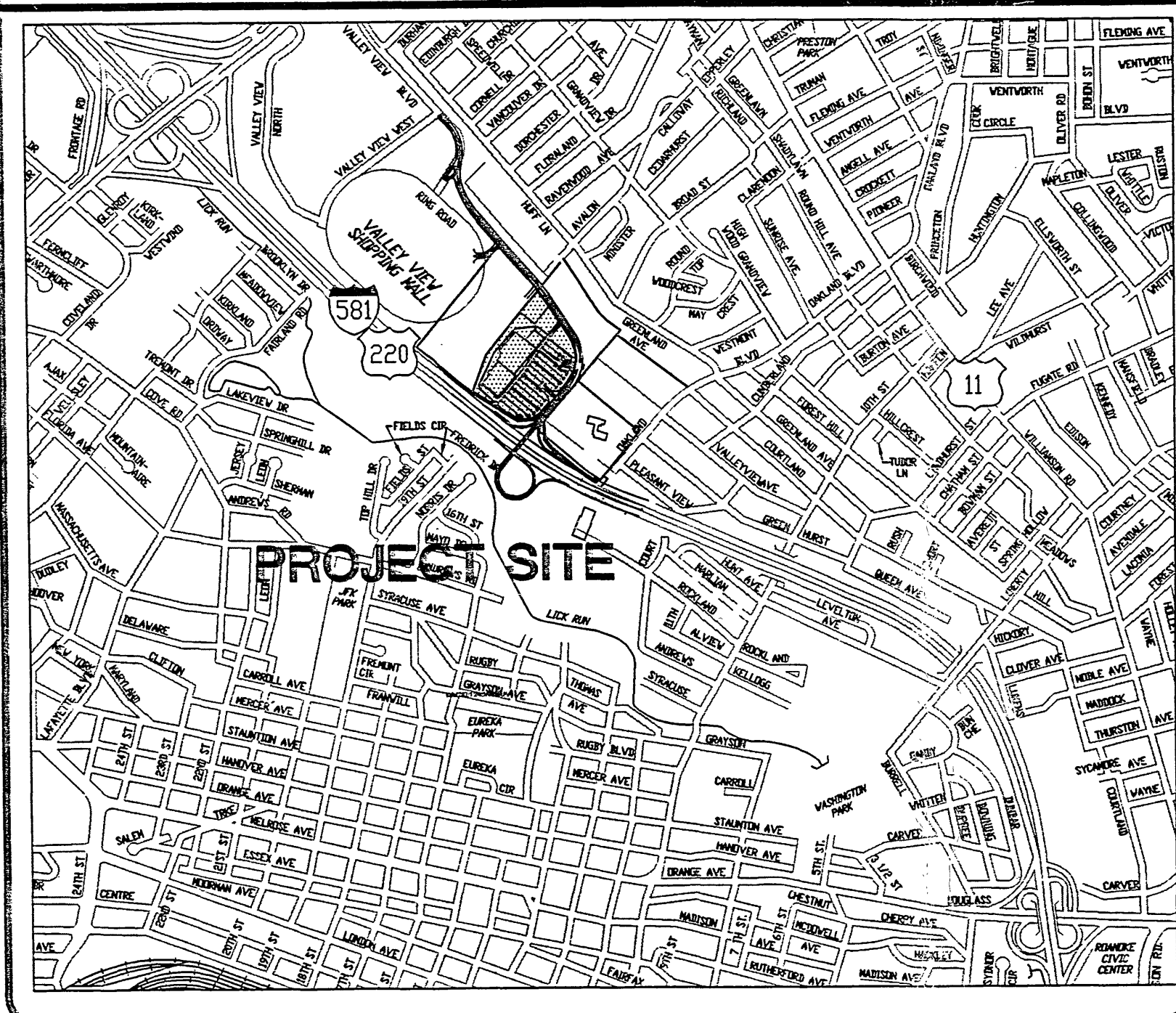


VICINITY MAP



CITY CONSTRUCTION NOTES

ALL LANDOWNERS, DEVELOPERS AND CONTRACTORS

FAILURE TO COMPLY WITH THE CONSTRUCTION PROCEDURE REQUIREMENTS LISTED BELOW MAY RESULT IN THE COSTLY REMOVAL OF STRUCTURES, TIME DELAYS OR THE ISSUANCE OF A STOP WORK ORDER.

CONSTRUCTION PROCEDURE REQUIREMENTS

- CITY INSPECTIONS** - TO INSURE THE COORDINATION OF TIMELY AND PROPER INSPECTIONS, A PRE-CONSTRUCTION CONFERENCE SHALL BE INITIATED BY THE CONTRACTOR WITH THE CITY BUILDING INSPECTIONS DEPARTMENT. CALL (703) 961-2222 TO ARRANGE A CONFERENCE AT LEAST THREE (3) DAYS PRIOR TO ANTICIPATED CONSTRUCTION.
- STREET OPENING PERMIT** - PRIOR TO THE COMMENCEMENT OF ANY DIGGING, ALTERATION OR CONSTRUCTION WITHIN THE PUBLIC RIGHT-OF-WAY (STREETS, ALLEYS, PUBLIC EASEMENTS), A STREET OPENING PERMIT SHALL BE APPLIED FOR AND OBTAINED BY THE CONTRACTOR FROM THE CITY OF ROANOKE.
- PLANS AND PERMITS** - A COPY OF THE PLANS APPROVED BY THE CITY (SIGNED BY THE PROPER CITY OFFICIALS) AND ALL PERMITS ISSUED BY THE CITY SHALL BE AVAILABLE AT THE CONSTRUCTION SITE AT ALL TIMES OF ONGOING CONSTRUCTION.
- LOCATION OF UTILITIES** - THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION.
- CONSTRUCTION ENTRANCE** - THE CONTRACTOR SHALL INSTALL AN ADEQUATE CONSTRUCTION ENTRANCE FOR ALL CONSTRUCTION RELATED EGRESS FROM THE SITE. SIZE AND COMPOSITION OF CONSTRUCTION ENTRANCE SHALL BE DETERMINED BY THE CITY SITE PLAN INSPECTOR.
- STREETS TO REMAIN CLEAN** - IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO INSURE THAT THE PUBLIC STREET ADJACENT TO THE CONSTRUCTION ENTRANCE REMAINS FREE OF MUD, DIRT, DUST AND/OR ANY TYPE OF CONSTRUCTION MATERIALS OR LITTER AT ALL TIMES.
- BARRICADES/DITCHES** - THE CONTRACTOR SHALL MAINTAIN THE INTEGRITY OF ALL EXCAVATED DITCHES AND SHALL FURNISH AND ENSURE THAT ALL BARRICADES PROPER AND NECESSARY FOR THE SAFETY OF THE PUBLIC ARE IN PLACE.
- SEWER AND PAVEMENT REPLACEMENT** - CONSTRUCTION OF SANITARY SEWERS AND THE REPLACEMENT OF PAVEMENT SHALL BE IN ACCORDANCE WITH APPROVED STANDARDS AND SPECIFICATION OF THE CITY OF ROANOKE.
- APPROVED PLANS/CONSTRUCTION CHANGES** - ANY CHANGE OR VARIATION FROM CONSTRUCTION DESIGN AS SHOWN ON THE OFFICIALLY APPROVED PLANS SHALL BE APPROVED BY THE CITY ENGINEER PRIOR TO SAID CHANGES OR VARIATION IN CONSTRUCTION BEING MADE.
- FINAL ACCEPTANCE/CITY** - THE DEVELOPER OR CONTRACTOR SHALL FURNISH THE CITY OF ROANOKE'S ENGINEERING DEPARTMENT WITH A FINAL CORRECT SET OF AS-BUILT PLANS PRIOR TO FINAL ACCEPTANCE BY THE CITY.

OWNER:

FCD-SHENANDOAH LIMITED PARTNERSHIP
1900 INTERSTATE TOWER
121 WEST TRADE STREET
CHARLOTTE, NC 28202-5399
TELEPHONE: (704) 331-2500
FAX: (704) 338-3010

DEVELOPER:

FCD-SHENANDOAH LIMITED PARTNERSHIP
1900 INTERSTATE TOWER
121 WEST TRADE STREET
CHARLOTTE, NC 28202-5399
TELEPHONE: (704) 331-2500
FAX: (704) 338-3010

ENGINEER:

MATTEN & CRAIG, INC.
701 FIRST STREET, S.W.
ROANOKE, VIRGINIA 24016
TELEPHONE: (540) 345-9342
FAX: (540) 345-7691

HILL STUDIO, P.C.
120 WEST CAMPBELL AVE.
ROANOKE, VIRGINIA 24011
TELEPHONE: (540) 342-5263
FAX: (540) 345-5625

ENGINEER'S INCORPORATED
1345 GARNER LANE
SUITE 301
COLUMBIA, SOUTH CAROLINA, 29210
TELEPHONE: (803) 798-7830
FAX: (803) 772-1035

GENERAL NOTES

- THIS PROPERTY DOES NOT LIE WITHIN THE LIMITS OF A 100 YEAR FLOOD BOUNDARY AS DESIGNATED BY CURRENT FEMA MAPS.

WASTE GENERATION:

WASTE WATER:

- NORMAL DOMESTIC WASTE GENERATED BY EMPLOYEES AND CUSTOMERS WILL BE DISCHARGED TO THE LOCAL POTW.

SOLID WASTE:

- CLEAN PAPER AND MISCELLANEOUS PACKAGING MATERIAL SUCH AS BAGS AND CORRUGATED CARTONS WILL BE TRUCKED OFF-SITE AND RECYCLED.
- MISCELLANEOUS TRASH AND SOILED PAPER WILL BE PLACED IN AN ENCLOSED COMPACTOR AND DISPOSED OF BY A LOCAL HAULER.

WATER & SEWER NOTES

SEWER NOTES

- A MINIMUM COVER OF THREE (3) FEET IS REQUIRED OVER PROPOSED LINES.
- CONTRACTORS SHALL BE RESPONSIBLE FOR LOCATING AND UNCOVERING ALL MANHOLES AFTER PAVING. MANHOLE TOPS SHALL BE ADJUSTED TO GRADE IF NECESSARY.
- ALL EXISTING UTILITIES MAY NOT BE SHOWN, OR MAY NOT BE SHOWN IN THE EXACT LOCATION. THE CONTRACTOR SHALL COMPLY WITH STATE WATER WORKS REGULATIONS, SECTION 12.05.03, WHERE LINES CROSS.
- SEWER CONNECTIONS ARE TO BE MADE WITH 4" PIPE INSTALLED ON A MINIMUM GRADE OF 1/4 INCH TO 1 FOOT IN THE RIGHT WAY.
- LATERALS FROM MANHOLES SHALL BE P.V.C. OR DUCTILE IRON OF SUFFICIENT LENGTH TO PROVIDE TWO (2) FEET OF BEARING ON NATURAL GROUND.
- ALL TRENCHES IN EXISTING OR FUTURE HIGHWAY RIGHT OF WAYS SHALL BE COMPACTED ACCORDING TO CITY OF ROANOKE STANDARDS.
- LINES SHALL BE STAKED PRIOR TO CONSTRUCTION.
- SEWER MAIN SHALL BE SDR-35 POLYVINYL CHLORIDE PIPE OR CITY OF ROANOKE APPROVED EQUAL.

WATER NOTES

- A MINIMUM COVER OF THREE (3) FEET IS REQUIRED OVER PROPOSED LINES.
- CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND UNCOVERING VALVE VAULTS AFTER PAVING AND ADJUSTMENT TO FINAL GRADE IF NECESSARY.
- ALL EXISTING UTILITIES MAY NOT BE SHOWN, OR MAY NOT BE SHOWN IN THE EXACT LOCATION. THE CONTRACTOR SHALL COMPLY WITH STATE WATER WORKS REGULATIONS, SECTION 12.05.03, WHERE LINES CROSS.
- ALL TRENCHES IN EXISTING OR FUTURE HIGHWAY RIGHT OF WAYS SHALL BE COMPACTED ACCORDING TO CITY OF ROANOKE STANDARDS.
- LINES SHALL BE STAKED PRIOR TO CONSTRUCTION.
- WATER MAIN SHALL BE MINIMUM CLASS 50 DUCTILE IRON IN ACCORDANCE TO AWWA C151 OR CITY OF ROANOKE APPROVED EQUAL.

ZONING PROFFERS

VIRGINIA:

BEFORE THE COUNCIL FOR THE CITY OF ROANOKE

IN RE:

Reasoning of a 1.2 acre tract of land and a 40.744 acre portion of a tract of land containing 72.2 acres bounded by Interstate 81, Valley View Boulevard, Round Hill School, ABC and the properties adjacent to Huff Lane bearing tax No. 225013 and tax No. 225014 from 14 Light Manufacturing District and 25-3 Residential District to C-2 General Commercial District, such rezoning to be subject to certain conditions

TO THE HONORABLE MAYOR AND MEMBERS OF THE COUNCIL FOR THE CITY OF ROANOKE

The Petitioners hereby proffer and assure that, if the Property is rezoned as requested, the rezoning will be subject to and Petitioners will abide by the following proffered conditions:

- The proposed development shall be built in substantial conformity with the attached Matts Rezoning Plan 1, Revised, prepared by Hill Studios, P.C. dated 12/12/96, a copy of which is attached to this Petition as Exhibit C, subject to comprehensive development plan review and approval by the Roanoke City Planning Commission.

- No certificates of occupancy shall be issued for any new structures on the Property until such time as the proposed interchange on I-581 and the access road (Valley View Boulevard Extended) are constructed and are operational.

- 2 -

- A landscaped greenspace a minimum of 75 feet wide, adjacent to the residential property along Huff Lane/Greenland Avenue, with a six feet high berm and a black vinyl coated chain-link fence six feet high shall be constructed, planted and maintained by the Property owner until such time as ownership of the landscaped greenspace can be conveyed to the Western Virginia Land Trust or other organization acceptable to the City of Roanoke. In the event that the issue of ownership of the landscaped greenspace cannot be resolved, the berm, vinyl coated chain-link fence and landscaping shall be maintained by the Property owner.

- All lighting on the Property shall consist of lighting fixtures designed with shields that prevent any illumination of adjoining residential neighborhoods.

heating/air the Property shall properties by

ar access from the road. ty and the had only as

if buildings on and Commercial buildings

- 3 -

at Valley View Mall and have the same level of architectural detail on all sides.

- The Property owner shall dedicate that portion of the right-of-way located on the Property which is required for the construction of the interchange on I-581 and for the access road, Valley View Boulevard Extended, in the general configuration shown on the attached Exhibit C and shall construct the access road upon final agreement with the Virginia Department of Transportation, the City of Roanoke and affected property owners.

- The proposed access road, Valley View Boulevard Extended, shall be a four-lane road with an eighty foot wide right-of-way constructed to Virginia Department of Transportation standards with landscaped median and street trees with a minimum of 3 inch caliper on 50 foot centers along both sides of the road. A sidewalk/bicycle path will be constructed on the north westerly side of Valley View Boulevard Extended from the edge of the parking lot adjacent to I-581 to the Wal-Mart property line. A pedestrian/bicycle access is provided on the I-581 Valley View Boulevard Extended overpass.

- Landscaping for the parking area located on the north-westerly side of Valley View Boulevard Extended will be consistent with the landscaping of the parking area of Valley View Mall. Landscaping of the 75 foot wide landscaped

greenspace will be in substantial conformity with the attached typical 100 foot section of the landscaped greenspace prepared by Hill Studios, P.C. dated February 28, 1997.

- Landscaping of the 75 foot wide landscaped greenspace and along Valley View Boulevard Extended will be completed within one year of occupancy of any parcel on the Property.

- No fast food restaurants, as defined in the Roanoke City Zoning Ordinance, shall be permitted on the Property.

- There will be no outdoor advertising structures or free standing sign structures on the Property other than directional signs and an entrance sign adjacent to Valley View Boulevard Extended indicating facilities located on the Property. Occupant identification signs on buildings located on the Property will be consistent with Valley View Mall.

RECEIVED

JUN 22 1997

CITY OF ROANOKE
DEPARTMENT OF PLANNING AND
COMMUNITY DEVELOPMENT

COMPREHENSIVE DEVELOPMENT PLAN SUBMITTAL

SHEET LIST

C-1	COVER SHEET - CITY OF ROANOKE
C-2	OVERALL DEVELOPMENT PLAN
C-3	VALLEY VIEW CROSSING - SITE PLAN
C-4	VALLEY VIEW CROSSING - UTILITY PLAN
C-5	VALLEY VIEW CROSSING - GRADING & STORM DRAINAGE PLAN
C-6	VALLEY VIEW CROSSING - SEDIMENTATION & EROSION CONTROL PLAN
C-7	VALLEY VIEW CROSSING - STORM WATER DETENTION BASIN "A" (ENLARGED PLAN)
C-8	VALLEY VIEW CROSSING - STORM WATER DETENTION BASIN "B" (ENLARGED PLAN)
C-9	VALLEY VIEW CROSSING - OFF-SITE STORM DRAINAGE PLAN
C-10	VALLEY VIEW CROSSING - OFF-SITE STORM DRAINAGE PROFILES
C-11	NOT USED
C-12	VALLEY VIEW CROSSING - SANITARY SEWER PROFILES
C-13	VALLEY VIEW CROSSING - STORM DRAINAGE PROFILES
C-14	VALLEY VIEW BOULEVARD - TYPICAL SECTIONS
C-15	VALLEY VIEW BOULEVARD - ROAD PLAN STA. 10+00 - 19+00
C-16	VALLEY VIEW BOULEVARD - ROAD PLAN STA. 19+00 - 30+00
C-17	VALLEY VIEW BOULEVARD - ROAD PLAN STA. 30+00 - 39+00
C-18	VALLEY VIEW BOULEVARD - ROAD PLAN STA. 39+00 - 48+00
C-19	VALLEY VIEW BOULEVARD - ROAD PLAN STA. 18+00 - 54+00
C-20	VALLEY VIEW BOULEVARD - SEDIMENTATION & EROSION CONTROL PLAN STA. 10+00 - 19+00
C-21	VALLEY VIEW BOULEVARD - SEDIMENTATION & EROSION CONTROL PLAN STA. 19+00 - 30+00
C-22	VALLEY VIEW BOULEVARD - SEDIMENTATION & EROSION CONTROL PLAN STA. 30+00 - 39+00
C-23	VALLEY VIEW BOULEVARD - SEDIMENTATION & EROSION CONTROL PLAN STA. 39+00 - 48+00
C-24	VALLEY VIEW BOULEVARD - SEDIMENTATION & EROSION CONTROL PLAN STA. 18+00 - 54+00
C-25	VALLEY VIEW BOULEVARD - ROAD PROFILES
C-26	VALLEY VIEW BOULEVARD - ROAD PROFILES
C-27	VALLEY VIEW BOULEVARD - ROAD PROFILES
C-28	VALLEY VIEW BOULEVARD - ROAD PROFILES
C-29	NOT USED
C-30	NOT USED
C-31	VALLEY VIEW BOULEVARD - EROSION CONTROL DETAILS
C-32	NOT USED
L-1	VALLEY VIEW BOULEVARD - PLANTING LAYOUT
L-2	VALLEY VIEW BOULEVARD - PLANTING LAYOUT
L-3	VALLEY VIEW BOULEVARD - MISCELLANEOUS PLANTING DETAILS & SCHEDULES
SP-1	VALLEY VIEW CROSSING - SITE LIGHTING PLAN & PHOTOMETRICS
SP-2	VALLEY VIEW CROSSING - SITE LIGHTING PLAN

APPROVED
CITY ENGINEER
PLANNING COMMISSION
DATE 7/2/97
DATE 7/2/97

RELEASED FOR: REVIEW ONLY

DATE: SIGNATURE:

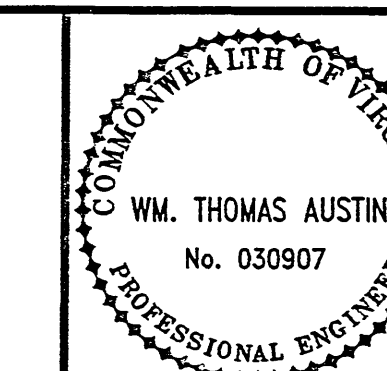
WWW.IDP.EVALVX

DSGN	WT,LDL	REV	DATE	DESCRIPTION	BY	APP
DRAWN	LDL					
CHKD	WT,SWH					

VALLEY VIEW BOULEVARD

TITLE SHEET

ROANOKE, VIRGINIA



FOR
REVIEW
ONLY

SCALE: NO SCALE
COMM. NO. 1536
DATE: JUNE, 1997
SHEET C-1