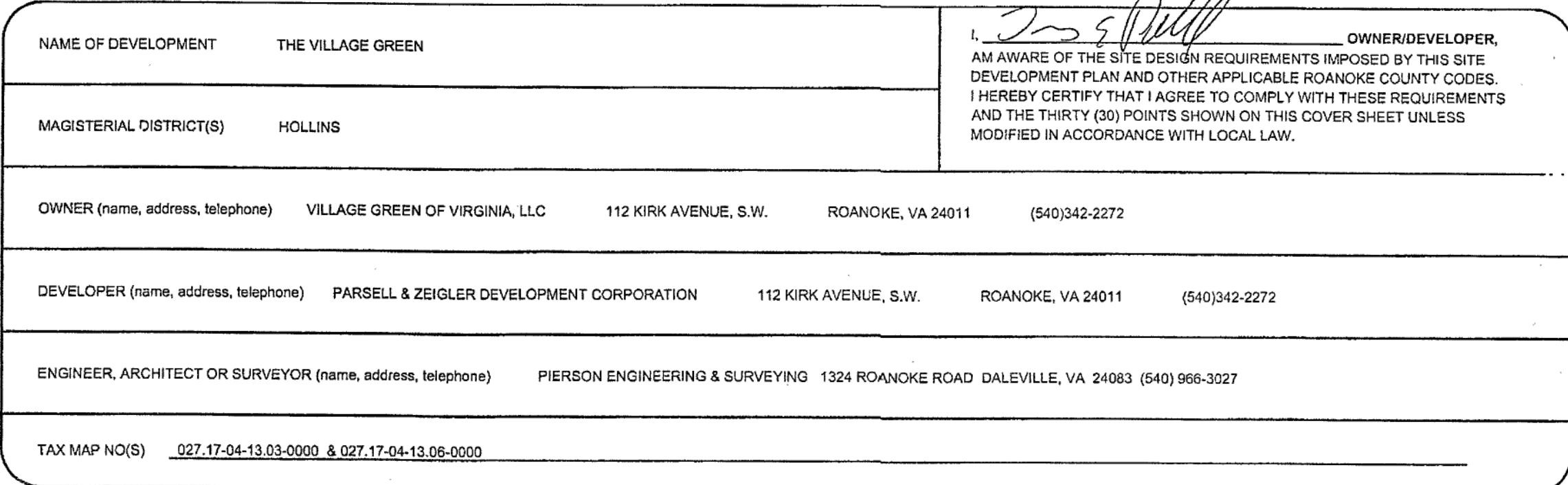


**PRE-CONSTRUCTION MEETING AND CONSTRUCTION COMMENCEMENT:**

- VIRGINIA DEPARTMENT OF TRANSPORTATION

- The Project Engineer shall provide electronic copies of the approved plans to the Development Review Coordinator within 5 working days of the pre-construction meeting. This sheet may not be modified.



All water facilities shall be installed according to the Western Virginia Regional Design and Construction Standards/ (Latest Edition).

A minimum cover of three (3) feet is required over proposed lines

Contractor shall be responsible for locating and uncovering valve vaults after paving and adjustment to final grade if necessary.

All existing utilities may not be shown in their exact location.  
The contractor shall comply with the (State Water Works  
Regulations, Section 12.05.03, where lines cross.

All trenches in existing or future highway right-of-ways shall be compacted according to Virginia Department of Transportation standards.

Lines shall be staked prior to construction.

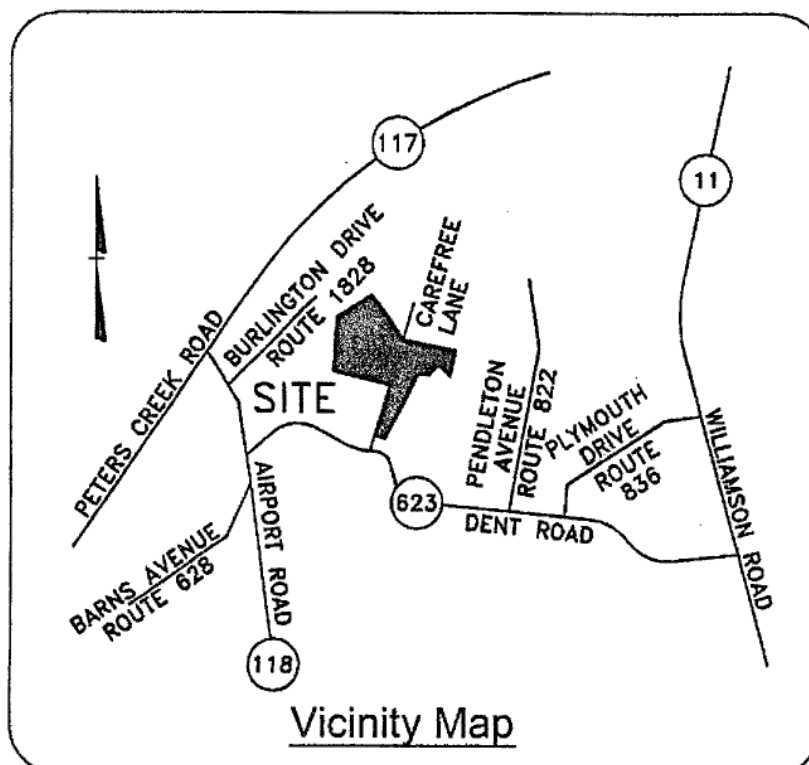
Water main shall be minimum Class 350 Ductile Iron in accordance to AWWA C151 or DR-14 PVC in accordance with AWWA C-900.

The contractor shall provide the Authority record drawings of all new water utilities.

Ductile Iron Pipe in accordance with the Western Virginia Regional Design and Construction Standards shall be required for all pipe with a working pressure equal to or greater than 100 p.s.i.

Western Virginia Water Authority

Availability letter number: 09-174



Property Line

Right-of-way

Centerline

Minimum Building Line

Existing Storm Sewer

Existing Sanitary Sewer

Existing Water Main

Existing Contour

Proposed Contour

Proposed Drainage Divide

Proposed Limits of Clearing

Proposed Storm Sewer

Proposed Sanitary Sewer

Proposed Water Main

HYDRANT & VALVE

BLOWOFF

All sanitary sewer facilities shall be installed according to the Western Virginia Regional Design and Construction Standards/ (Latest Edition).

A minimum cover of three (3) feet is required over proposed lines.

Contractor shall be responsible for locating and uncovering all manholes after paving. Manhole tops shall be adjusted to grade if necessary.

All existing utilities may not be shown in their exact location.  
The contractor shall comply with (State Water Works  
Regulations, Section 12.05.03, where lines cross.)

All trenches in existing or future rights-of-way shall be compacted according to Virginia Department of Transportation standards.

Lines shall be staked prior to construction.

The contractor shall provide the Authority record drawings of all new utilities which include the post construction closed circuit television inspection in digital format of all new sanitary sewers.

Underground utilities installed on private property or in private utility easements and building related storm drains shall be designed and installed per the current edition of the Virginia Uniform Statewide Building Code. Design and installation requirements issued by the Western Virginia Water Authority that meet or exceed the USBC requirements are acceptable for private utilities. All private utilities are to be permitted through and inspected by the Roanoke County Inspections Office. Vaults, valves and other devices installed by or under the control of the Western Virginia Water Authority may not substituted for the code required devices.

SHEET C-1	ROANOKE COUNTY COVER SHEET
SHEET C-2	SITE DATA AND ZONING REQUIREMENT PLAN
SHEET C-3	SITE LAYOUT PLAN
SHEET C-4	VILLAGE GREEN DR. PROFILE
SHEET C-5	WATER & SANITARY SEWER PLAN
SHEET C-6	GRADING & DRAINAGE PLAN - PHASE II
SHEET C-7	EROSION & SEDIMENT CONTROL PLAN - PHASE II
SHEET C-8	ROANOKE COUNTY EROSION & SEDIMENT CONTROL DETAILS
SHEET C-9	WATER & SEWER DETAILS
SHEET C-10	E & S NARRATIVE AND FILTERIA DETAILS AND NOTES
SHEET C-11	STORMDRAIN PROFILES

Storm Drain As-Built Plan For Phase II To Include the Inverts For All Filterra Units.

The phased development plans for The Village Green shall conform to the approved master site plan "The Village Green, approval letter February 18, 2010". Any alterations from the master site plan by any of the phased development plans will result in re-evaluation of the storm drain system and stormwater management requirements.

The right of way and drainage easements for Phase I shall not be assigned to the Homeowners Association, but shall stay in control of the Developer until the required water quality requirements for Phase 1 have been implemented.

Water quality requirements for The Village Green, Phase I as shown on these plans are not required (less than average land cover condition "I Watershed" of 16%). Any further development beyond Phase I that equals or greater than the "I Watershed" of 16% will require that water quality requirements for Phase I and the further development to be implemented. Phase I will not be considered as redevelopment, but in its original vegetated condition.

Horizontal and vertical control surveys were performed in year: 2005  
By: Roanoke County GIS & Pierson & Surveying

All vertical elevations must be referenced to the National Geodetic Vertical Datum of 1929 or 1988.  
All horizontal elevations must be referenced to the North American Datum of 1927 or 1983.

Source of topographic mapping is dated Roanoke County GIS & Pierson Engineering 08/2005

Boundary was performed by Pierson Engineering dated: 08/2005

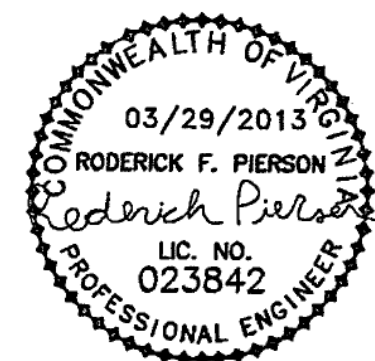
Benchmark Information: TEMPORARY SPIKE SET

The professional seal and signature certifies the boundary survey and topographic mapping to be accurate and correct.

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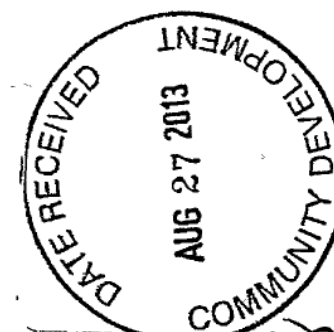
# Pierson Engineering & Surveying

14 Catawba Road Daleville, VA 24083  
(540) 966-3027 (540) 966-5906 (Fax)



## Water and Sewer AS BUILTS

**APPROVED**



DEVELOPMENT PLAN		
APPROVED FOR CONSTRUCTION BY ROANOKE COUNTY		
Department	Date	
Development Review	8/27/13	
Engineering	8/27/13	
Water & Sewer	8/27/13	
Planning & Zoning	8/27/13	

# Residential Site Plan For

# THE VILLAGE GREEN PHASE II

**Roanoke County, Virginia**

**SHEET**  
**1**  
**OF**  
**11**