

SURFACE INVENTORY:

PROJECT AREA: = 76,085sf
 FUTURE BLDG. = 30,000sf
 GRAVEL AREA: 24,200sf
 PAVEMENT: 6,721sf
 CONCRETE: 1500sf
 RIPRAP: 1,445sf
 LANDSCAPED AREA: 12,219sf
 REQUIRED LANDSCAPED AREA: = 10%
 10% OF 76,085sf = 7,609sf
 ACTUAL LANDSCAPED% = 76,085/12,219 = 16%
 TOTAL SITE AREA = 3.888 ACRES
 2.4 ACRES IMPERVIOUS
 61.7% IMPERVIOUS FOR TOTAL SITE

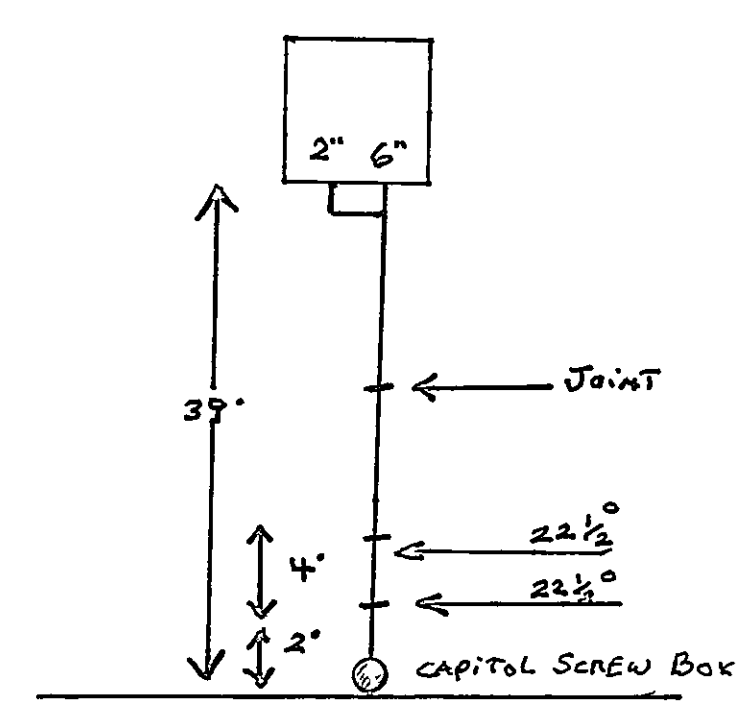
PROPOSED SITE DATA:

OWNER: VISTA PROPERTIES, L.L.C.
 TAX NO. : 7190205
 LOCATION: 1764 GRANBY STREET N.E.
 ROANOKE, VA 24012
 EXISTING ZONING: I-1
 ACREAGE: 3.888, M.B. 1, PG. 2903
 FLOOD ZONE: NO 100 YEAR FLOOD PLAIN
 FEMA PANEL 51161C0028D
 EXISTING USE: MANUFACTURING
 FUTURE EMPLOYEES = +/- 30
 30 PARKING SPACES REQUIRED
 57 PARKING SPACES PROVIDED
 PARKING REQUIREMENT: 1SPACE/EMPLOYEE

PAVEMENT SCHEDULE"
 2" SURFACE COURSE
 4" BASE COURSE
 8" 21B's

CURVE	RADIUS	TANGENT	LENGTH	DELTA	DEGREE	CHORD	CH.BEARING
C1	50.00'	63.82'	90.62'	103°50'34"	114°35'30"	78.72'	S 77°08'47"E
C2	867.77'	75.49'	150.60'	9°58'37"	6°36'10"	150.41'	S 20°17'04"E

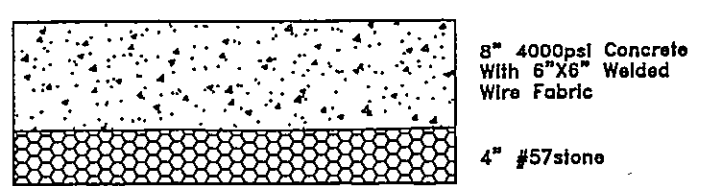
STANDARD CITY OF ROANOKE
COMMERCIAL ENTRANCE
SEE SHEET 7 FOR DETAIL



as BUILT 8-7-07

W.O.H.

6" SERVICE is DUCTILE IRON
 BELL JOINT HAS FIELD LOCK GASKET
 22 1/2 BENDS ARE FOR ELEVATION AND
 ARE MEGA LOGGED WITH THRUST BLOCK
 SCREW BOX USED BECAUSE OF GAS MAIN

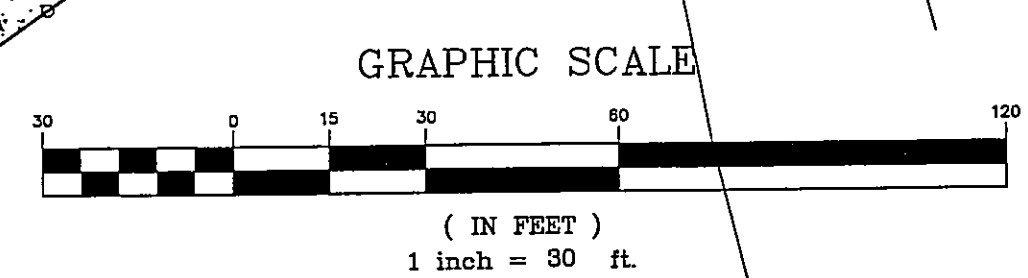


CONCRETE DETAIL
NOT TO SCALE

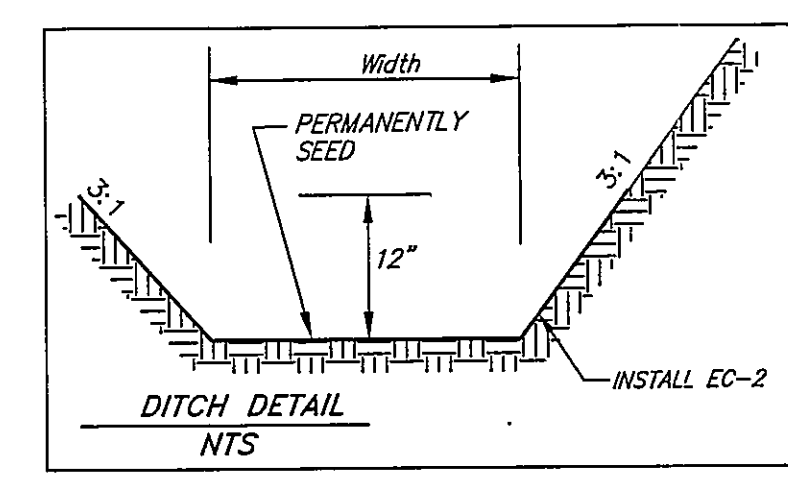
Fire Hydrant Data:
 Provided by WVA
 105psi static
 85psi residual
 1668gpm fire flow

EXISTING SITE DATA:

OWNER: VISTA PROPERTIES, L.L.C.
 TAX NO. : 7190205
 LOCATION: 1764 GRANBY STREET N.E.
 ROANOKE, VA 24012
 EXISTING ZONING: I-1
 ACREAGE: 3.888, M.B. 1, PG. 2903
 FLOOD ZONE: NO 100 YEAR FLOOD PLAIN
 FEMA PANEL 51161C0028D
 EXISTING USE: MANUFACTURING
 EXISTING EMPLOYEES = +/- 15



TAX NO. 7190203
 CARROLL E. & VELLA N.
 BOWER
 D.B. 1770, PG. 810



TAX NO. 7180206
 ROSENBERG FAMILY FUND
 D.B. 1717, PG. 1555