10' MIN. SIDE BUILDING LINE ----

25' MIN. REAR BUILDING LINE

ALL NEW EXTERIOR LIGHTING FIXTURES SHALL BE DESIGNED, LOCATED AND ARRANGED SO AS NOT TO DIRECT GLARE ON ADJOINING STREETS OR RESIDENTIAL PROPERTIES. THE LIGHTING INTENSITY AT ADJOINING PROPERTIES SHALL NOT EXCEED 0.5 FOOT CANDLES.

CONTRACTOR TO COORDINATE WITH RESPECTIVE UTILITY COMPANIES FOR ROUTING OF ELECTRIC, TELEPHONE, CABLE AND GAS SERVICES TO THE HOUSES

ALL EXTERIOR SIGNS SHALL BE SIZED AND LOCATED ON-SITE PER SIGN ORDINANCE.

ALL UNDERGROUND UTILITIES ARE TO BE CLEARLY MARKED BY MISS UTILITY PRIOR TO BEGINNING CONST. ANY POTENTIAL CONFLICTS AS A RESULT OF THE MARKINGS SHALL BE MADE KNOWN TO THE ENGINEER.

NO CONSTRUCTION/FIELD CHANGES TO THE SITE PLAN WITHOUT APPROVAL FROM THE CONSULTING ENGINEER AND ROANOKE COUNTY.

ANY NEW ALIGNMENTS, CHANGE IN GRADES, ALTERNATIVE PIPE SIZES OR MANHOLES, AND CERTAIN EROSION SEDIMENT CONTROL MODIFICATIONS WILL REQUIRE A NEW SET OF PLANS STAMPED BY THE CONSULTING ENGINEERS. PLAN SHEETS CAN BE 8.5x11 IF THE INFORMATION IS LEGIBLE.

> TEMPORARY T - TURNAROUND

VILLAGE GREENS DRIVE

LAKEVIEW CIRCLE

W/ BASEMENTS

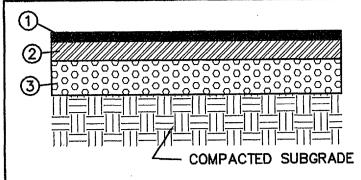
SIDE MBL

W/ BASEMENTS -

Rt. 5021

-25' MIN. REAR BUILDING LINE

10' MIN. SIDE DUILDING LINE



- 1 1/2" ASPHALT CONCRETE SURFACE COURSE, VDOT TYPE SM-9.5 AL
- 2" ASPHALT CONCRETE BASE COURSE COURSE, VDOT TYPE BM-2
- 8" AGGREGATE BASE MATERIAL, VDOT TYPE 1, SIZE NO. 21A

NEW ROAD PAVEMENT SECTION

TEMPORARY T-TURNAROUND

CAREFREE LANE IS A PRIVATE ROAD AND ALSO AN INGRESS-EGRESS EASEMEN

TO TAX # 27.17-04-14,15,16,17 & 18

(IN FEET) i inch = 50 ft.

ROLLED CURB & GUTTER

THE BOTTOM OF THE ROLLTOP CURB MAY BE CONSTRUCTED PARALLEL TO THE SLOPE OF SUB-SURFACE COURSES PROVIDED A MIN. DEPT OF 7" IS MAINTAINED THIS ITEM MAY BE PRECAST OR CAST-IN-PLACE. CONCRETE TO BE CLASS A3 IF CAST-IN-PLACE AND 4000 PSI. IF PRECAST

DATE: 04/01/2010 () A 04/26/2010

PIERSON

ENGINEERING

SURVEYING

P.O. BOX 311

1324 ROANOKE ROAD

DALEVILLE, VA 24083

(540) 966-3027 TEL (540) 966-5906 FAX e-mall rpierson@rbnet.com

S

SITE LAYOUT PLAN

Rederch Piers

COMMISSION No. XXXXX SHEET

T - TURNAROUND 140

> EXISTING 20' DRAINAGE ---EASEMENT

FRIENDSHIP MANOR APT. VILLAGE CORP PROPERTY OWNERS: 6509 CAREFREE LANE PROPERTY ADDRESS TAX MAP NUMBER: 27.17-4-13 PROPERTY AREA: 14.041 AC. = 611,625 SF. PROPERTY ZONING: R3C VACANT PROPERTY PRESENT USE: PROPOSED USE: RESIDENTIAL HOUSING (TOWNHOUSES) TOWNHOUSE ZONING REQUIREMENTS 12 UNITS/ACRE = 168 UNITS ALLOWED ALLOWED MAX. GROSS DENSITY: PROPOSED TOWNHOUSE UNITS: 126 UNITS

ALLOWED MAX. BUILDING COVERAGE: 40% OF TOTAL LOT AREA 201,301 SF./611,625 SF. = 32.91% PROPOSED BUILDING COVERAGE:

97,363 SF. PROPOSED STREET AREA: 60,904 SF. PROPOSED DRIVEWAY AREA:

SITE DATA

65% OF TOTAL LOT AREA ALLOWED MAX. LOT COVERAGE: 359,568 SF./611,625 SF. = 58.79%

20 FT.

45 FT.

PROPOSED LOT COVERAGE: ALLOWED MAX. NUMBER OF UNITS IN A GROUP OF TOWNHOUSES: 10 UNITS PROPOSED MAX. NUMBER OF UNITS IN A GROUP OF TOWNHOUSES: 10 UNITS

ALLOWED MIN. WIDTH OF TOWNHOUSE LOTS: PROPOSED MIN. WIDTH OF TOWNHOUSE LOTS:

ALLOWED MAX. HEIGHT OF TOWNHOUSES:

THE FACADES OF TOWNHOUSES IN A GROUP SHALL BE VARIED BY CHANGED FRONT YARDS AND VARIATIONS IN DESIGN SO THAT NO MORE THAN FOUR (4) ABUTTING TOWNHOUSES WILL HAVE THE SAME FRONT YARD SETBACK AND THE SAME OR ESSENTIALLY THE SAME ARCHITECTURAL TREATMENT OF FACADES AND ROOF LINES.

THE MINIMUM SEPARATION BETWEEN ANY BUILDING CONTAINING A GROUP OF FIVE (5) OR MORE TOWNHOUSE UNITS SHALL BE FORTY (40) FEET FROM ANY OTHER TOWNHOUSE BUILDING. THE MINIMUM SEPARATION BETWEEN ANY BUILDING CONTAINING A GROUP OF FOUR (4) OR LESS TOWNHOUSE UNITS SHALL BE TWENTY (20) FEET FROM ANY OTHER BUILDING CONTAINING A GROUP OF FOUR (4) OR LESS TOWNHOUSES.

TOWNHOUSE SETBACKS

FOR EACH GROUP OF TOWNHOUSE UNITS: AN AVERAGE OF 15 FT. & NOT LESS THAN 10 FT. FOR ANY INDIVIDUAL TOWNHOUSE UNIT

MIN. SETBACK=25 FT.

A SETBACK OF 15 FT. SHALL BE PROVIDED FOR EACH END RESIDENCE IN ANY GROUP OF TOWNHOUSES ADJOINING A; PROPERTY BOUNDARY OF THE DEVELOPMENT, OR A STREET R/W, PRIVATE DRIVE, PARKING AREA OR WALKWAY INTENDED FOR THE COMMON USE OF TOWNHOUSE OCCUPANTS.

R3-ZONING SETBACKS

FRONT: REFER TO TOWNHOUSE SETBACK REAR: REFER TO TOWNHOUSE SETBACK MIN. 10 FT. & REFER TO TOWNHOUSE SETBACK