAT ALL MECHANICAL EQUIPMENT WILL BE LOCATED ON THE ROOF.

8. G.C. SHALL OBTAIN A SEPARATE SIGN PERMIT FOR ALL ON-SITE AND BUILDING SIGNAGE. IF A FLAGPOLE DISPLAY IS PROPOSED, NOTE THAT ONLY FLAGS TO BE DISPLAYED ARE NATIONAL, STATE, OR OTHER GOVERNMENTAL FLAGS AND INSIGNIAS.
9. THE DUMPSTER OR REFUSE CONTAINER STORAGE AREA MUST MEET ALL REQUIREMENTS SET FORTH IN TABLE 647-1 AND ARTICLE 4. SUPPLEMENTAL REGULATION SECTION OF THE ZONING ORDINANCE. THE HEIGHT OF THE DUMPSTER SCREENING MUST BE AT LEAST 12" ABOVE THE TOP OF THE DUMPSTER AND THE OPACITY OF THE SCREENING A SOLID FENCE MATERIAL. SEE SHEET C11 FOR DUMPSTER ENCLOSURE AND GATE DETAILS.
10. ALL ROOF LEADERS SHALL BE SCHEDULE 40 PVC AND SHALL BE TIED TO THE UNDERGROUND STORM SEWER SYSTEM AT THE REAR OF THE BUILDING.
11. THE PROPOSED BUILDING WILL NOT BE SPRINKLERED.
12. NO OUTDOOR STORAGE IS PROPOSED.
13. SERIES 3200 OR ABOVE KNOX BOX TO BE PROVIDED ALONG THE FRONT OF THE BUILDING. LOCATION TO BE COORDINATED WITH FIRE MARSHAL'S OFFICE.

UTILITY NOTES:

1. G.C. SHALL COORDINATE THE EXACT LOCATION AND ELEVATION OF ALL UTILITY TIE-INS WITH THE ARCHITECTURAL PLANS.
2. ALL UTILITY SERVICE LATERALS OR LINES, INCLUDING ELECTRIC, SHALL BE INSTALLED UNDERGROUND PER SECTION 36.2-610. WATER & SEWER CONNECTIONS SHALL CONFORM TO WWA UTILITY STANDARDS AND INTERNATIONAL BUILDING CODE.
3. G.C. SHALL VERIFY THE EXACT ELEVATIONS OF THE EXISTING UTILITIES PRIOR TO CONSTRUCTION AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES.
4. G.C. SHALL ADJUST EXISTING UTILITY TOPS TO PROPOSED FINISHED GRADE AS NECESSARY.
5. THE G.C. SHALL COORDINATE TEMPORARY POWER FOR THE PROPOSED BUILDING.
6. FIRE FLOW INFORMATION FOR EXISTING HYDRANT AS FURNISHED BY THE WWA:
HYD-11168
STATIC: 92 PSI
RESIDUAL: 75 PSI
FLOW: 1,300 GPM
FLOW @ 20 PSI RESIDUAL: 2,835 GPM
7. THE EXISTING 2" WATER METER ON-SITE SHALL SERVE THE PROPOSED BUILDING. CONTRACTOR TO COORDINATE SUBMETERING OF TENANT SPACES WITH THE OWNER.

GENERAL UTILITY NOTES:

1. ALL CONSTRUCTION METHODS AND MATERIALS SHALL CONFORM TO THE LATEST WWA DESIGN AND CONSTRUCTION STANDARDS.
2. THE CONTRACTOR OR DEVELOPER IS REQUIRED TO NOTIFY THE WWA IN WRITING AT LEAST THREE (3) DAYS PRIOR TO ANY CONSTRUCTION. PLEASE CONTACT MARK SINK AT (540) 537-3460.
3. ALL WORK SHALL BE SUBJECT TO INSPECTION BY THE WWA.
4. FIELD CORRECTIONS SHALL BE APPROVED BY THE WWA PRIOR TO SUCH CONSTRUCTION.
5. THE CONTRACTOR SHALL MAINTAIN A MINIMUM OF 18" CLEARANCE VERTICALLY AND 2' MINIMUM HORIZONTALLY FROM OUTSIDE OF PIPE TO OUTSIDE OF PIPE AT ALL WATER, SANITARY SEWER CROSSINGS OF ANY OTHER UTILITIES. WHERE THIS CANNOT BE ACHIEVED, ADDITIONAL MEASURES IN ACCORDANCE WITH WWA STANDARDS SHALL BE ENFORCED.
6. ANY EXISTING APPURTENANCES SHOULD BE ADJUSTED TO GRADE AND NEW FRAME AND COVERS INSTALLED WHERE REQUIRED.
7. IT IS THE CONTRACTOR'S RESPONSIBILITY TO HAVE ALL EXISTING UTILITIES LOCATED AND POTHOLED TO VERIFY LOCATIONS. THE WWA PLAN REVIEW DOES NOT REMOVE THE CONTRACTOR'S RESPONSIBILITY TO RELOCATE ANY EXISTING CONFLICTS FOUND DURING CONSTRUCTION.

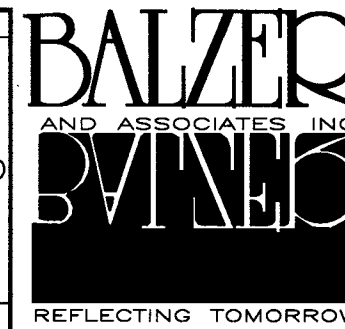
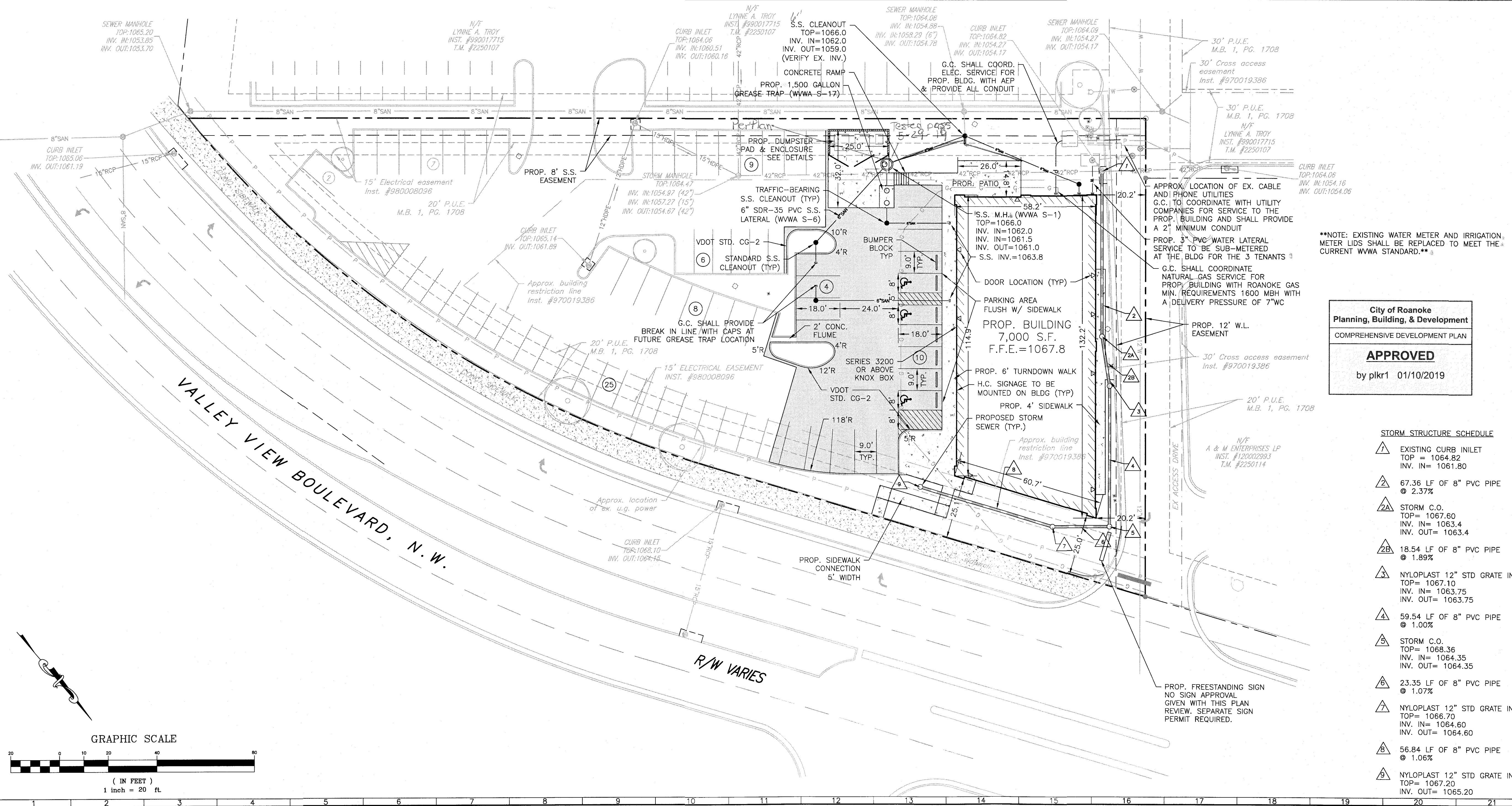
SEWER NOTES:

1. ALL SANITARY SEWER CONNECTIONS TO EXISTING PUBLIC LINES SHALL BE COORDINATED WITH AND PERFORMED BY THE WWA.
2. ALL WATER AND SANITARY SEWER FACILITIES ARE TO BE INSTALLED ACCORDING TO THE WWA DESIGN AND CONSTRUCTION STANDARDS.

WATER NOTES:

1. ALL WATER CONNECTIONS TO EXISTING PUBLIC LINES SHALL BE COORDINATED WITH AND PERFORMED BY THE WWA.
2. ALL WATER AND SANITARY SEWER FACILITIES ARE TO BE INSTALLED ACCORDING TO THE WWA DESIGN AND CONSTRUCTION STANDARDS.
3. AVAILABILITY NUMBER:

Grease Trap
7 x 10
6 Feet Deep
4-23-19
CSC Built



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Roanoke
New River Valley
Richmond
Staunton
Harrisonburg

RESIDENTIAL LAND DEVELOPMENT ENGINEERING
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ENVIRONMENTAL & SOIL SCIENCE
WETLAND DELINEATIONS & STREAM EVALUATIONS

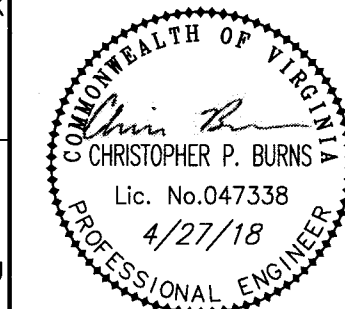
Balzer and Associates, Inc.

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4753 VALLEY VIEW BOULEVARD

LAYOUT & UTILITY PLAN

CITY OF ROANOKE, VIRGINIA

DRAWN BY CPB

DESIGNED BY CPB

CHECKED BY BTC

DATE 4/3/2018

SCALE 1"=20'

REVISIONS:
4/27/2018

SHEET NO.

C3

JOB NO. 04170073.00