

C1 (DEED)  
A= 90°00'53"  
R= 40.00'  
T= 40.01' (FIELD) 40.00' (DEED)  
L= 62.84'  
BRG. N 53°19'33" E  
CHD. 56.58'

C2 (DEED)  
A= 101°12'59"  
R= 10.00'  
T= 12.18'  
L= 17.67'  
BRG. S 14°46'44" W  
CHD. 15.46'

BOUNDARY COORDINATES		
CORNER	NORTHING	EASTING
L1	4757.91799	968.58368
L2	4981.47065	1001.27065
L3	5015.26121	1046.64708
L4	4991.71282	1207.41058
L5	4987.23470	1197.63532
L6	4972.28957	1193.69251
L7	4938.21056	1218.29745

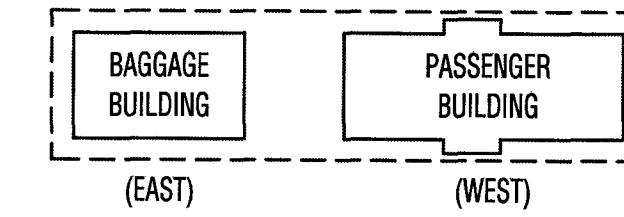
NORFOLK SOUTHERN NOTES:  
ALL WORK ON, OVER, UNDER OR ADJACENT TO NORFOLK SOUTHERN RIGHT-OF-WAY SHALL BE DONE IN ACCORDANCE WITH THE NORFOLK SOUTHERN "SPECIAL PROVISIONS FOR THE PROTECTION OF RAILWAY INTERESTS" (NS SPECIAL PROVISIONS).

"ONE CALL" SERVICES DO NOT LOCATE BURIED RAILROAD SIGNAL AND COMMUNICATIONS LINES. THE CONTRACTOR SHALL CONTACT THE RAILROAD'S REPRESENTATIVE TWO (2) DAYS IN ADVANCE OF THOSE PLACES WHERE EXCAVATION, PILE DRIVING OR HEAVY LOADS MAY DAMAGE RAILROAD UNDERGROUND LINES ON RAILROAD PROPERTY. UPON REQUEST FROM THE CONTRACTOR OR AGENCY, RAILROAD SIGNAL FORCES WILL LOCATE AND PAINT MARK OR FLAG RAILROAD UNDERGROUND SIGNAL, COMMUNICATION AND POWER LINES IN THE AREA TO BE DISTURBED FOR THE CONTRACTOR. THE CONTRACTOR SHALL AVOID EXCAVATION OR OTHER DISTURBANCE OF THESE LINES WHICH ARE CRITICAL TO THE SAFETY OF THE RAILROAD AND THE PUBLIC. IF DISTURBANCE OR EXCAVATION IS REQUIRED NEAR A BURIED RAILROAD SIGNAL, COMMUNICATION OR POWER LINE, THE LINE SHALL BE POTHoled MANUALLY WITH CAREFULLY HAND EXCAVATION BY THE CONTRACTOR AND PROTECTED BY THE CONTRACTOR DURING THE COURSE OF THE DISTURBANCE UNDER THE SUPERVISION AND DIRECTION OF A RAILROAD SIGNAL REPRESENTATIVE.

SEWER MANHOLE  
TOP OF MANHOLE = 925.46'  
INV. IN = 920.16'  
INV. LATERAL = 921.92'  
INV. OUT = 920.08'

MEDIAN OF  
I.R. 1, PG. 9424

KEY PLAN



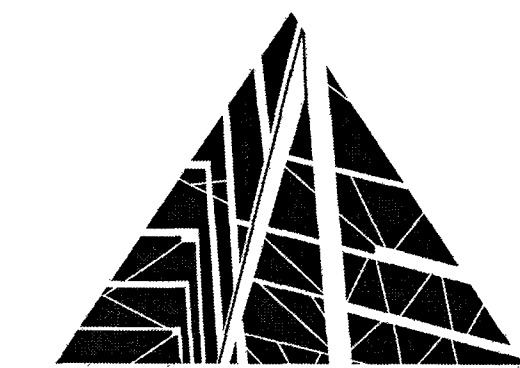
GENERAL NOTES

1. THE CONTRACTOR SHALL CONTACT "MISS UTILITY" (1-800-552-7001 OR 811) 48 HOURS PRIOR TO WORKING IN THE VICINITY OF THE EXISTING UTILITIES.
2. UTILITIES SHOWN ARE FROM BEST AVAILABLE INFORMATION. FIELD VERIFY LOCATIONS PRIOR TO WORK.
3. UNLESS OTHERWISE NOTED, ALL LOT DIMENSIONS ARE TO THE FACE OF CURB. STANDARD CURB RADIUS=5'-0".
4. ALL SITE LAYOUT SHALL BE PERFORMED BY A LICENSED SURVEYOR UTILIZING AN ELECTRONIC COPY OF THE PLANS. DIMENSIONS PROVIDED ARE FOR GENERAL LOCATION PURPOSES ONLY.
5. HANDICAPPED PARKING SPACES AND ACCESS AISLES SERVING THEM SHALL BE AT SLOPES NOT STEEPER THAN 1:48 (2%).
6. WORK WITHIN RIGHT-OF-WAY SHALL CONFORM TO CITY OF ROANOKE RIGHT-OF-WAY EXCAVATION AND RESTORATION STANDARDS.
7. UTILITIES SHALL BE UNDERGROUND IN ACCORDANCE WITH CITY CODE SECTION 36.2-610.
8. PROVIDE 1/2" EXPANSION JOINT BETWEEN ALL FLATWORK EDGES AND BUILDINGS AND AT APPROXIMATELY 30' SPACING. ALLOW 1/2" AT TOP FOR SEALANT. PROVIDE SCORE JOINTS ELSEWHERE AS SHOWN.
9. SANITARY SEWER LATERALS SHALL BE INSTALLED AT 2.0% MINIMUM SLOPE.



Landscape Architecture  
Architecture  
Community Planning  
Historic Preservation  
120 W. Campbell Ave. SW  
Roanoke, VA 24011  
tel: 540-342-5263 fax: 540-345-5625  
www.hillstudio.com

BARRY A. RAKES - ARCHITECT, PLLC  
910 WEST WIND ROAD  
FINCASTLE, VIRGINIA 24090  
(540) 473-1567



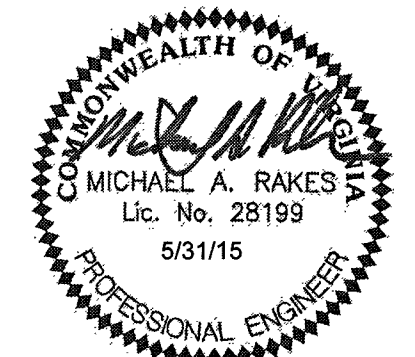
SPECTRUM DESIGN  
architects | engineers

10 CHURCH AVE SE, PLAZA SUITE 1 ROANOKE, VIRGINIA 24011 540.342.6001

VIRGINIAN RAILWAY  
PASSENGER STATION  
PHASE II - RESTORATION  
VDOT UPC # 103592  
STATE PROJ# EN05-128-325, C502

ROANOKE, VA

SPECTRUM DESIGN PROJECT NO. 12138



DATE 31 MAY 2015  
DESIGN ARCHITECT BAR  
PROJECT ARCHITECT BAR  
PROJECT ENGINEER MF  
CHECKED BY MF  
DRAWN BY DATE  
REVISIONS NUMBER

SHEET TITLE  
DIMENSIONAL AND  
UTILITY PLAN

C102

LEGEND

- VDOT RIGHT-OF-WAY PAVEMENT, DETAIL 2/C501
- HEAVY DUTY PAVEMENT, DETAIL 2/C501
- REGULAR DUTY PAVEMENT, DETAIL 2/C501
- CONCRETE PAVEMENT, DETAIL 2/C501
- ACCESSIBLE ROUTE
- PARKING SPACES PER BAY (TYP)

KEYNOTES

- 1 VDOT STANDARD CURB (CG-2). SEE DETAIL 1/C501.
- 2 NOT USED.
- 3 8' WIDE STANDARD HANDICAPPED PARKING SPACE WITH CONCRETE WHEEL STOP, SEE DETAILS 3, 4 & 5/C501.
- 4 8' WIDE VAN ACCESSIBLE HANDICAPPED PARKING SPACE WITH CONCRETE WHEEL STOP, SEE DETAILS 3, 4 & 5/C501.
- 5 HANDICAP RAMP IN CONFORMANCE WITH ANSI A117.1-2003, SECTION 406, WITH CAST IRON DETECTABLE WARNING PLATE. SEE DETAIL 6/C501.
- 6 FOUR BOLLARDS, SEE DETAIL 7/C501. (NOT USED)
- 7 CONCRETE WALK SCORING PATTERN. REFER TO GENERAL NOTE 8.
- 8 LINEAR HANDICAPPED RAMP WITH CAST IRON DETECTABLE WARNING PLATE. (NOT USED)
- 9 CONCRETE SIDEWALK, SIZE AS INDICATED. SEE DETAIL 8/C501.
- 10 BUILDING RENOVATION. SEE BUILDING PLANS.
- 11 NOT USED
- 12 SIGNAL BASE, DETAIL 9/C501.
- 13 WIPE DOWN CURB, DETAIL 10/C501.
- 14 DUAL WATER METER SERVICE, DETAIL 21/C502.
- 15 REFER TO DETAIL 22/C502 FOR SANITARY TRENCH SECTION.
- 16 SANITARY CLEANOUT. REFER TO DETAIL 23/C502.
- 17 (2) 1" SERVICE LATERALS
- 18 SEE DETAIL 27/C502 FOR TRENCH
- 19 16"x4" WET TAP W/TAPPING SLEEVE AND VALVE PER WYMA REQUIREMENTS (SEE PLAN NOTES)
- 20 SITE LIGHTING, TYPICAL. REFER TO ELECTRICAL PLANS FOR MORE INFORMATION.
- 21 FLUSH-MOUNTED YARD HYDRANT BOX, SEE PLUMBING DWGS FOR INFORMATION. YARD HYDRANTS SHALL BE SET IN 4 CUBIC FEET OF CRUSHED STONE TO ALLOW FOR PROPER DRAINAGE. COMPLY WITH IPC 608.7.
- 22 NEW 20" PUBLIC SEWER MAIN EASEMENT.
- 23 WALK REPLACEMENT AT ENTRANCE SHALL BE SERVICE AREA CONCRETE PAVEMENT SECTION. SCORE JOINTS, TOOL END JOINTS, AND SURFACE APPEARANCE SHALL MATCH ORIGINAL CONDITION.

US RTE. 220  
R/W VARIES

1" = 20'-0"

SITE SUMMARY TABLE

PROPERTY DATA:  
SITE ADDRESS: 1402 JEFFERSON STREET, SE  
TAX MAP# 4039003  
PARCEL  
M.B. 1, PG 3424  
SUBJECT PARCEL AREA = 0.77 ACRES = 33,667 S.F.

PROPOSED BUILDING DATA:  
BUILDING FOOTPRINT AREA (BIRD'S EYE VIEW): 3,750 S.F.  
BUILDING TOTAL GROSS FLOOR AREA: 3,750 S.F.

ADJACENT PROPERTY DATA:  
ADJACENT ZONING: D (DOWNTOWN) & RM-2 (RESIDENTIAL MIXED DENSITY)  
ADJACENT LAND USE: INDUSTRIAL, COMMERCIAL AND RESIDENTIAL; STREET & RAILROAD  
RIGHT-OF-WAY  
PROPOSED LAND USE: MUSEUM, GENERAL RETAIL

SUBJECT PROPERTY ZONING:  
ZONING: D, DOWNTOWN DISTRICT  
LOT REQUIREMENTS:  
- LOT AREA: NONE, ACTUAL = 33,667 S.F.  
- LOT FRONTAGE: NONE, ACTUAL = 451 L.F.  
MINIMUM SETBACK REQUIREMENTS:  
FRONT YARD:  
- MINIMUM: NONE; MAXIMUM: 10'  
- ACTUAL = 44 L.F. (MIN) & 132 L.F. (MAX)  
SIDE YARD:  
- MINIMUM = NONE  
- MAXIMUM = NONE  
REAR YARD:  
- MINIMUM = NONE  
- MAXIMUM = NONE

BUILDING DATA:  
STRUCTURE HEIGHT (PROPERTY NOT ABUTTING A RESIDENTIAL DISTRICT)  
MAXIMUM= NONE, ACTUAL= N/A (BUILDING RENOVATION)  
FLOOR AREA RATIO MAXIMUM: 15, ACTUAL = N/A (BUILDING RENOVATION)  
IMPERVIOUS SURFACE COVERAGE MAXIMUM = 100%, ACTUAL = 84%  
MINIMUM PARKING REQUIREMENT APPLIES: NO  
PEDESTRIAN ACCESS REQUIREMENT: NONE  
MAXIMUM BUILDING FOOTPRINT: NONE  
MINIMUM TRANSPARENCY (% OF FACADE AREA): 50%, ACTUAL = N/A (BUILDING RENOVATION)  
LANDSCAPING (REFER TO LANDSCAPING PLANS FOR CANOPY COVERAGE):  
TREE CANOPY COVERAGE: MINIMUM = 0%; ACTUAL= N/A

DETAIL - WATER & SEWER CONNECTIONS

1" = 20'-0"

J:\12138\Civil\DWG\12138 Dimensional Plans.dwg, Plotted By: Inferrary, Plotted: Jun 01, 2015 - 11:37am