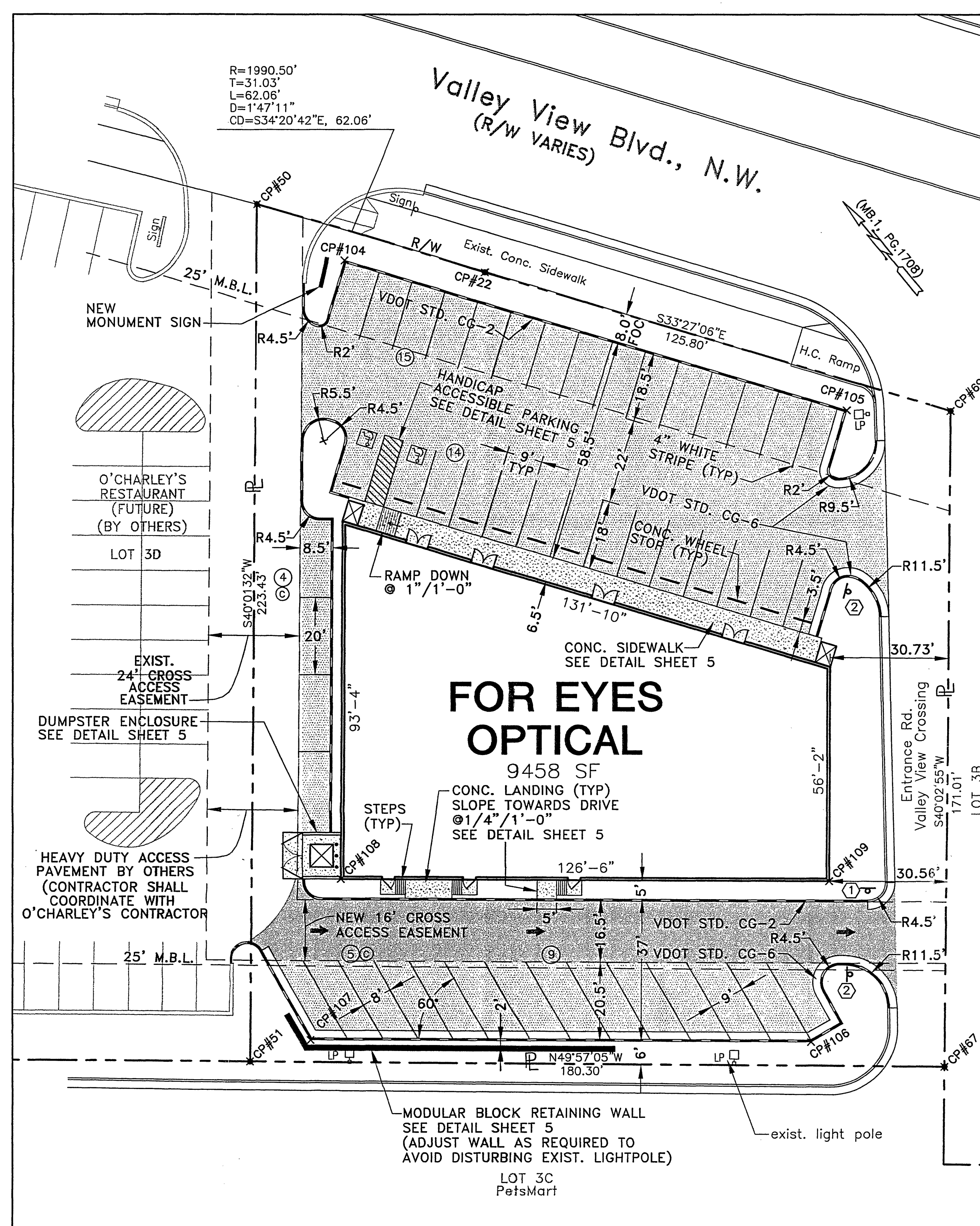


UTILITY NOTES:

1. LOCATION OF EXISTING WATER & SEWER SERVICE STUBS ARE TAKEN FROM DESIGN DRAWINGS. CONTRACTOR TO CONFIRM LOCATION & INVERT PRIOR TO INSTALLATION OF NEW SERVICE LINES.
2. CONTRACTOR TO CONTACT THE CITY OF ROANOKE-UTILITY LINE SERVICE (853-2792) PRIOR TO EXTENDING WATER & SEWER SERVICE LINES AND TO COORDINATE THE INSTALLATION OF NEW WATER METER.
3. EXISTING IRRIGATION LINES, VALVES, & SPRAY HEADS ARE LOCATED ON THIS SITE. CONTRACTOR SHALL CONSTRUCT IMPROVEMENTS IN A MANNER THAT MINIMIZES DISRUPTION AND DAMAGE TO THE IRRIGATION SYSTEM. DAMAGED COMPONENTS SHALL BE REPAIRED TO THEIR ORIGINAL WORKING CONDITION.
4. CONTRACTOR SHALL CONSULT WITH AMERICAN ELECTRIC POWER CO. TO DETERMINE SIZE AND EXACT LOCATION OF TRANSFORMER PAD.

UTILITY / DEMOLITION PLAN

SCALE: 1"=20'



SIGN KEY NOTES:

- ① "ONE WAY"/"DO NOT ENTER"
- ② "STOP"

DIMENSION PLAN

SCALE: 1"=20'

LEGEND

- REGULAR DUTY PAVEMENT (TYPE A)
- HEAVY DUTY PAVEMENT (TYPE B)
- REMOVE TREE
- RESET TREE (SEE NOTE 7)
- COMPACT SPACES
- NO. OF PARKING SPACES

SITE TABULATIONS

TOTAL SITE AREA = 0.818 ACRES
BUILDING AREA = 9,458 S.F.
SITE ADDRESS: 4757 VALLEY VIEW BLVD, N.W.
ZONING: C-2, GENERAL COMMERCIAL DISTRICT
LOT COVERAGE: MAX.=60%, ACTUAL=26.5%
OPEN SPACE: REQ'D. MIN=10% (3,563 S.F.),
ACTUAL=12.6% (4,482 S.F.)

PARKING:	
-REQUIRED (5sp/1,000 s.f.)	47
-PROVIDED	47
-STANDARD	36
-COMPACT (19%)	9
-HANDICAP ACCESSIBLE (4.3%)	2

COORDINATE TABLE

CP#	NORTHING	EASTING	DESCRIPTION
50	10393.7294	11549.8921	PROPERTY CORNER
69	10237.5299	11654.2486	PROPERTY CORNER
67	10106.6249	11544.2168	PROPERTY CORNER
51	10222.6363	11406.1978	PROPERTY CORNER
104	10367.89	11558.14	BACK OF CURB
105	10254.81	11633.69	BACK OF CURB
106	10133.72	11521.55	BACK OF CURB
107	10216.89	11421.96	BACK OF CURB
108	10244.31	11454.78	BUILDING CORNER
109	10163.22	11551.87	BUILDING CORNER
22	10342.1327	11584.3637	PROPERTY CORNER

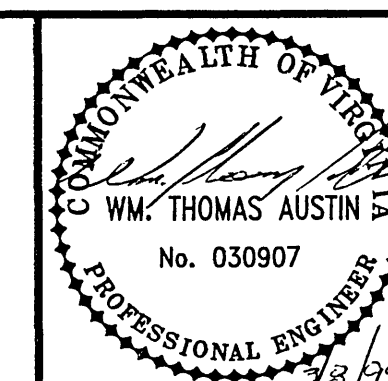
GENERAL NOTES:

1. THE LOCATION OF EXISTING UTILITIES, INCLUDING UNDERGROUND UTILITIES, IS INDICATED ON THE DRAWINGS INSOFAR AS THEIR EXISTENCE AND LOCATION WERE KNOWN AT THE TIME OF THE PREPARATION OF THE DRAWINGS. HOWEVER, NOTHING IN THESE CONTRACT DOCUMENTS SHALL BE CONSTRUED AS A GUARANTEE THAT SUCH UTILITIES ARE IN THE LOCATION INDICATED OR THAT THEY ACTUALLY EXIST, OR THAT OTHER UTILITIES ARE NOT WITHIN THE AREA OF OPERATIONS. THE CONTRACTOR SHALL MAKE ALL NECESSARY INVESTIGATIONS TO DETERMINE THE EXISTENCE AND LOCATIONS OF SUCH UTILITIES. THE CONTRACTOR SHALL PAY FOR ANY DAMAGE TO AND FOR ANY MAINTENANCE AND PROTECTION OF EXISTING UTILITIES AND STRUCTURES.
2. THE CONTRACTOR SHALL INSTALL AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES IN ACCORDANCE WITH THE VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK, LATEST EDITION.
3. EXISTING TOPOGRAPHIC INFORMATION IS TAKEN FROM FIELD SURVEYS PERFORMED BY MATTERN & CRAIG, INC. IN THE FALL, 1998.
4. THE CONTRACTOR SHALL CONTACT "MISS UTILITY" (1-800-552-7001) 48 HOURS PRIOR TO WORKING IN THE VICINITY OF THE EXISTING UTILITIES.
5. UNLESS OTHERWISE NOTED ALL DIMENSIONS AND RADII ARE TO THE BACK OF CURB.
6. CONTRACTOR SHALL COORDINATE CONSTRUCTION WITH O'CHARLEY'S CONTRACTOR IF SIMULTANEOUSLY UNDER CONSTRUCTION. OTHERWISE CONTRACTOR SHALL MATCH THE GRADES OF THE CROSS ACCESS ROAD.
7. CONTRACTOR SHALL RESET TREES INDICATED UPON COMPLETION OF FINAL GRADING. IF TREES DO NOT SURVIVE BEING RESET THE CONTRACTOR SHALL REPLACE TREES WITH A LIKE KIND.
8. PAVEMENT SHALL BE TYPE A - REGULAR DUTY PAVEMENT EXCEPT WHERE INDICATED OTHERWISE.

Mattern & Craig, Inc.
CONSULTING ENGINEERS • SURVEYORS
701 FIRST STREET, S.W.
ROANOKE, VIRGINIA 24016
(540) 345-9342
(540) 345-7691 FAX

DSGN	TAM	REV	DATE	DESCRIPTION	BY	APP
DRAWN	LDL					
CHKD	WTA					

FOR EYES OPTICAL
**DIMENSION PLAN &
UTILITY PLAN**
VALLEY VIEW CROSSING, ROANOKE, VIRGINIA



SCALE: 1"=20'
COMM. NO. 1741
DATE: FEB., 1999
SHEET 3