

C1 (DEED)

A= 90°00'53"

R= 40.00'

T= 40.01' (FIELD) 40.00' (DEED)

L= 62.84'

BRG. N 53°19'33" E

CHD. 56.58'

C2 (DEED)

A= 101°12'59"

R= 10.00'

T= 12.18'

L= 17.67'

BRG. S 14°46'44" W

CHD. 15.46'

BOUNDARY COORDINATES		
CORNER	NORTHING	EASTING
L1	4757.91799	968.58368
L2	4981.47065	1001.27065
L3	5015.26121	1046.64708
L4	4991.71282	1207.41058
L5	4987.23470	1197.63532
L6	4972.28957	1193.69251
L7	4938.21056	1218.29745

(A)

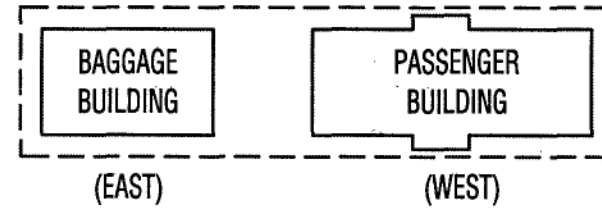
SDOI  
TOP OF MANHOLE LID = 926.28'  
INV. OF 12" RCP = 923.31'  
DIRECTION OF 12" RCP APPROXIMATE

(C)

SEWER MANHOLE  
TOP OF MANHOLE = 925.46'  
INV. IN = 920.16'  
INV. LATERAL = 921.92'  
INV. OUT = 920.08'

MERIDIAN OF  
M.B. 1, PG. 3424

KEY PLAN



GENERAL NOTES

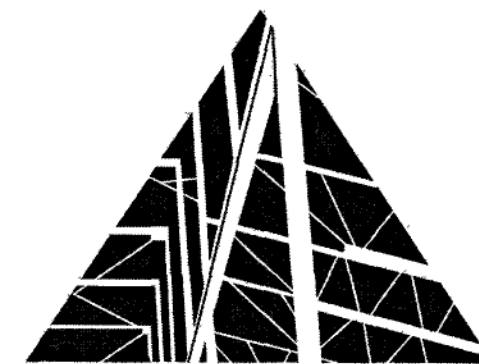
- EXISTING TOPOGRAPHICAL AND PLANIMETRIC FEATURES (BUILDINGS, CONCRETE, CURB, ASPHALT AND LANDSCAPING FEATURES) ARE TO BE REMOVED AS DESIGNATED.
- THE LOCATION OF EXISTING UTILITIES, INCLUDING UNDERGROUND UTILITIES, IS INDICATED ON THE DRAWINGS INsofar AS THEIR EXISTENCE AND LOCATION WERE KNOWN AT THE TIME OF THE PREPARATION OF THE DRAWINGS. HOWEVER, NOTHING IN THESE CONTRACT DOCUMENTS SHALL BE CONSTRUED AS A GUARANTEE THAT SUCH UTILITIES ARE IN THE LOCATION INDICATED OR THAT THEY ACTUALLY EXIST, OR THAT OTHER UTILITIES ARE NOT WITHIN THE AREA OF OPERATIONS. THE CONTRACTOR SHALL MAKE ALL NECESSARY INVESTIGATIONS TO DETERMINE THE EXISTENCE AND LOCATIONS OF SUCH UTILITIES. THE CONTRACTOR SHALL PAY FOR ANY DAMAGE TO AND FOR ANY MAINTENANCE AND PROTECTION OF EXISTING UTILITIES AND STRUCTURES.
- ALL EXISTING UTILITIES TO REMAIN IN PLACE AND IN SERVICE UNLESS OTHERWISE NOTED. COORDINATE WITH UTILITY SERVICE COMPANY PRIOR TO PERFORMING DEMOLITION WORK.
- PLANIMETRIC AND TOPOGRAPHIC SURVEY BY LUMSDEN ASSOCIATES, P.C. MAY 2010.
- THE CONTRACTOR SHALL CONTACT "MISS UTILITY" (DIAL 811 OR 1-800-552-7001) A MINIMUM OF TWO BUSINESS DAYS PRIOR TO WORKING IN THE VICINITY OF THE EXISTING UTILITIES.



Landscape Architecture  
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**VIRGINIAN RAILWAY  
PASSENGER STATION  
PHASE II - RESTORATION**  
VDOT UPC # 103592  
STATE PROJ# EN05-128-325, C502

**ROANOKE, VA**

SPECTRUM DESIGN PROJECT NO. 12138



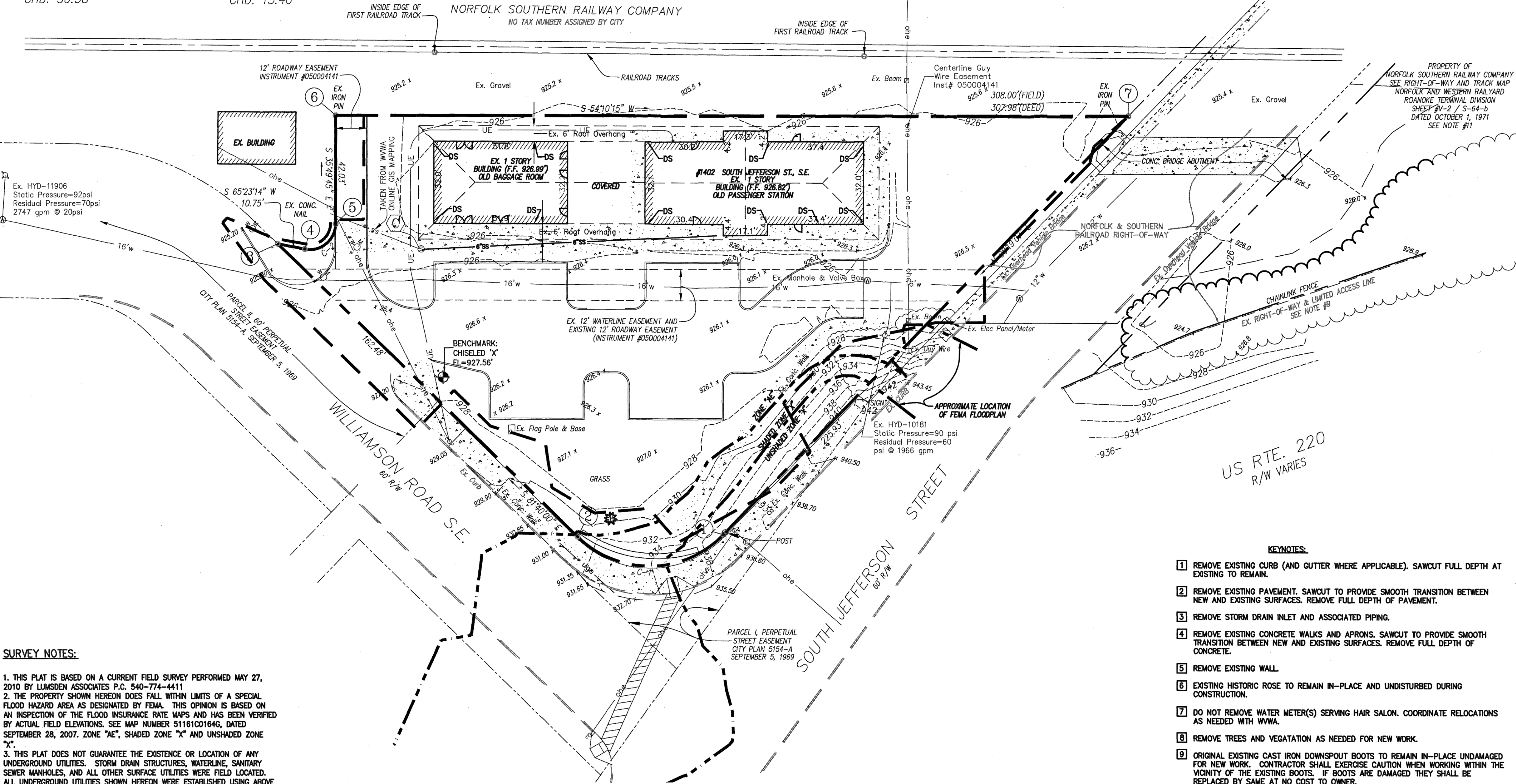
DATE  
DESIGN ARCHITECT  
PROJECT ARCHITECT  
PROJECT ENGINEER  
CHECKED BY  
DRAWN BY  
REVISIONS

31 MAY 2015  
BAR  
MAR  
MF  
NUMBER DATE

SHEET TITLE

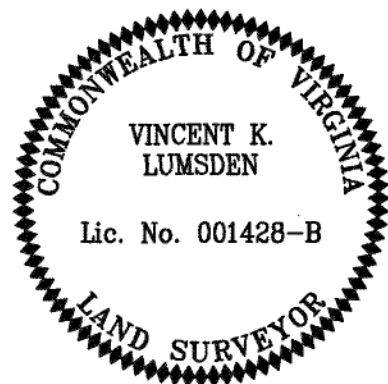
**EXISTING CONDITIONS  
AND DEMOLITION  
PLAN**

**C101**



**SURVEY NOTES:**

- THIS PLAT IS BASED ON A CURRENT FIELD SURVEY PERFORMED MAY 27, 2010 BY LUMSDEN ASSOCIATES P.C. 540-774-4411
- THE PROPERTY SHOWN HEREON DOES FALL WITHIN LIMITS OF A SPECIAL FLOOD HAZARD AREA AS DESIGNATED BY FEMA. THIS OPINION IS BASED ON AN INSPECTION OF THE FLOOD INSURANCE RATE MAPS AND HAS BEEN VERIFIED BY ACTUAL FIELD ELEVATIONS. SEE MAP NUMBER 51161C01646, DATED SEPTEMBER 28, 2007. ZONE "A", SHADED ZONE "B" AND UNSHADED ZONE "C".
- THIS PLAT DOES NOT GUARANTEE THE EXISTENCE OR LOCATION OF ANY UNDERGROUND UTILITIES. STORM DRAIN STRUCTURES, WATERLINE, SANITARY SEWER MANHOLES, AND ALL OTHER SURFACE UTILITIES WERE FIELD LOCATED. ALL UNDERGROUND UTILITIES SHOWN HEREON WERE ESTABLISHED USING ABOVE GROUND STRUCTURES, PAINTED MARKINGS MADE UNDER MISS UTILITY TICKET NUMBER A018701290 AND AVAILABLE UTILITY MAPS. ALL UNDERGROUND UTILITY LINES ARE APPROXIMATE AND SHOULD BE FIELD VERIFIED PRIOR TO THE START OF ANY CONSTRUCTION.
- THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF A CURRENT TITLE REPORT AND THEREFORE MAY NOT SHOW ALL EASEMENTS OR ENCUMBRANCES TO THE SUBJECT PROPERTY.
- CONTOUR INTERVAL = 2' (NAVD 1988)
- UNDERGROUND PIPE DIAMETERS WERE TAKEN FROM ACTUAL FIELD MEASUREMENTS WHERE ACCESSIBLE TO SURVEY CREWS. IN ALL OTHER CASES, THE DIAMETERS WERE TAKEN FROM AVAILABLE UTILITY MAPS AND/OR UTILITY MARKINGS.
- FEMA 100 YEAR BASE FLOOD ELEVATION = 930.47, (NAVD 88).
- LEGAL REFERENCE: INSTRUMENT #050004141 AND M.B. 1, PG. 3424.
- EX. RIGHT-OF-WAY & LIMITED ACCESS LINE TAKEN FROM VDOT PROJECT #6220-128-104, SHEET 9.
- STORM DRAIN PIPES ARE APPROXIMATE. THE ACTUAL LOCATION OF PIPES ARE UNKNOWN AND SHOULD BE FIELD VERIFIED PRIOR TO THE START OF ANY CONSTRUCTION.
- THE PROPERTY OF NORFOLK SOUTHERN RAILWAY COMPANY WEST OF SOUTH JEFFERSON STREET AND SOUTH OF US RTE. 220 IS BASED ON SOUTH JEFFERSON STREET 60' R/W, VDOT PLANS FOR US RTE. 220, 6220-128-104, SHEET 9 AND NORFOLK AND WESTERN RAILROAD ROANOKE TERMINAL DIVISION, SHEET #V-2 / S-64-b, DATED OCTOBER 1, 1971.



**KEYNOTES:**

- REMOVE EXISTING CURB (AND GUTTER WHERE APPLICABLE). SAWCUT FULL DEPTH AT EXISTING TO REMAIN.
- REMOVE EXISTING PAVEMENT. SAWCUT TO PROVIDE SMOOTH TRANSITION BETWEEN NEW AND EXISTING SURFACES. REMOVE FULL DEPTH OF PAVEMENT.
- REMOVE STORM DRAIN INLET AND ASSOCIATED PIPING.
- REMOVE EXISTING CONCRETE WALKS AND APRONS. SAWCUT TO PROVIDE SMOOTH TRANSITION BETWEEN NEW AND EXISTING SURFACES. REMOVE FULL DEPTH OF CONCRETE.
- REMOVE EXISTING WALL.
- EXISTING HISTORIC ROSE TO REMAIN IN-PLACE AND UNDISTURBED DURING CONSTRUCTION.
- DO NOT REMOVE WATER METER(S) SERVING HAIR SALON. COORDINATE RELOCATIONS AS NEEDED WITH WWA.
- REMOVE TREES AND VEGETATION AS NEEDED FOR NEW WORK.
- ORIGINAL EXISTING CAST IRON DOWNSPOUT BOOTS TO REMAIN IN-PLACE UNDAMAGED FOR NEW WORK. CONTRACTOR SHALL EXERCISE CAUTION WHEN WORKING WITHIN THE VICINITY OF THE EXISTING BOOTS. IF BOOTS ARE DAMAGED THEY SHALL BE REPLACED BY SAME AT NO COST TO OWNER.
- EXISTING EASEMENT TO BE VACATED.
- REMOVE EXISTING TERRA COTTA SS PIPE & REPLACE WITH NEW.
- DO NOT DISTURB EXISTING POWER POLE DURING SIDEWALK DEMOLITION OR REPLACEMENT.
- HISTORIC SIGNAL POLE BASE TO BE RELOCATED.
- EXISTING WALK TO BE REMOVED AND REPLACED WITH SAME SCORING PATTERN. CONTRACTOR SHALL FIELD MEASURE SCORING DIMENSIONS PRIOR TO REMOVAL, AS WELL AS TOOLING PATTERN. CONTRACTOR SHALL REPLICATE EXISTING CONDITIONS AS CLOSELY AS POSSIBLE DURING REPLACEMENT.

**LEGEND**

- GRAVEL TO BE REMOVED AND RE-USED AS FILL MATERIAL
- CONCRETE TO BE REMOVED
- PAVEMENT TO BE REMOVED

1" = 20'-0" 20' 10' 0 20' 40'