

SITE STATISTICS:

Tax Number: 2321501
Parcel Total Area: 12,541 SF (0.288 Ac.)
Disturbed Area: 0.11 Acre (4,975 SF)
Zone: CN - Commercial Neighborhood
Proposed Use: Office (Temp Agency)
Existing Building - 0 SF (Gross)
Proposed Building - 1,988 SF (Gross) 1 STORY

Minimum Required Parking Spaces:
No minimum parking per 36.2-652a1
Proposed Parking: 0 Parking Spaces (utilize street parking only)
No new entrances are being constructed or requested for this development.

Building Setbacks:
Front: Min - 0' and Max - 10'
(utilized 25th Street as allowed per Zoning Administrator of Feb. 2010)
Side: none
Rear: none

Maximum Building Height: 45' (actual 15' ±)
Overall Maximum Impervious Surface Ratio: 100% (22% proposed) (Under 5,000 SF disturbed)
Minimum Frontage: none; Maximum Frontage: 200'
Lot Area: Minimum = 5,000 SF; Maximum = 20,000 SF

36.2-314 (f)(2) Facade treatment: In the CN District, in order to promote pedestrian interest and activity and to enhance security and safety by permitting visibility into and out of buildings, a minimum of fifty (50) percent of the ground floor primary building facade shall be transparent from the street through the provision of glass. Such transparency shall begin at a height no greater than three (3) feet above the grade of the adjacent sidewalk or the finished grade of the site.

Building Dimension = 27'6"; Required Glass Openings = 13' 9"; Glass Opening Provided = 20'

Water: Public - WVWA - new service required (commercial installation)
Sewer: Public - WVWA - new commercial service connection required
Availability # 10-727

Lighting: No Outdoor lighting is shown on this plan.

Landscape Requirements:
Buffer Yard Standards per 36.2-647 (Table 647-2); Buffer "C"
Option 1 = 6' high screening, 10' buffer yard with evergreen trees
(5' at planting with maximum 8' spacing) - 17 Leyland Cypress required.
Facade Shrubs: No shrubs required per Zoning Administrator of February 2010.
Street Trees: 1 Tree per 50' of Frontage on any Frontage where the building lines are 25 feet or more from a right of way.
(1 Proposed Crape Myrtle (5' tall at planting required) along Melrose Avenue).

Ground mounted mechanical equipment must be screened utilizing visually opaque fence or evergreen shrubs, planted at a rate of 3' on center. Equipment must be screened from streets and adjoining properties.

Dumpster: No dumpster planned. Automated Trash Collection on Orange Avenue.
Utilities to be underground per Sec. 36.2-610.

STANDARD CITY OF ROANOKE CONSTRUCTION PROCEDURE REQUIREMENTS

NOTICE: All Landowners, Developers and Contractors

FAILURE TO COMPLY WITH THE CONSTRUCTION PROCEDURE REQUIREMENTS LISTED ABOVE MAY RESULT IN THE COSTLY REMOVAL OF STRUCTURES, TIME DELAYS, OR THE ISSUANCE OF A STOP WORK ORDER.

RIGHT-OF-WAY EXCAVATION PERMIT: Prior to the commencement of any digging, alteration or construction within the public right of way (streets, alleys, public easements) a right of way excavation permit shall be applied for and obtained by the contractor from the City of Roanoke.

LAND DISTURBANCE PERMIT: An approved erosion and sediment control plan for any borrow/fill sites associated with the project must be submitted prior to the issuance of a land disturbance permit.

PLANS AND PERMITS: A copy of the plans as approved by the City (signed by the proper City officials) and all permits issued by the City shall be available at the construction site at all times of ongoing construction.

LOCATION OF UTILITIES: The contractor shall verify the location of all existing utilities prior to the commencement of any construction.

CONSTRUCTION ENTRANCE: The contractor shall install an adequate construction entrance for all construction related egress from the site. Size and composition of the construction entrance shall be as shown on the plans.

STREETS TO REMAIN CLEAN: It shall be the responsibility of the contractor to insure that the public street adjacent to the construction entrance remains free of mud, dirt, dust and/or any type of construction materials or litter at all times.

BARRICADES/DITCHES: The contractor shall maintain the integrity of all excavated ditches and shall furnish and ensure that all barricades proper and necessary for the safety of the public are in place.

SEWER AND PAVEMENT REPLACEMENT: Construction of sanitary sewers and the replacement of pavement shall be in accordance with approved standards and specifications of the City of Roanoke and the Western Virginia Water Authority.

APPROVED PLANS/CONSTRUCTION CHANGES: Any change or variation from construction design as shown on the officially approved plans shall be approved by the erosion and sediment control agent prior to said changes or variation in construction being made.

FINAL ACCEPTANCE/CITY: The owner or developer shall furnish the City of Roanoke's Planning Building and Development Department with a field surveyed final correct set of as-built plans of the newly constructed storm drain and/or stormwater management facilities prior to final acceptance and issuance of a certificate of occupancy by the City. As-built plans shall be provided in the State Plane Virginia South Coordinate System, NAD 1983, FIPS 4502 Feet, US Survey Feet, Datum NA 83, in the form of 1 paper copy and 1 digital AUTOCAD file.

COMPREHENSIVE SITE PLAN FOR VINCENT BOARD OFFICE RELOCATION

2432 Orange Avenue, N.W.

Tax No. 2321501

CITY OF ROANOKE, VA

January 17, 2011

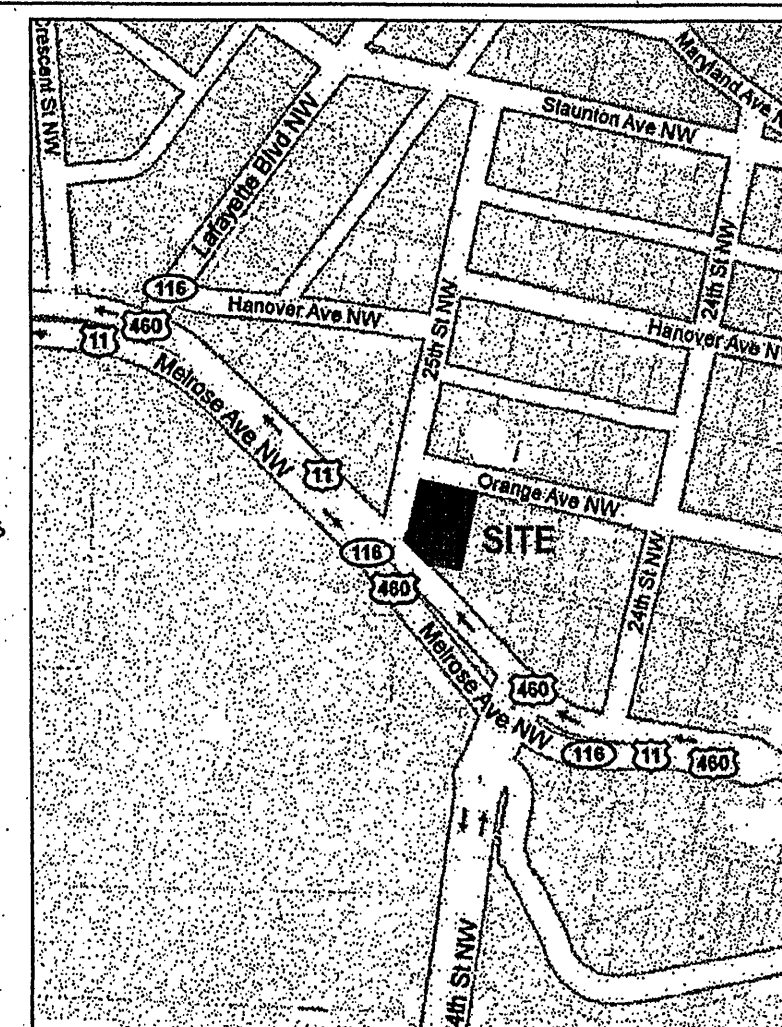
Revised February 17, 2011

CP 110004

Miss Utility of Virginia
204 RIVERS BEND BOULEVARD
CHESTER, VIRGINIA 23831



BEFORE YOU DIG ANYWHERE IN
VIRGINIA! CALL 1-800-552-7001
VA LAW REQUIRES 48 HOURS
NOTICE BEFORE YOU EXCAVATE.



VICINITY MAP
NOT TO SCALE

CONTACT INFORMATION:

Engineer/
Surveyor: Parker Design Group
816 Boulevard
Salem, VA 24253
Ph.: 540.387.1153 Fax: 540.389.5767

Owner: Vincent A. Board
3808 Sioux Ridge Road, N.W.
Roanoke, Virginia 24017
Ph.: 540.556.3975

SHEET INDEX:

C01 COVER SHEET
C02 LAYOUT & NOTES
C03 EROSION & SEDIMENT CONTROL NARRATIVE & DETAILS
C04 UTILITY DETAILS

LEGEND:

	EX. POWER POLE		PROP. GAS LINE
	EX. TELEPHONE		PROP. SANITARY SEWER LINE
	BENCHMARK		PROP. STORM SEWER LINE
	SURVEYED PROPERTY LINE		PROP. CONTOURS
	EXIST. OVERHEAD POWER		EXIST. 2' CONTOURS
	EXIST. WATER LINE		EXIST. 10' CONTOURS
	EXIST. STORM SEWER		PROP. SPOT ELEVATION
	EXIST. SANITARY SEWER		SILT FENCE
	PROP. UNDERGROUND ELEC. LINE		
	PROP. UNDERGROUND ELEC. SERVICE		
	PROP. WATERLINE		
	EXIST. TREELINE		

GENERAL NOTES:

- The minimum required density for all compaction shall be 95 percent of maximum dry density with a moisture content within ±2 percent of the optimum. It is contractor's responsibility to verify compacted fill is suitable for building construction.
- It is the contractor's responsibility to meet compliance requirements with section 59.1-406, et seq. of the Code of Virginia (overhead high voltage lines safety act).
- The contractor shall be responsible for obtaining all necessary permits before beginning construction.
- All construction will be in accordance with City of Roanoke standards and specifications.
- Unless shown and specified otherwise, methods and materials shall be in accordance with VDOT Road and Bridge Standards latest edition.
- Contractor shall coordinate installation of permanent electrical service, telephone service, gas and cable TV. These utility lines shall be underground.
- Contractor shall be responsible for repair of any utilities damaged as a result of construction activities. Verify location of all existing utilities prior to beginning work.
- All utilities shall be underground installation.
- All utilities will be visually inspected by the City's inspector prior to backfilling the trenches, including all utility crossings.
- Utilities shown herein are based on available above ground structures (valves, manholes, etc.) and existing City of Roanoke mapping.
- A field review shall be made by the City of Roanoke during construction to determine the adequacy of channels and ditches as constructed in accordance with the approved plan. In the event of scour and erosion, the Owner shall install additional measures as determined and required by the City.
- Lighting shall not glare onto adjoining properties or on any public street right-of-way.
- Proposed signage shall be permitted separately in accordance with the City of Roanoke regulations and the proffered conditions.
- The contractor or developer is required to notify the City of Roanoke Engineering Division in writing at least three (3) days prior to any construction, including, but not limited to the following:
 - Installation of approved erosion control devices
 - Cleaning and grubbing
 - Subgrade excavation
 - Installing storm sewers or culverts
 - Placing gravel base
 - Placing any roadway surface
 - Installing water lines
 - Installing sanitary sewer lines
- A pre-construction conference should be scheduled with the City of Roanoke Department of Planning Building and Development, to be held at least forty eight (48) hrs prior to any construction.
- Measures to control erosion and siltation must be provided prior to plan approval. Plan approval in no way relieves the developer or contractor of the responsibilities contained within the erosion and siltation control policies.
- An approved set of plans and all permits must be available at the construction site.
- Field construction shall honor proposed drainage divides as shown on plans.
- All unsuitable material shall be removed from the construction limits of the roadway before placing embankment.
- Construction debris shall be containerized in accordance with the Virginia Litter Control Act. No less than one litter receptacle shall be provided on site. The contractor shall provide adequate means of cleaning mud from trucks and/or other equipment prior to entering public streets.
- It is the contractors responsibility to insure that the streets are in a clean, mud and dust free condition at all times.
- The developer and/or contractor shall supply all utility companies with copies of approved plans, advising them that all grading and installation shall conform to approved plans.
- Contractors shall notify utilities of proposed construction at least two (2), but not more than ten (10) working days in advance. Area public utilities may be notified thru "Miss Utility": 1-800-552-7001.
- Field corrections shall be approved by the Development Engineer in the City of Roanoke Department of Planning Building and Development prior to such construction.

LOCAL APPROVALS:

AS BUILTS

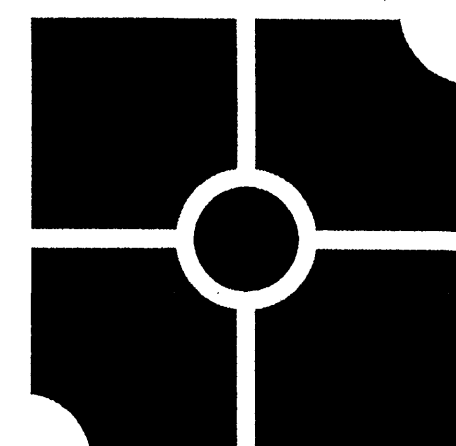
7/1/11
DAVID LEVINE - Insp.

City of Roanoke
Planning Building and Development

DEVELOPMENT PLAN APPROVED

Agent, Planning Commission: [Signature] Date: 5/6/2011
Development Engineer: [Signature] 5-6-2011
Zoning Administrator: [Signature] 5/6/2011

Any changes to this approved plan must be coordinated with the Agent, Planning Commission and revisions approved prior to construction.

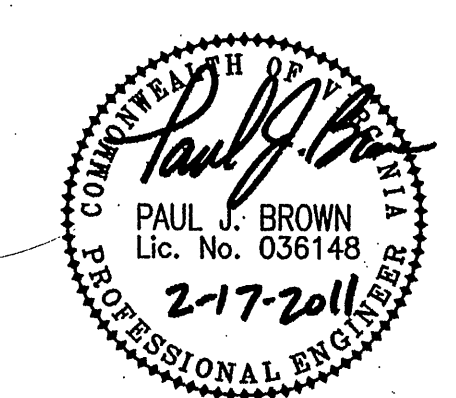


parker
DESIGN GROUP

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Comprehensive Site Plan for
Vincent Board Office Relocation
Lot 1A, Block 108, Melrose Land Co.
2432 Orange Ave. NW
City of Roanoke, VA
M.B. 1, Pg. 3546 Tax # 2321501
CP 110004

REVISIONS:

Address Review Comments
PJB 2011-02-17

DESIGNED BY: PJB/REC

DRAWN BY: PJB/REC

CHECKED BY: PJB

SCALE: As Shown

DATE: January 17, 2011

SHEET TITLE: COVER SHEET

Cover Sheet

C01
01 OF 04
PROJECT NUMBER:
09-0205-03