

PROPERTY OWNER: VILLAGE IN ROANOKE, L.P.  
2109 EAST PALM AVENUE, SUITE 206  
TAMPA, FLORIDA 33605  
ATTN: MIKE SPARR

ENGINEER: LMW PROFESSIONAL CORPORATION  
102 ALBEMARLE AVE., S.E.  
ROANOKE, VIRGINIA 24016  
(540) 345-0675

OFFICIAL TAX # OF PROPERTY: TAX MAP NO. 2420211, 8.00 ACRES  
ZONING CLASSIFICATION: RM-2  
TOTAL ACREAGE OF LAND TO BE DEVELOPED: 1.75 ACRES  
TOTAL ACREAGE OF LAND TO BE DISTURBED: 1.75 ACRES  
LEGAL REFERENCE: PB 1, PG 1865

PROPOSED USE OF BUILDING: APARTMENTS - R-2, RESIDENTIAL,  
COMMUNITY BUILDING - B, BUSINESS, (SPECIAL EXCEPTION USE)  
PROPOSED HEIGHT: (4) BUILDINGS 31', (1) BUILDING 20.5'  
TOTAL SQUARE FOOTAGE OF BUILDING(S): 73,670  
NUMBER OF PARKING/LOADING SPACES REQUIRED: N/A  
NUMBER OF PARKING/LOADING SPACES PROVIDED: 83 PARKING SPACES TOTAL, 5 HCP PARKING SPACES

NOTICE: ALL LANDOWNERS, DEVELOPERS AND CONTRACTORS

FAILURE TO COMPLY WITH THE CONSTRUCTION REQUIREMENTS LISTED BELOW MAY RESULT  
IN THE COSTLY REMOVAL OF STRUCTURES, TIME DELAYS OR THE ISSUANCE OF A STOP  
WORK ORDER.

CONSTRUCTION PROCEDURE REQUIREMENTS

CITY INSPECTIONS - TO INSURE THE COORDINATION OF TIMELY AND PROPER INSPECTIONS, A PRE-CONSTRUCTION  
CONFERENCE SHALL BE INITIATED BY THE CONTRACTOR WITH THE CITY BUILDING INSPECTIONS DEPARTMENT. CALL  
(540) 853-2344 TO ARRANGE A CONFERENCE AT LEAST THREE (3) DAYS PRIOR TO ANTICIPATE CONSTRUCTION.

STREET OPENING PERMIT - PRIOR TO THE COMMENCEMENT OF ANY DIGGING ALTERATION OR CONSTRUCTION  
WITHIN THE PUBLIC RIGHT-OF-WAY (STREETS, ALLEYS, PUBLIC EASEMENTS), A STREET OPENING PERMIT SHALL BE  
APPLIED FOR AND OBTAINED BY THE CONTRACTOR FROM THE CITY OF ROANOKE.

PLANS AND PERMITS - A COPY OF THE PLANS APPROVED BY THE CITY (SIGNED BY THE PROPER CITY OFFICIALS)  
AND ALL PERMITS ISSUED BY THE CITY SHALL BE AVAILABLE AT THE CONSTRUCTION SITE AT ALL TIMES OF ONGOING  
CONSTRUCTION.

LOCATION OF UTILITIES - THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO THE  
COMMENCEMENT OF ANY CONSTRUCTION.

CONSTRUCTION ENTRANCE - THE CONTRACTOR SHALL INSTALL AN ADEQUATE CONSTRUCTION ENTRANCE FOR ALL  
CONSTRUCTION RELATED EGRESS FROM THE SITE. SIZE AND COMPOSITION OF CONSTRUCTION ENTRANCE SHALL BE  
DETERMINED BY THE CITY SITE PLAN INSPECTOR.

STREETS TO REMAIN CLEAN - IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO INSURE THAT THE PUBLIC  
STREET ADJACENT TO THE CONSTRUCTION ENTRANCE REMAINS FREE OF MUD, DIRT, DUST AND/OR ANY TYPE OF  
CONSTRUCTION MATERIALS OR LITTER AT ALL TIMES.

BARRICADES/DITCHES - THE CONTRACTOR SHALL MAINTAIN THE INTEGRITY OF ALL EXCAVATED DITCHES AND SHALL  
FURNISH AND ENSURE THAT ALL BARRICADES PROPER AND NECESSARY FOR THE SAFETY OF THE PUBLIC ARE IN  
PLACE.

SEWER AND PAVEMENT REPLACEMENT - CONSTRUCTION OF SANITARY SEWERS AND THE REPLACEMENT OF  
PAVEMENT SHALL BE IN ACCORDANCE WITH APPROVED STANDARDS AND SPECIFICATIONS OF THE CITY OF ROANOKE.

APPROVED PLANS/CONSTRUCTION CHANGES - ANY CHANGE OR VARIATION FROM CONSTRUCTION DESIGN AS  
SHOWN ON THE OFFICIALLY APPROVED PLANS SHALL BE APPROVED BY THE CITY ENGINEER PRIOR TO SAID  
CHANGES OR VARIATION IN CONSTRUCTION BEING MADE.

FINAL ACCEPTANCE/CITY - THE DEVELOPER OR CONTRACTOR SHALL FURNISH THE CITY OF ROANOKE'S ENGINEERING  
DEPARTMENT WITH A FINAL CORRECT SET OF AS-BUILT PLANS PRIOR TO FINAL ACCEPTANCE BY THE CITY.

FLOOD STATEMENT:

THIS PROPERTY DOES NOT LIE WITHIN THE LIMITS OF A 100-YEAR FLOOD BOUNDARY AS DESIGNATED BY  
CURRENT FEMA MAPS.

# VILLAGE IN ROANOKE

## SITE PLAN

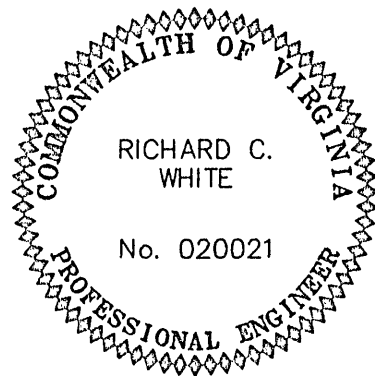
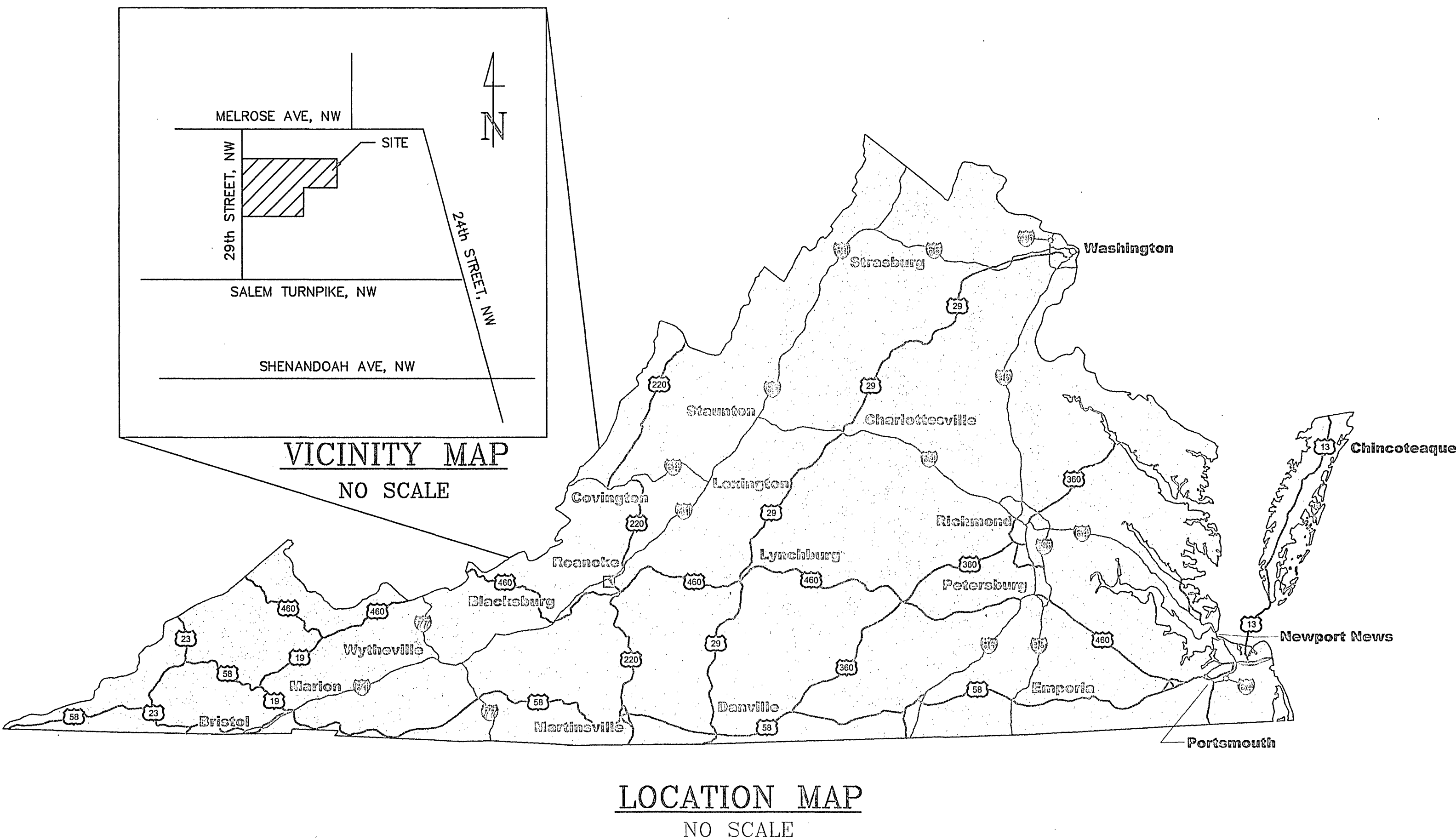
29TH STREET, NW  
ROANOKE, VIRGINIA 24034

CONTACT PERSON: RICHARD W. WHITE, P.E.

LMW P.C.  
ENGINEERING - ARCHITECTURE - SURVEYING  
102 ALBEMARLE AVE., S.E.  
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FAX: (540) 342-4456  
E-MAIL: lmweng@aol.com

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## SITE PLAN

COMM. NO. 1389H

DATE: 02/01/01

SET NO.

