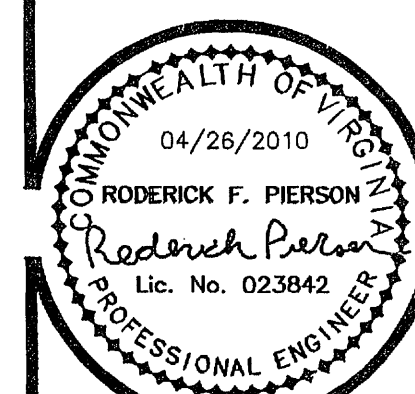


**PIERSON  
ENGINEERING  
&  
SURVEYING**

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**THE VILLAGE GREEN  
PHASE I  
ROANOKE COUNTY, VIRGINIA**

# SITE LAYOUT PLAN



COMMISSION No.  
XXXXX  
SHEET  
C-3

|                   |                                     |
|-------------------|-------------------------------------|
| PROPERTY OWNERS:  | FRIENDSHIP MANOR APT. VILLAGE CORP. |
| PROPERTY ADDRESS: | 6509 CAREFREE LANE                  |
| TAX MAP NUMBER:   | 27.17-4-13                          |
| PROPERTY AREA:    | 14.041 AC. = 611,625 SF.            |
| PROPERTY ZONING:  | R3C                                 |
| PRESENT USE:      | VACANT PROPERTY                     |
| PROPOSED USE:     | RESIDENTIAL HOUSING (TOWNHOUSES)    |

ALLOWED MAX. GROSS DENSITY: 12 UNITS/ACRE = 168 UNITS ALLOWED  
PROPOSED TOWNHOUSE UNITS: 126 UNITS

ALLOWED MAX. BUILDING COVERAGE: 40% OF TOTAL LOT AREA  
PROPOSED BUILDING COVERAGE: 201,301 SF./611,625 SF. = 32.91%

PROPOSED STREET AREA: 97,363 SF.  
PROPOSED DRIVEWAY AREA: 60,904 SF.

|                            |                                  |
|----------------------------|----------------------------------|
| ALLOWED MAX. LOT COVERAGE: | 65% OF TOTAL LOT AREA            |
| PROPOSED LOT COVERAGE:     | 359,568 SF./611,625 SF. = 58.79% |

ALLOWED MAX. NUMBER OF UNITS IN A GROUP OF TOWNHOUSES: 10 UNITS  
PROPOSED MAX. NUMBER OF UNITS IN A GROUP OF TOWNHOUSES: 10 UNITS

ALLOWED MIN. WIDTH OF TOWNHOUSE LOTS: 18 FT.  
PROPOSED MIN. WIDTH OF TOWNHOUSE LOTS: 20 FT.

ALLOWED MAX. HEIGHT OF TOWNHOUSES: 45 FT.

THE FACADES OF TOWNHOUSES IN A GROUP SHALL BE VARIED BY CHANGED FRONT YARDS AND VARIATIONS IN DESIGN SO THAT NO MORE THAN FOUR (4) ABUTTING TOWNHOUSES WILL HAVE THE SAME FRONT YARD SETBACK AND THE SAME OR ESSENTIALLY THE SAME ARCHITECTURAL TREATMENT OF FACADES AND ROOF LINES.

THE MINIMUM SEPARATION BETWEEN ANY BUILDING CONTAINING A GROUP OF FIVE (5) OR MORE TOWNHOUSE UNITS SHALL BE FORTY (40) FEET FROM ANY OTHER TOWNHOUSE BUILDING. THE MINIMUM SEPARATION BETWEEN ANY BUILDING CONTAINING A GROUP OF FOUR (4) OR LESS TOWNHOUSE UNITS SHALL BE TWENTY (20) FEET FROM ANY OTHER BUILDING CONTAINING A GROUP OF FOUR (4) OR LESS TOWNHOUSES.

FRONT: FOR EACH GROUP OF TOWNHOUSE UNITS:  
AN AVERAGE OF 15 FT. & NOT LESS THAN  
10 FT. FOR ANY INDIVIDUAL TOWNHOUSE UNIT

REAR: MIN. SETBACK=25 FT.

SIDE: A SETBACK OF 15 FT. SHALL BE PROVIDED FOR  
EACH END RESIDENCE IN ANY GROUP OF TOWNHOUSES  
ADJOINING A: PROPERTY BOUNDARY OF THE DEVELOPMENT,  
OR A STREET, R/W, DRIVE, PARKING AREA OR  
WALKWAY INTENDED FOR THE COMMON USE OF  
TOWNHOUSE OCCUPANTS.

FRONT: REFER TO TOWNHOUSE SETBACK  
REAR: REFER TO TOWNHOUSE SETBACK  
SIDE: MIN. 10 FT. & REFER TO TOWNHOUSE SETBACK

ALL NEW EXTERIOR LIGHTING FIXTURES SHALL BE DESIGNED,  
LOCATED AND ARRANGED SO AS NOT TO DIRECT GLARE  
ON ADJOINING STREETS OR RESIDENTIAL PROPERTIES.  
THE LIGHTING INTENSITY AT ADJOINING PROPERTIES SHALL  
NOT EXCEED 0.5 FOOT CANDLES.

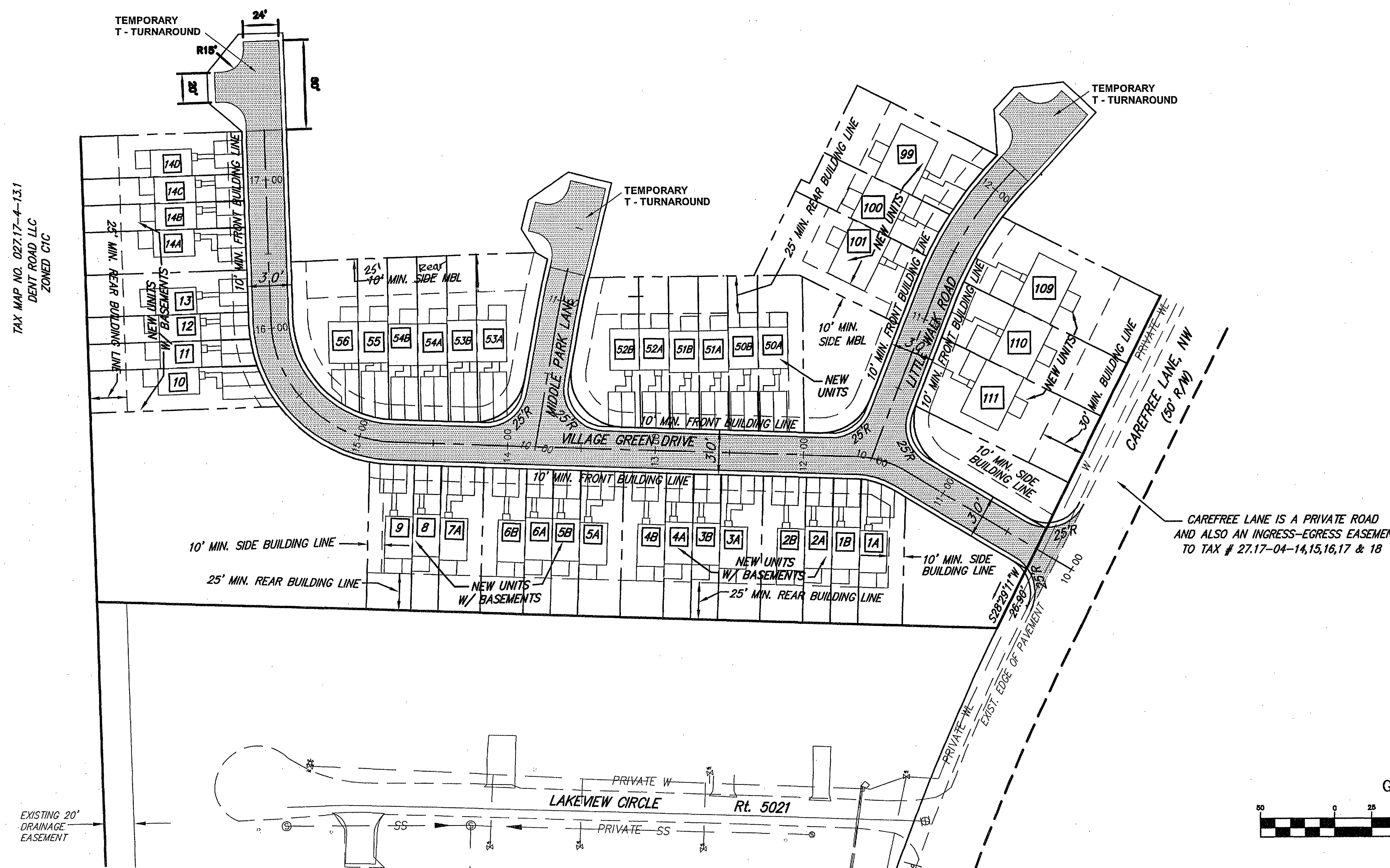
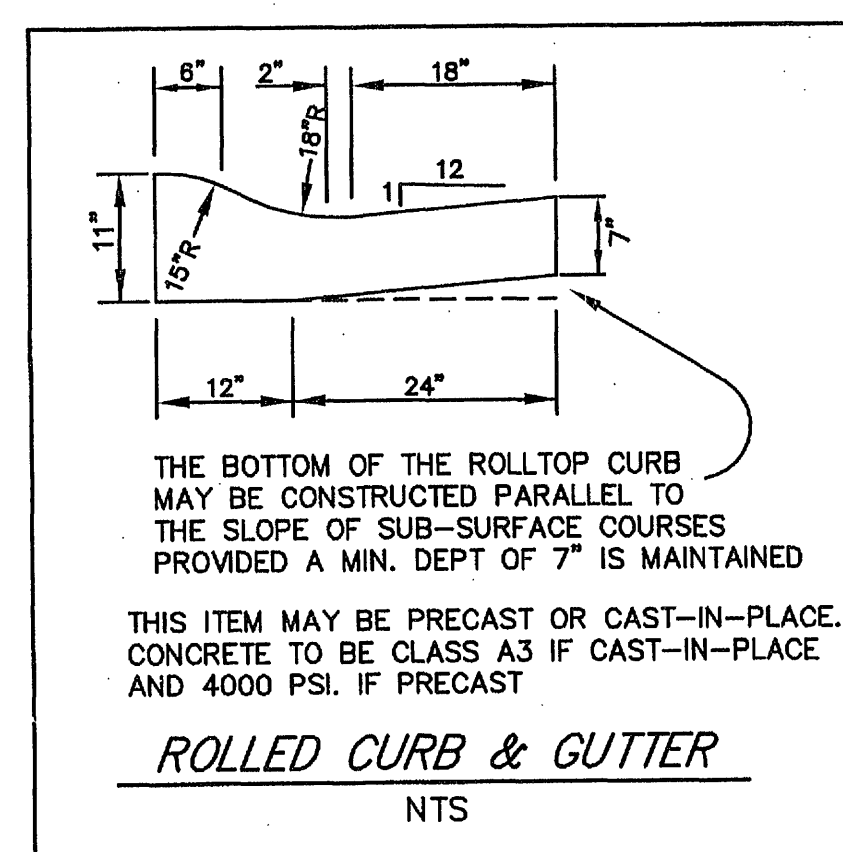
CONTRACTOR TO COORDINATE WITH RESPECTIVE UTILITY COMPANIES FOR ROUTING OF ELECTRIC, TELEPHONE, CABLE AND GAS SERVICES TO THE HOUSES

ALL EXTERIOR SIGNS SHALL BE SIZED AND LOCATED  
ON-SITE PER SIGN ORDINANCE.

ALL UNDERGROUND UTILITIES ARE TO BE CLEARLY MARKED BY MISS UTILITY PRIOR TO BEGINNING CONST. ANY POTENTIAL CONFLICTS AS A RESULT OF THE MARKINGS SHALL BE MADE KNOWN TO THE ENGINEER.

NO CONSTRUCTION/FIELD CHANGES TO THE SITE PLAN  
WITHOUT APPROVAL FROM THE CONSULTING ENGINEER  
AND ROANOKE COUNTY.

ANY NEW ALIGNMENTS, CHANGE IN GRADES, ALTERNATIVE PIPE SIZES OR MANHOLES, AND CERTAIN EROSION SEDIMENT CONTROL MODIFICATIONS WILL REQUIRE A NEW SET OF PLANS STAMPED BY THE CONSULTING ENGINEERS. PLAN SHEETS CAN BE 8.5x11 IF THE INFORMATION IS LEGIBLE.



— CAREFREE LANE IS A PRIVATE ROAD  
AND ALSO AN INGRESS-EGRESS EASEMENT  
TO TAX # 27.17-04-14,15,16,17 & 18

GRAPHIC SCALE

