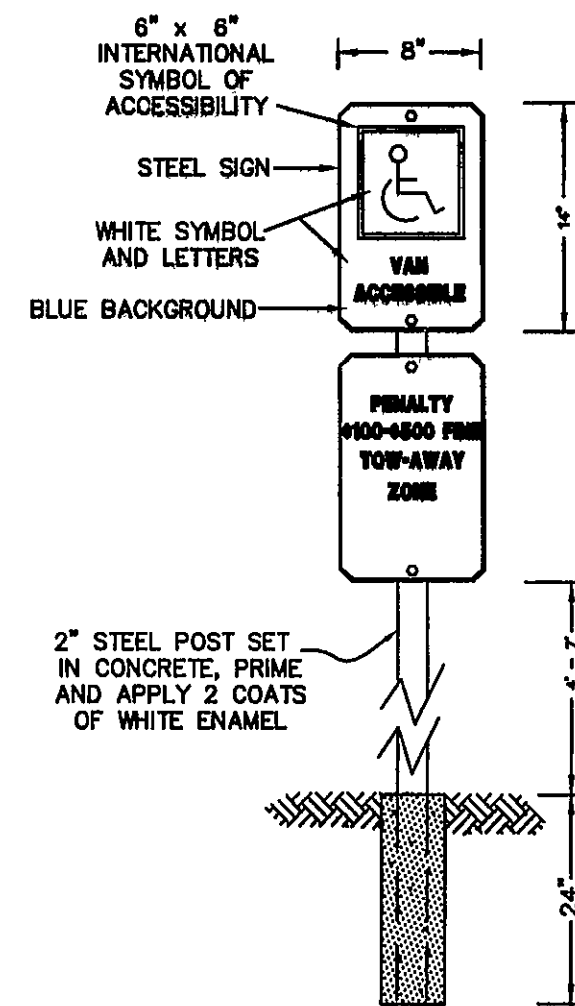
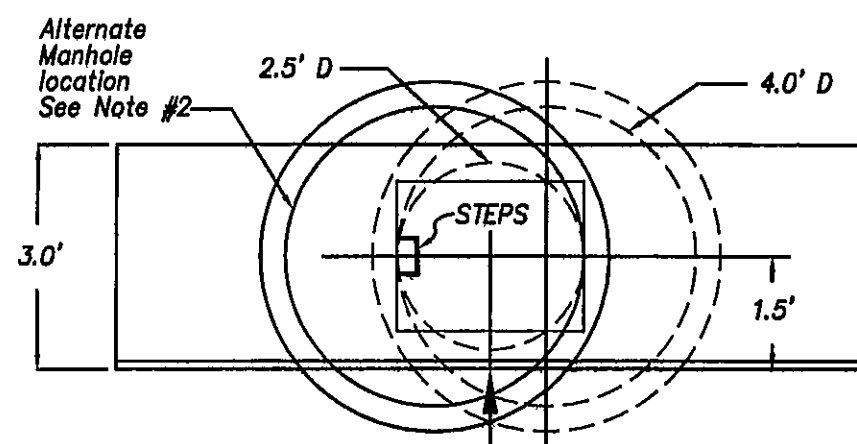


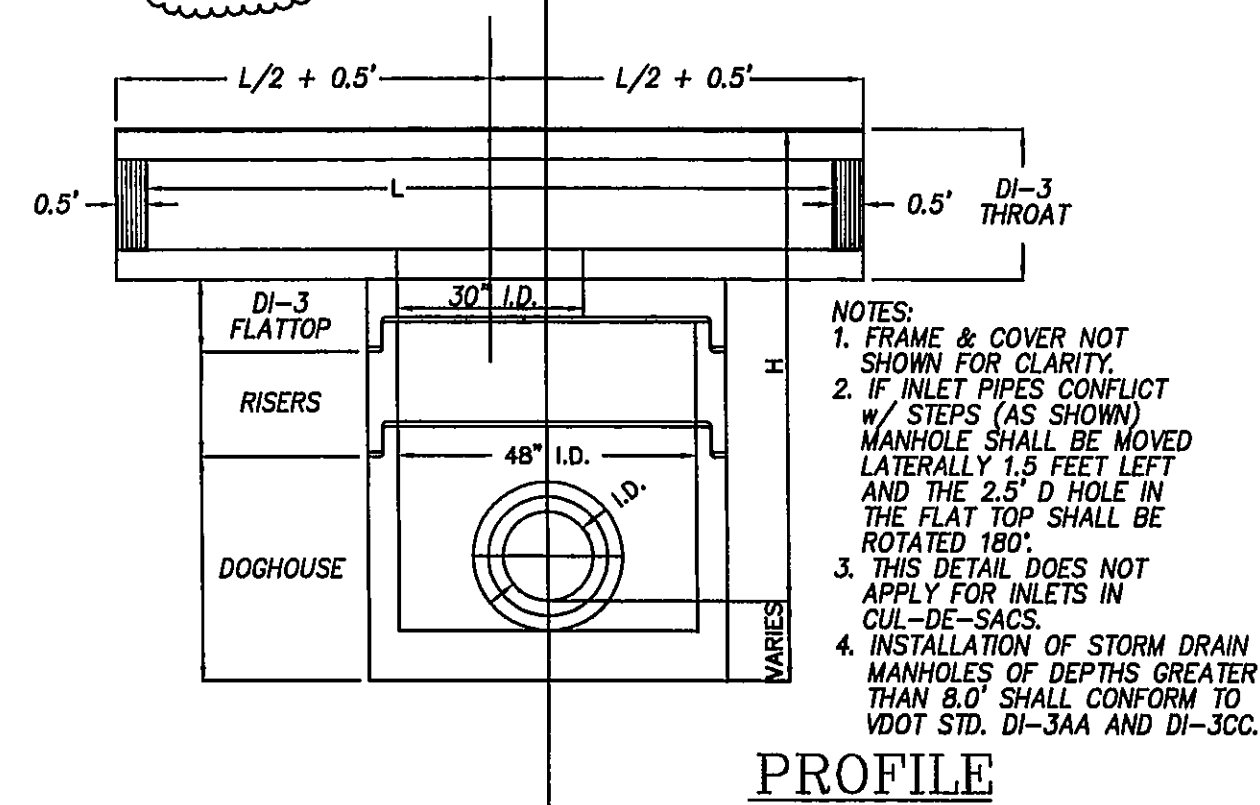
HANDICAP PARKING
NO SCALE



**VAN ACCESSIBLE
HANDICAP PARKING SIGN (S2)**
NO SCALE



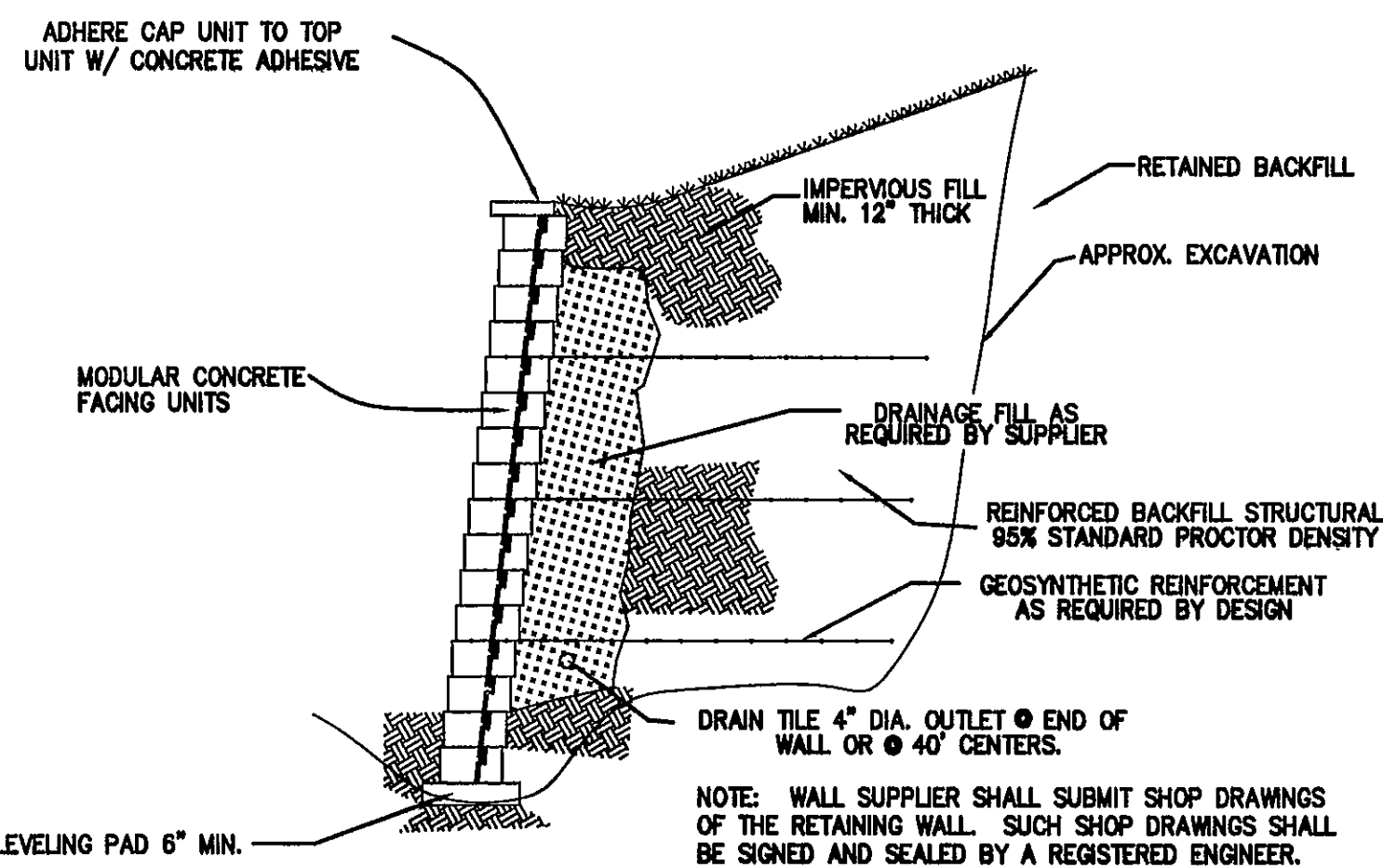
PLAN



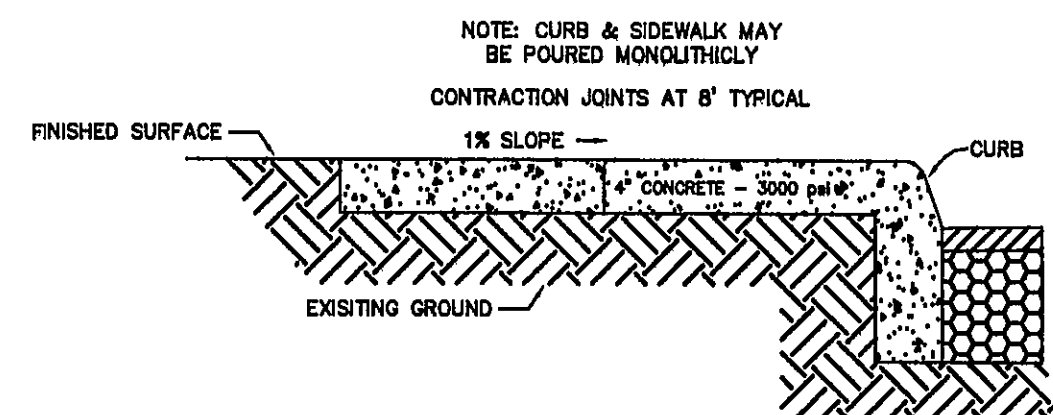
PROFILE

- NOTES:
1. FRAME & COVER NOT SHOWN FOR CLARITY.
 2. IF INLET PIPES CONFLICT W/ STEPS (AS SHOWN) MANHOLE SHALL BE MOVED LATERALLY 1.5 FEET LEFT AND THE 2.5' D HOLE IN THE FLAT TOP SHALL BE ROTATED 180°.
 3. THIS DETAIL DOES NOT APPLY FOR INLETS IN CUL-DE-SACS.
 4. INSTALLATION OF STORM DRAIN MANHOLES OF DEPTHS GREATER THAN 8.0' SHALL CONFORM TO VDOT STD. DI-3AA AND DI-3CC.

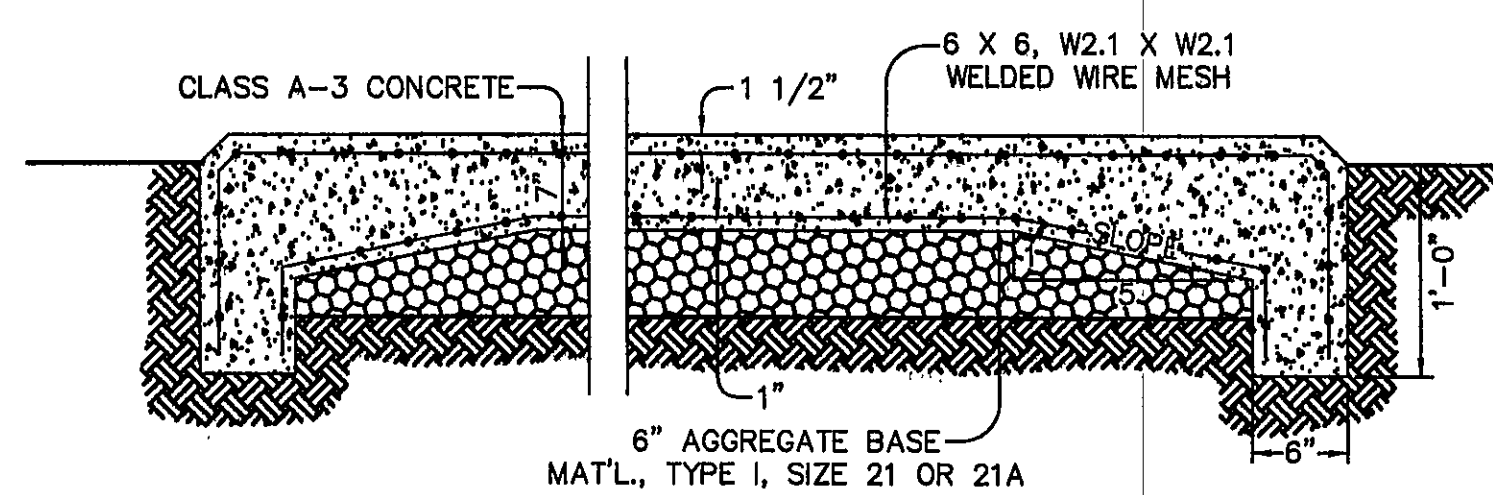
LOCATION DETAIL FOR DI-3A AND DI-3C (PRECAST)
NO SCALE



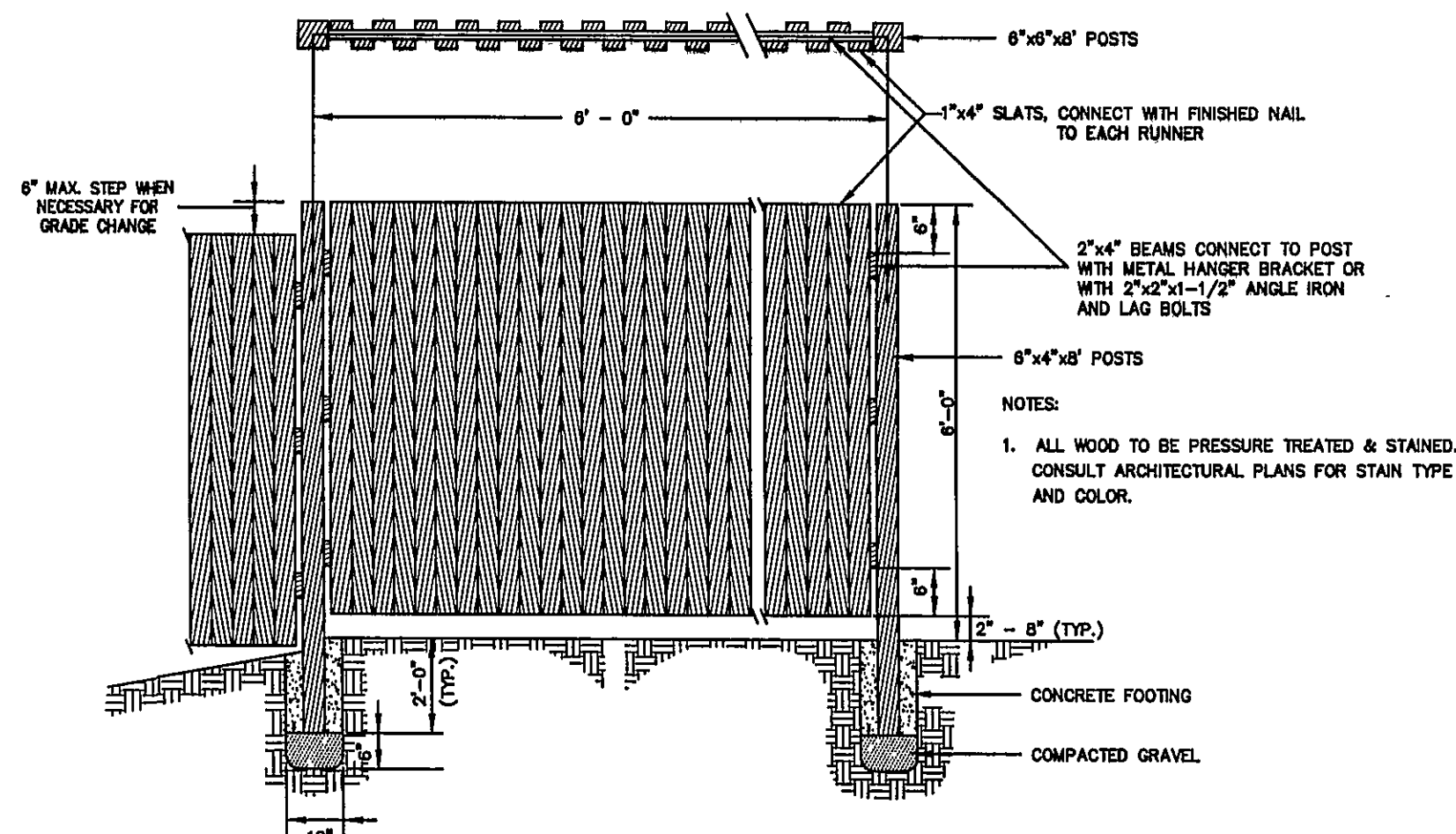
RETAINING WALL
NO SCALE



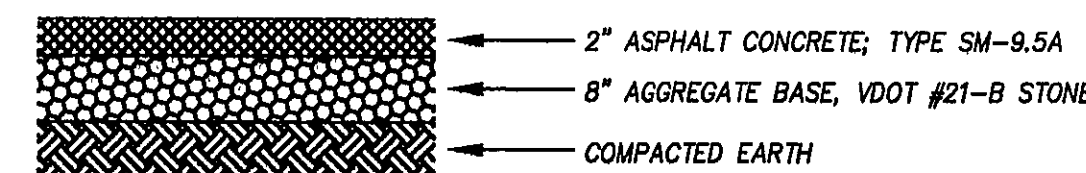
TYPICAL SIDEWALK DETAIL
NO SCALE



TYPICAL DUMPSTER PAD SECTION
NO SCALE



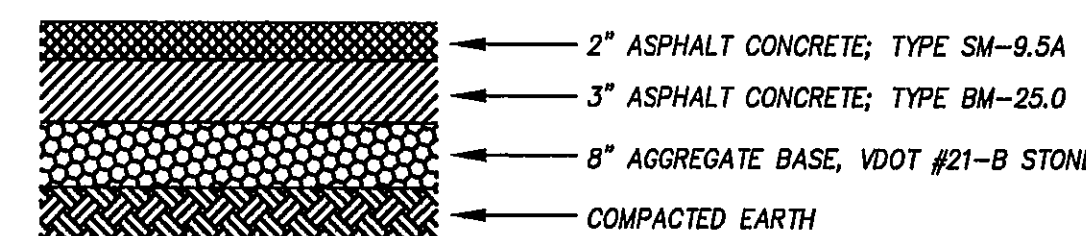
SCREEN FENCE
NO SCALE



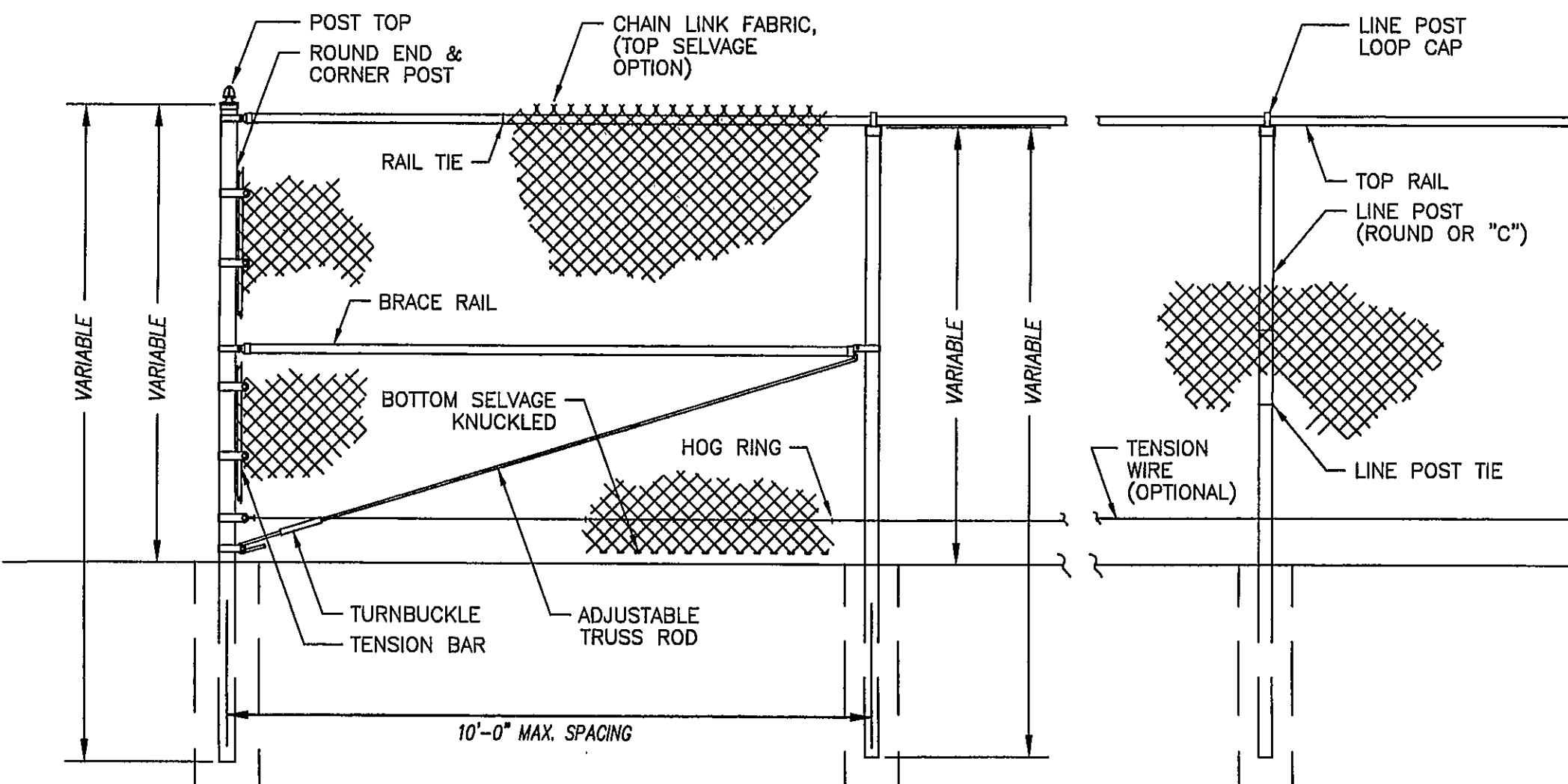
STANDARD PAVEMENT DETAIL
NO SCALE

PAVEMENT NOTES:

1. THE SIZE 21B AGGREGATE SHALL BE PRIMED WITH APPROXIMATELY 0.35 GAL/SY OF RC-250 ASPHALT AND COVERED WITH 16 TO 18 LBS/SY OF SIZE 8-P AGGREGATE BEFORE PLACING SM-9.5A FOR STANDARD PAVEMENT ONLY.
2. EXISTING PAVEMENT IS TO BE SAW CUT WHERE NEW PAVEMENT IS TO MATCH. SAW CUT IS TO BE MADE WITH A MECHANICAL SAW AND SIDES TO BE TACKED WITH BITUMINOUS MATERIAL, TYPE RC-250, OR EQUAL.
3. USE HEAVY DUTY PAVEMENT SECTION WITHIN VDOT RIGHT OF WAY.



HEAVY DUTY PAVEMENT DETAIL
NO SCALE



CHAIN LINK SCREEN FENCE
NO SCALE

NOTE: CONTRACTOR SHALL PROVIDE THE SPECIFICATIONS AND DESIGN DRAWINGS FOR CHAIN LINK SCREEN FENCE TO THE ROANOKE COUNTY BEFORE INSTALLATION. UPON APPROVAL FROM THE ROANOKE COUNTY HE SHALL PROCEED.
MINIMUM HEIGHT OF FENCE = 6'-0"

SITE AND ZONING TABULATIONS:

- ZONING: I1
PROPOSED USE: INDUSTRIAL USE (WHOLESALE DISTRIBUTORS/ WAREHOUSE)
SITE ACREAGE: 1.7 ACRES
MINIMUM LOT SIZE: 15,000 SF
ACTUAL LOT SIZE: 74,052 SF (1.7 ACRES)
MAXIMUM BUILDING COVERAGE: 50%
PROPOSED BUILDING COVERAGE: 25.66%
MAXIMUM LOT COVERAGE: 80%
PROPOSED LOT COVERAGE: 65%
MAXIMUM HEIGHT OF STRUCTURE: WHEN ADJOINING PROPERTY ZONED RESIDENTIAL, 75 FEET, INCLUDING ROOFTOP MECHANICAL EQUIPMENT. THE MAXIMUM HEIGHT MAY BE INCREASED PROVIDED EACH REQUIRED YARD (SIDE, REAR, OR BUFFER YARD) ADJOINING A RESIDENTIAL DISTRICT IS INCREASED TWO FEET FOR EACH FOOT IN HEIGHT OVER 75 FEET. THIS DISTANCE SHALL BE MEASURED FROM THE PORTION OF THE STRUCTURE WHICH EXCEEDS 75 FEET. IN ALL OTHER LOCATIONS THE HEIGHT IS UNLIMITED.
PROPOSED BUILDING HEIGHT: ±27'
SETBACK REQUIREMENTS:
FRONT: 30 FEET, OR 20 FEET WHEN ALL PARKING IS LOCATED BEHIND THE FRONT BUILDING LINE.
SIDE YARD: PRINCIPAL STRUCTURES: 10 FEET.
ACCESSORY STRUCTURES: BEHIND FRONT BUILDING LINE AND 3 FEET FROM SIDE LINE.
REAR YARD: PRINCIPAL STRUCTURES: 15 FEET.
ACCESSORY STRUCTURES: 3 FEET.
PARKING TABULATIONS:
OFFICE OR ADMINISTRATIVE ACTIVITY: 1 PER 300 SF = (4,000/300) = 14 SPACES
INDOOR OR OUTDOOR STORAGE OR WAREHOUSING: 1 PER 5,000 SF = (18,330/5,000) = 4 SPACES
PARKING SPACES REQUIRED: (INCLUDING 2 HANDICAP PARKING SPACES) = 18
PARKING SPACES PROVIDED: (INCLUDING 2 HANDICAP PARKING SPACES) = 27

GENERAL NOTES

1. THE PROPERTY SHOWN ON THESE PLANS IS LOCATED AT ROANOKE COUNTY TAX ASSESSMENT MAP # 27.10-10-01.01
2. OWNER/DEVELOPER: BAKER PROPERTIES OF VIRGINIA, L.L.C.
801 JOHNSON MILLS DRIVE
RICHMOND, VA 23230
3. THIS PROPERTY IS NOT LOCATED WITHIN THE LIMITS OF A 100 YEAR FLOOD BOUNDARY AS DESIGNATED BY FEMA.
4. BOUNDARY SURVEY PERFORMED BY LUMSDEN ASSOCIATES ON 2005.
5. SOURCE OF TOPOGRAPHY IS FIELD SURVEY BY LUMSDEN ASSOCIATES ON 2005.
6. NO TITLE REPORT WAS FURNISHED FOR THIS PROPERTY.
7. THE DEVELOPMENT SHOWN ON THESE PLANS SHALL BE ACCESSED BY PUBLIC ROADS.
8. THE DEVELOPMENT SHOWN ON THESE PLANS SHALL BE SERVED BY PUBLIC WATER AND SANITARY SEWER.
9. ALL EXTERIOR LIGHTING FIXTURES SHALL BE LOCATED AND ARRANGED SO AS NOT TO DIRECT GLARE ON ADJOINING STREETS OR RESIDENTIAL PROPERTIES. THE INTENSITY AT ADJOINING STREETS OR RESIDENTIAL PROPERTIES SHALL NOT EXCEED 0.5 FOOT CANDLES.
10. ANY EXTERIOR SIGN WILL REQUIRE A SEPARATE SIGN PERMIT. NO EXTERIOR SIGNS ARE PROPOSED WITH THESE PLANS.
11. ALL REFUSE SERVICE (DUMPSTERS/CONTAINERS) AND OUTDOOR STORAGE AREAS IN ALL ZONING DISTRICTS SHALL BE SCREENED FROM SURROUNDING VIEWS. IN ADDITION, GROUND LEVEL MECHANICAL EQUIPMENT SHALL BE SCREENED OR LANDSCAPED.
12. COMMERCIAL AND INDUSTRIAL USE TYPES SHALL SCREEN FROM SURROUNDING VIEWS ALL ARTICLES AND MATERIALS BEING STORED, MAINTAINED, REPAIRED, PROCESSED, ERECTED, FABRICATED, DISMANTLED, OR SALVAGED. ARTICLES AND MATERIALS AVAILABLE FOR RETAIL SALE BY A COMMERCIAL USE TYPE SHALL BE EXEMPT FROM THIS REQUIREMENT.

CONSTRUCTION NOTES

1. ALL CONSTRUCTION SHALL CONFORM TO THE CURRENT COUNTY OF ROANOKE, VDOT, AND THE WESTERN VIRGINIA WATER AUTHORITY STANDARDS AND SPECIFICATIONS.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE OWNER AND THE ENGINEER OF ANY CHANGES OR CONDITIONS ATTACHED TO PERMITS OBTAINED FROM ANY AUTHORITY ISSUING PERMITS.
3. NO SUBSOL INVESTIGATIONS HAVE BEEN FURNISHED TO THE DESIGNING ENGINEER.
4. THE CONTRACTOR SHALL VISIT THE SITE AND VERIFY EXISTING CONDITIONS PRIOR TO STARTING CONSTRUCTION.
5. THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL EXISTING UTILITIES PRIOR TO STARTING CONSTRUCTION.
6. THE CONTRACTOR AND OR OWNER SHALL PROVIDE A STORAGE CONTAINER FOR TEMPORARY STORAGE AND DISPOSAL OF LAND CLEARANCE DEBRIS AND BUILDING MATERIALS. ON-SITE BURIAL OF MATERIAL SHALL NOT BE PERMITTED.
7. NO CONSTRUCTION/FIELD REVISIONS ARE ALLOWED WITHOUT THE APPROVAL OF THE CONSULTING ENGINEER, ROANOKE COUNTY, AND THE VIRGINIA DEPARTMENT OF TRANSPORTATION.
8. ANY NEW ALIGNMENTS, CHANGES IN GRADES, ALTERNATE PIPE SIZES, MANHOLES, OR ESC MEASURES WILL REQUIRE A NEW SET OF PLANS STAMPED BY THE CONSULTING ENGINEER. COUNTY ENGINEERS WILL REVIEW PLANS WITHIN ONE DAY OF SUBMITTAL. WITHIN ONE DAY OF SUBMITTAL. PLAN SHEETS CAN BE 8.5X11 IF THE INFORMATION IS LEGIBLE AND WITHIN THE LIMITS OF THE APPROVED PLANS.
9. ALL NECESSARY UTILITY LATERALS ALONG WITH PROVISIONS FOR CONDUITS (I.E. WATER, SEWER, STORM, GAS AND TELEPHONE) WILL BE CONSTRUCTED PRIOR TO THE PLACEMENT OF BASE MATERIAL.
10. THE ENTIRE CONSTRUCTION AREA INCLUDING DITCHES AND/OR PAVEMENT IS TO BE BACKFILLED AND SEDED AT THE EARLIEST POSSIBLE TIME AFTER FINAL GRADING.
11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIR OR REPLACEMENT OF STRUCTURES WITHIN THE VDOT RIGHT-OF-WAY WHICH ARE DAMAGED DURING CONSTRUCTION OF THIS PROJECT.
12. INSTALLATION OF ALL PIPE CULVERTS AND STORM SEWER SYSTEMS LOCATED WITHIN VDOT RIGHT-OF-WAY AND EASEMENTS SHALL CONFORM TO THE 2001 VDOT ROAD AND BRIDGE STANDARDS.

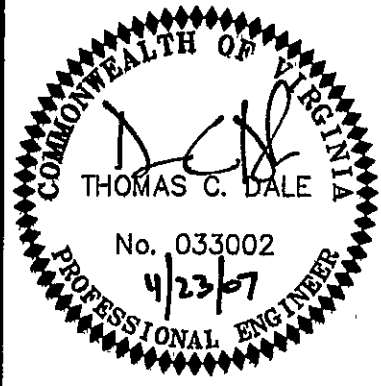
GRADING NOTES

1. AREAS TO BE GRADED SHALL BE CLEARED OF ALL VEGETATION, STRUCTURES, AND OTHER PHYSICAL FEATURES IN PREPARATION OF GRADING.
2. TOPSOIL SHALL BE REMOVED FROM THE CLEARED AREA AND STOCKPILED FOR FUTURE USE.
3. FILL MATERIAL SHALL BE FREE FROM ORGANIC MATTER AND ROCKS LARGER THAN 6 INCHES IN DIAMETER.
4. FILL MATERIAL SHALL BE PLACED AND COMPACTED IN EIGHT (8) INCH LOOSE LIFTS AND COMPACTED TO AT LEAST NINETY-FIVE (95) PERCENT OF THE MATERIAL'S MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D698, STANDARD PROCTOR. MAINTAIN MOISTURE CONTENT OF FILL MATERIAL WITHIN THREE (3) PERCENT OF OPTIMUM TO ATTAIN REQUIRED COMPACTION DENSITY.
5. NO SUBSURFACE SOILS INFORMATION HAS BEEN FURNISHED TO THE DESIGNING ENGINEER (LUMSDEN ASSOCIATES, P.C.), A QUALIFIED GEOTECHNICAL ENGINEER, LICENSED IN THE STATE OF VIRGINIA, SHOULD BE CONSULTED CONCERNING SOIL STABILITY, SLOPE STABILIZATION, SOIL COMPACTION, TESTING, AND OTHER SOIL CHARACTERISTICS. LUMSDEN ASSOCIATES ASSUMES NO RESPONSIBILITY OR LIABILITY RELATING TO FAILURES RESULTING FROM SAME.

WESTERN VIRGINIA WATER AUTHORITY GENERAL NOTES

1. ALL CONSTRUCTION METHODS AND MATERIALS SHALL CONFORM TO THE CONSTRUCTION STANDARDS AND SPECIFICATIONS OF THE WESTERN VIRGINIA WATER AUTHORITY, ROANOKE COUNTY AND/OR THE VIRGINIA DEPARTMENT OF TRANSPORTATION.
2. A PRE-CONSTRUCTION CONFERENCE SHOULD BE SCHEDULED WITH ROANOKE COUNTY ENGINEERING DIVISION AND THE WESTERN VIRGINIA WATER AUTHORITY, TO BE HELD AT LEAST ONE (1) DAY PRIOR TO ANY CONSTRUCTION.
3. ALL WORK SHALL BE SUBJECT TO INSPECTION BY THE WESTERN VIRGINIA WATER AUTHORITY, ROANOKE COUNTY AND/OR THE VIRGINIA DEPARTMENT OF TRANSPORTATION INSPECTORS.
4. THE DEVELOPER OR CONTRACTOR SHALL SUPPLY THE COUNTY, AND THE WESTERN VIRGINIA WATER AUTHORITY WITH CORRECT AS-BUILT PLANS BEFORE TENTATIVE ACCEPTANCE.
5. FIELD CORRECTIONS SHALL BE APPROVED BY THE ROANOKE COUNTY ENGINEERING DIVISION AND THE WESTERN VIRGINIA WATER AUTHORITY PRIOR TO SUCH CONSTRUCTION.
6. THE WATER SERVICE FOR THIS LOT WILL REQUIRE A CONCRETE VAULT. PLEASE CONTACT BEN HOUSEKNECHT WITH CLEAR FLOW AT (540)-942-3300 TO ORDER THE VAULT. THE APPLICANT IS RESPONSIBLE FOR PAYMENT, COORDINATION OF THE VAULT DELIVERY, AND INSTALLATION OF THE WATER SERVICE BETWEEN THE AUTHORITY MAIN AND THE VAULT. PRIOR TO START OF CONSTRUCTION, CALL THE AUTHORITY INSPECTOR AT 537-3243. THE APPLICANT IS RESPONSIBLE FOR ALL ASPECTS AND COMPONENTS OF THE WATER SERVICE AND VAULT IN ACCORDANCE WITH AUTHORITY STANDARDS, INCLUDING BUT NOT LIMITED TO PAVEMENT RESTORATION, THE TAPPING SLEEVE, VALVE AND APPURTENANCES. THE NET TAP WILL BE MADE BY THE AUTHORITY UPON PAYMENT AND SCHEDULING. FOLLOWING PAYMENT FOR TAP, CALL UTILITY LINE SERVICES AT 540-853-2513, THREE (3) WORKING DAYS PRIOR TO ANTICIPATED TAP DATE.
7. PROPOSED HYDRANT WILL BE INSTALLED BY THE CONTRACTOR.

LUMSDEN ASSOCIATES, P.C.
ENGINEERS-SURVEYORS-PLANNERS
ROANOKE, VIRGINIA



NOTES & DETAILS

VIRGINIA AIR DISTRIBUTORS
PREPARED FOR
VIRGINIA AIR DISTRIBUTORS
HOLLINS MAGISTERIAL DISTRICT
ROANOKE COUNTY, VIRGINIA

REVISIONS		
NO.	DATE	DESCRIPTION
1		
2		
3		
4		
5		

DATE: APRIL 23, 2007

SCALE: NOT TO SCALE

COMMISSION NO. 06-257

SHEET 3 OF 11