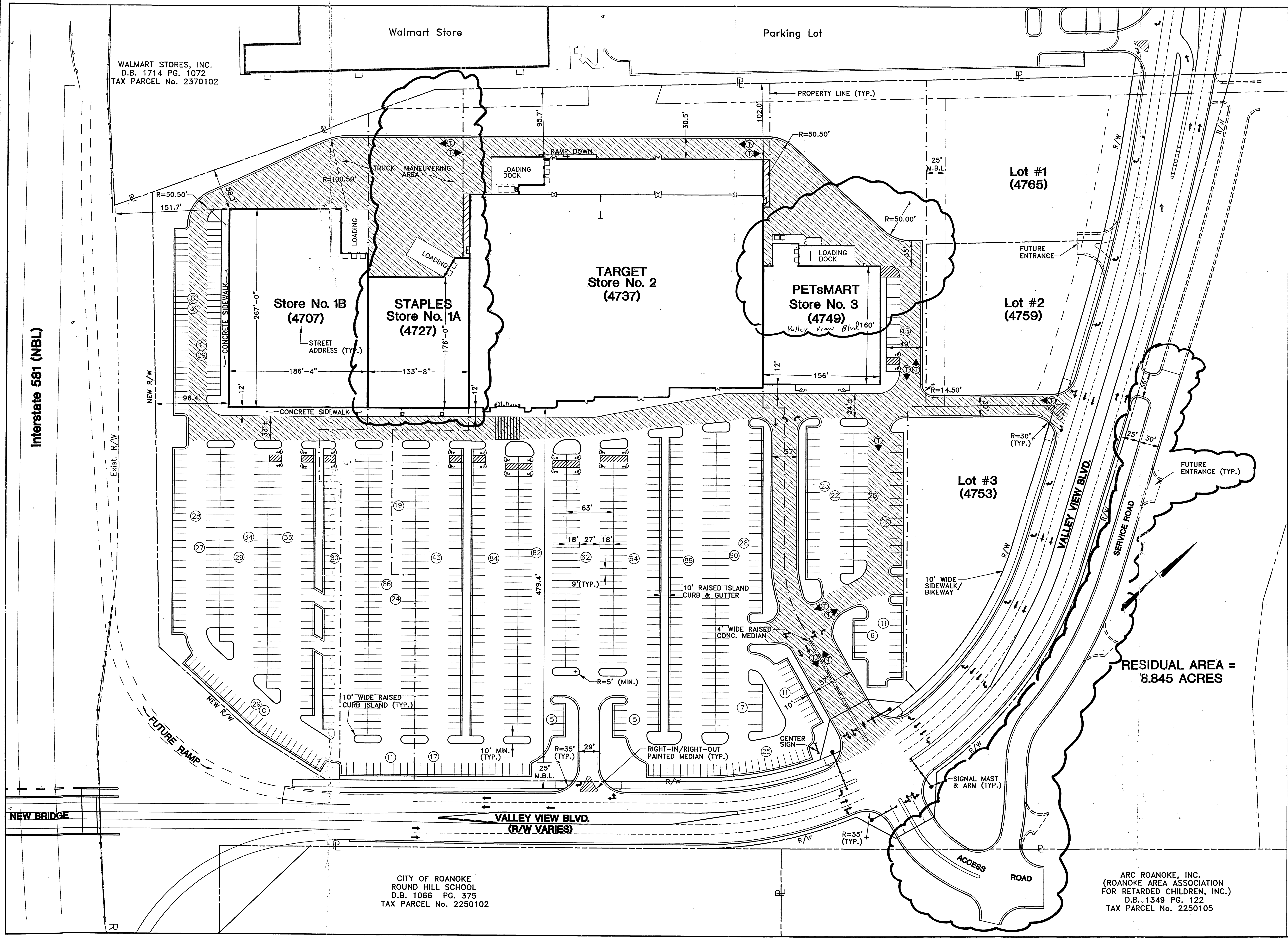




- SITE TABULATIONS**
- SUB-TRACT AREA = 23.985 acres**
 - STORE No. 1A= 2,375 ac
 - STORE No. 1B= 4,653 ac
 - STORE No. 2 = 9,952 ac
 - STORE No. 3 = 3,534 ac
 - LOT #1 = 1,313 ac
 - LOT #2 = 1,038 ac
 - LOT #3 = 1,120 ac
 - DENOTES PROPERTY AREA FOR EACH STORE**
 - BUILDING AREA-222,357 SF**
 - STORE No. 1A= 24,048 SF
 - STORE No. 1B = 49,750SF
 - STORE No. 2 = 122,519 SF
 - STORE No. 3 = 26,040 SF
 - PARKING**
 - REQUIRED = 1,112 (5.0/1000 SF)
 - PROVIDED = 1,188
 - STANDARD = 1075
 - COMPACT = 89 (<20%)
 - HANDICAP ACCESSIBLE = 24 (2%)

- LEGEND**
- (23) No. OF PARKING SPACES (8'-0"x18'-0")
 - (23) COMPACT SPACES (8'-0"x18'-0")
 - PROPERTY LINE
 - ▲ TRUCK TRAFFIC ROUTE
 - HEAVY DUTY PAVEMENT
 - HANDICAP ACCESSIBLE PARKING SPACE

ZONING

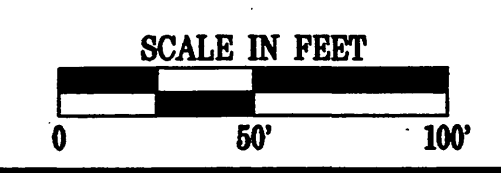
ZONING: C-2
ALLOWABLE LOT COVERAGE - 60%
ALLOWABLE F.A.R. - 5.0

- NOTES:**
- SCOPE OF WORK EXCLUDES ALL CURB & GUTTER, AND SIDEWALK IMMEDIATELY ADJACENT TO THE PROPOSED BUILDINGS UP TO THE EDGE OF THE TRAVELWAY.
 - THE SCOPE OF WORK INCLUDES ALL STRIPING AND SIGNAGE NECESSARY FOR THE HANDICAPPED ACCESSIBLE PARKING SPACES SHOWN. THE SIGNAGE AND STRIPING SHALL BE IN ACCORDANCE WITH THE CITY OF ROANOKE STANDARDS.
 - FINAL CONFIGURATION OF SERVICE ROAD & ENTRANCES ONTO VALLEY VIEW BLVD. ARE SUBJECT TO CHANGE BASED ON FUTURE DEVELOPMENT IN RESIDUAL AREA.
 - SERVICE ROAD THROUGH RESIDUAL AREA AND ON A.R.C. PROPERTY IS SUBJECT TO CROSS-ACCESS EASEMENT.

Pets Mart 4749 Valley View Blvd.

DEVELOPMENT PLAN APPROVED	
Agent, Planning Commission	Date
Development Engineer	Date
Zoning Administrator	Date

Any changes to this approved plan must be coordinated with the Agent to the Planning Commission and revisions approved prior to construction.



Mattern & Craig, Inc.
CONSULTING ENGINEERS - SURVEYORS
701 FIRST STREET, S.W.
ROANOKE, VIRGINIA 24016
(540) 345-9342
(540) 345-7691 FAX

DSGN	LDL, WTA	REV	DATE	DESCRIPTION	BY	APP
		1	05 AUG 97	REVISED PER ADDENDUM #2	LDL	WTA
		2	12 JUN 98	MISCELLANEOUS REVISIONS	LDL	WTA
CHKD	WTA,SWH					

VALLEY VIEW CROSSING
SITE PLAN
ROANOKE, VIRGINIA

RECEIVED
JUN 16 1998
CITY OF ROANOKE
DEPARTMENT OF PLANNING AND
COMMUNITY DEVELOPMENT

100-THUNDERBOLT LIMITED PARTNERSHIP
1000 INTERSTATE TOWER
301 WEST THIRD STREET
CHARLOTTE, NC 28203-3000
TELEPHONE (704) 331-2000
FAX (704) 331-2010

SCALE: 1"=50'
COMM. NO. 1535
DATE: JULY, 1997
SHEET C-1