

SITE SUMMARY:

OWNER: BISHOP TOWNHOUSES INC.
P.O. BOX 6244
CHRISTIANSBURG, VA 24068

PREVIOUS OWNER: JAMES WALLACE CATES II
P.O. BOX 700
HARDY, VA 24101

DEVELOPER/CONTRACT PURCHASER: BISHOP TOWNHOUSES INC.
P.O. BOX 6244
CHRISTIANSBURG, VA 24068

TAX MAP NUMBER: 26.20-04-01,02,03,04.

SIZE: 10.28AC.

ZONING: PLANNED RESIDENTIAL DEVELOPMENT

MINIMUM LOT AREA: 1,000 SQ.FT.

SETBACKS:
-NO GROUP OF TOWNHOMES SHALL BE CLOSER THAN 10' FROM EACH OTHER.
-MINIMUM SETBACK FROM PETERS CREEK AND NEWLAND ROAD IS 50 FEET.
-MINIMUM SETBACK FROM ALL OTHER PROPERTY LINES SHALL BE 15 FEET.

PARKING: DEVELOPER SHALL PROVIDE A MINIMUM OF 2 PARKING SPACES FOR EACH UNIT.

TOTAL # OF UNITS: 60
FEMA MAP #: 51161C0022 D (EFFECTIVE DATE 10/15/93)

PROPOSED USE: RESIDENTIAL TOWNHOMES

LOT SIZE: MINIMUM 1000 SF
MINIMUM LOT WIDTH: 22'

MAXIMUM BUILDING HEIGHT: 45'

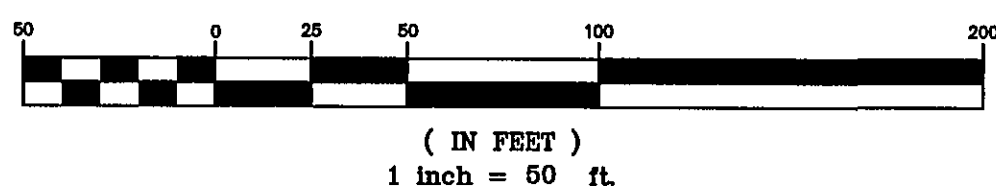
TOTAL NUMBER OF PARKING SPACES: 120 SPACES
2 SPACES MINIMUM PER UNIT
34 GARAGE UNITS W/ONE GARAGE & DRIVEWAY SPACE PER UNIT
26 UNITS W/2 PARKING STALLS PER UNIT

SETBACK REQUIREMENTS:
- MINIMUM SETBACK FROM NEWLAND ROAD AND PETERS CREEK ROAD IS 30'
- MINIMUM SETBACK FROM ALL OTHER PROPERTY LINES IS 15'.
- MINIMUM SETBACK FROM INTERIOR GROUPS OF TOWNHOMES SHALL BE 10'

OPEN SPACE:
REQUIRED: 40%
ACTUAL: 45%

GROSS DENSITY: 5.50 UNITS PER ACRE

GRAPHIC SCALE



APPROVED FOR CONSTRUCTION BY ROANOKE COUNTY	
Department	Date
Development Review	6/13/07
Engineering	6/13/07
NOTES:	

- NO CONSTRUCTION/FIELD CHANGES WITHOUT THE APPROVAL OF THE CONSULTING ENGINEER, ROANOKE COUNTY, & VDOT.
- A SIGN PERMIT MUST BE OBTAINED FROM ROANOKE COUNTY PRIOR TO INSTALLATION OF THE SIGN. THE LOCATION OF THE SIGN SHALL BE A MINIMUM OF 15' FROM THE PROPERTY LINE.
- EASEMENTS --- PUBLIC/PRIVATE:
A. PROPOSED ROADWAY --- PRIVATE.
B. STORM SEWER/STORMWATER MGMT. POND --- PRIVATE.
C. SANITARY SEWER --- PUBLIC.
D. WATERLINE --- PUBLIC.
- CONTRACTOR TO ENSURE POSITIVE DRAINAGE AWAY FROM ALL STRUCTURES.
- ANY NEW ALIGNMENTS, CHANGES IN GRADES, ALTERNATIVE PIPE SIZE OR MANHOLES OR ESC MEASURES WILL REQUIRE A NEW SET OF PLANS STAMPED BY THE CONSULTING ENGINEER. PLAN SHEETS CAN BE 8.5"x11" IF THE INFORMATION IS LEGIBLE.
- BUILDING TYPES:
A- TWO STORY UNIT WITH ONE CAR GARAGE & ONE PARKING SPACE.
B- TWO STORY UNIT WITH 2 PARKING SPACES.
- REZONING REFERENCE INFORMATION
ORDINANCE #102505-5
DATED 10/25/05
CONDITIONS ARE AS FOLLOWS:
1. THE PROPERTY SHALL BE DEVELOPED IN SUBSTANTIAL COMPLIANCE WITH THE REZONING DOCUMENT TITLED "VILLAS OF THE VALLEY, A PLANNED RESIDENTIAL RETIREMENT COMMUNITY."
2. NOT MORE THAN 60 TOTAL UNITS SHALL BE CONSTRUCTED ON THIS SITE.
3. A FEE SIMPLE DONATION OF PROPERTY OR A STORM WATER MANAGEMENT EASEMENT FOR THE CREATION OF A REGIONAL STORM WATER MANAGEMENT FACILITY SHALL BE GRANTED TO THE COUNTY OF ROANOKE. THE DONATION/EASEMENT SHALL CONSIST OF 1 ACRE OF LAND LOCATED ALONG THE NORTHERN PROPERTY LINE AND ADJACENT TO THE EXISTING CREEK.
- ALL EXTERIOR LIGHTING FIXTURES SHALL BE DESIGNED, LOCATED, AND ARRANGED SO AS NOT TO DIRECT GLARE ON ADJOINING STREETS OR RESIDENTIAL PROPERTIES. THE LIGHTING INTENSITY AT ADJOINING RESIDENTIAL PROPERTIES SHALL NOT EXCEED 0.5 FOOT CANDLES.
- THE MINIMUM SQUARE FOOTAGES MUST BE VERIFIED WHEN THE BUILDING PLANS ARE SUBMITTED TO JOEL BAKER FOR REVIEW. THE MINIMUM SQUARE FOOTAGES ARE AS FOLLOWS:
1150 SQ.FT. - ONE STORY BUILDING W/GARAGE
1400 SQ.FT. - TWO STORY BUILDING
- ALL HEAT PUMPS AND OTHER APPURTANCES SHALL BE SCREENED OR LANDSCAPED FROM VIEW FROM THE FRONT OF THE UNIT.
- CERTIFIED ENGINEERING PLANS TO BE SUBMITTED TO THE COUNTY OF ROANOKE BUILDING COMMISSION FOR APPROVAL AND PERMITTING FOR ALL RETAINING WALLS. ALL WALL EXCEEDING 2' IN HEIGHT WILL REQUIRE A BUILDING PERMIT FROM THE ROANOKE COUNTY BUILDING DEPARTMENT.



REFLECTING TOMORROW
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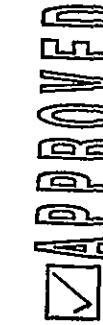
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FAX: 804/553-0133

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Christiansburg, Virginia 24073
Phone: 540/381-4200
FAX: 540/381-4291

1551 Commerce Road
Suite 401
Verona, Virginia 24482
Phone: 540/248-3220
FAX: 540/248-3221



VILLAS OF THE VALLEY
OVERALL DEVELOPMENT
HOLLINS
ROANOKE COUNTY, VIRGINIA

DRAWN BY: BTC
DESIGNED BY: SMH
CHECKED BY: RIS
DATE: 3-10-06
REVISIONS:
6-9-06
9-29-06
12-19-06
1-25-07
5-13-07
5-25-07

SCALE: 1"=50'
SHEET NO.

C3

JOB NO.
R0500104