

04336r.p01-sheet 1.plt

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KNOW ALL MEN BY THESE PRESENTS, TO WIT:

THAT STRAUSS DEVELOPMENT CORPORATION IS THE FEE SIMPLE OWNER AND PROPRIETOR OF THE LAND SHOWN HEREON TO BE SUBDIVIDED, BOUNDED BY OUTSIDE CORNERS 1 THRU 18 TO 1, INCLUSIVE, AND BEING TRACT "A", BEING A PORTION OF THE LAND CONVEYED TO SAID OWNER BY DEED DATED OCTOBER 13, 2003 AND RECORDED IN THE AFORESAID CLERK'S OFFICE IN INSTRUMENT #200328286 & #200328287, SAID PARCEL BEING SUBJECT TO A DEED OF TRUST TO ELLIS L. GUTSHALL AND A. WAYNE LEWIS, TRUSTEES, SECURING VALLEY BANK, BENEFICIARY DATED NOVEMBER 12, 2003 AND RECORDED IN THE AFORESAID CLERK'S OFFICE IN INSTRUMENT #200328288.

THE SAID OWNER CERTIFIES THAT IT HAS SUBDIVIDED THIS LAND, AS SHOWN HEREON, ENTIRELY WITH ITS OWN FREE WILL AND CONSENT AND PURSUANT TO AND IN COMPLIANCE WITH THE SECTION 15.2-2240 THROUGH 2276 OF THE CODE OF VIRGINIA, 1950 (AS AMENDED) TO DATE, AND WITH THE ROANOKE COUNTY SUBDIVISION ORDINANCES.

THE SAID OWNER DOES BY VIRTUE OF THE RECORDATION OF THIS PLAT, DEDICATES IN FEE SIMPLE TO THE COUNTY OF ROANOKE ALL OF THE LAND EMBRACED WITHIN THE STREETS OF THIS SUBDIVISION 19, 693 S.F. (0.452 AC.) AND ALL PUBLIC UTILITY AND DRAINAGE EASEMENTS SHOWN HEREON.

THE SAID OWNER HEREBY DEDICATES TO THE WESTERN VIRGINIA WATER AUTHORITY AND ITS ASSIGNS THE 5' WATER LINE EASEMENT SHOWN HEREON.

THE SAID OWNER DOES AS A CONDITION PRECEDENT TO THE APPROVAL OF THIS PLAT AND SUBDIVISION AND THE ACCEPTANCE OF THE DEDICATION OF THE STREETS SHOWN HEREON BY THE BOARD OF SUPERVISORS OF ROANOKE COUNTY, VIRGINIA, ON ITS BEHALF AND FOR AND ON ACCOUNT OF ITS HEIRS, DEVISEES, SUCCESSORS AND ASSIGNS, SPECIFICALLY RELEASES THE COUNTY OF ROANOKE, VIRGINIA, AND THE VIRGINIA DEPARTMENT OF TRANSPORTATION FROM ANY OR ALL CLAIM OR CLAIMS FOR DAMAGES WHICH SAID OWNER, ITS SUCCESSORS, DEVISEES AND ASSIGNS, MAY OR MIGHT HAVE AGAINST THE COUNTY OF ROANOKE OR THE VIRGINIA DEPARTMENT OF TRANSPORTATION BY REASON OF ESTABLISHING PROPER GRADE LINES ON OR ALONG SUCH STREETS AS SHOWN ON THIS PLAT OF SUBDIVISION (OR SUCH CHANGED STREETS AS MAY BE AGREED UPON IN THE FUTURE) AND BY REASON OF DOING NECESSARY GRADING, CUTTING OR FILLING FOR THE PURPOSE OF PLACING SUCH STREETS UPON PROPER GRADE AS MAY FROM TIME TO TIME BE ESTABLISHED BY SAID COUNTY OR VIRGINIA DEPARTMENT OF TRANSPORTATION AND SAID COUNTY OR VIRGINIA DEPARTMENT OF TRANSPORTATION SHALL NOT BE REQUIRED TO CONSTRUCT ANY RETAINING WALL OR WALLS ALONG THE STREETS AND PROPERTY LINES THEREOF OR MAINTAIN ANY EASEMENTS AS SHOWN HEREON.

IN WITNESS THEREOF IS HEREBY PLACED THE FOLLOWING SIGNATURE AND SEAL ON THIS ____ DAY OF _____, 2007.

STRAUSS DEVELOPMENT CORPORATION

BY: STEVEN S. STRAUSS, VICE PRESIDENT

BENEFICIARY - VALLEY BANK

BY: ELLIS L. GUTSHALL

TRUSTEE

BY: ELLIS L. GUTSHALL

STATE OF VIRGINIA

____ OF _____

I, _____, A NOTARY PUBLIC IN AND FOR THE AFORESAID _____ AND STATE DO HEREBY CERTIFY THAT STEVEN S. STRAUSS, VICE PRESIDENT, FOR STRAUSS DEVELOPMENT CORPORATION, OWNER HAS PERSONALLY APPEARED BEFORE ME IN MY AFORESAID _____ AND STATE AND ACKNOWLEDGED THE SAME ON _____, 2007.

MY COMMISSION EXPIRES ON _____

STATE OF VIRGINIA

____ OF _____

I, _____, A NOTARY PUBLIC IN AND FOR THE AFORESAID _____ AND STATE DO HEREBY CERTIFY THAT ELLIS L. GUTSHALL, FOR VALLEY BANK, BENEFICIARY AND ELLIS L. GUTSHALL, TRUSTEE HAS PERSONALLY APPEARED BEFORE ME IN MY AFORESAID _____ AND STATE AND ACKNOWLEDGED THE SAME ON _____, 2007.

MY COMMISSION EXPIRES ON _____

NOTARY PUBLIC

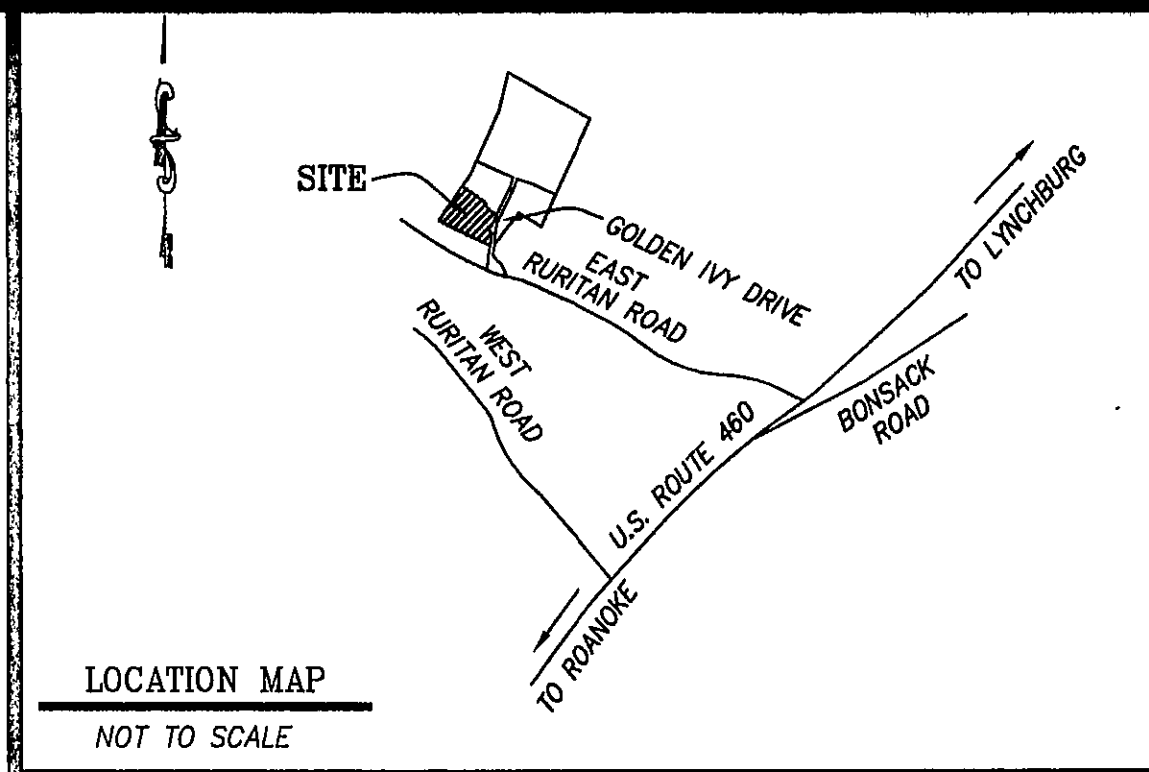
NOTES:

1. THIS PROPERTY IS NOT LOCATED WITHIN THE LIMITS OF A 100 YEAR FLOOD BOUNDARY AS DESIGNATED BY FEMA. THIS OPINION IS BASED ON AN INSPECTION OF THE FLOOD INSURANCE RATE MAP #51101C0028 D, DATED OCTOBER 15, 1993 AND HAS BEEN VERIFIED BY ACTUAL FIELD ELEVATIONS, ZONED "X".
2. THIS PLAT WAS PREPARED WITH THE BENEFIT OF A TITLE REPORT, DATED APRIL 1, 2003 BY SOUTHERN TITLE INSURANCE COMPANY.
3. IRON PINS SET AT ALL CORNERS, UNLESS OTHERWISE NOTED.
4. THIS PLAT IS BASED ON A CURRENT FIELD SURVEY.
5. THIS PLAT SUBDIVIDES ROANOKE COUNTY OWN #040.13-01-01.00-0000.
6. PERPETUAL FIVE FOOT WALL MAINTENANCE EASEMENTS AS SHOWN ON THE INTERIOR LOT LINES WITHIN THE SUBDIVISION, SHALL ONLY APPLY TO THOSE LOTS ON WHICH A SINGLE FAMILY DETACHED DWELLING ON THE ADJOINING LOT IS CONSTRUCTED FIVE FEET OR LESS FROM THE PROPERTY LINE. SHOULD THE SINGLE FAMILY DETACHED DWELLING ON THE ADJOINING LOT BE MORE THAN FIVE FEET FROM THE APPLICABLE PROPERTY LINE, THE PERPETUAL FIVE FOOT WALL MAINTENANCE EASEMENT ON THE ADJOINING LOT SHALL NOT BE APPLICABLE AND NO SUCH EASEMENT SHALL BE DEEMED TO EXIST.
7. THE DEVELOPER OF THIS SUBDIVISION SHALL ESTABLISH A HOMEOWNER'S ASSOCIATION WHICH WILL ASSUME THE MAINTENANCE RESPONSIBILITY OF THE STORMWATER MANAGEMENT AREA AND UTILITY LOT AS SHOWN ON P.B. 27, PG. 109.
8. PRESSURE REDUCING VALVES WILL BE REQUIRED ON ALL LOTS, CUSTOMER SIDE.
9. THE AREA WITHIN THE STREETS OF THE SUBDIVISION IS 19,693 S.F. (0.452 ACRES).
10. DITCHES IN 15' PRIVATE DRAINAGE EASEMENT SHALL BE MAINTAINED BY THE HOMEOWNER'S ASSOCIATION.

BOUNDARY COORDINATES		
ORIGIN OF COORDINATES ASSUMED		
CORNER	NORTHING	EASTING
1	7106.33655	5104.55323
2	7236.74973	4825.38214
3	7226.85102	4818.59859
4	7371.49552	4541.79399
5	7672.41195	4748.12602
6	7747.21881	4801.70270
7	7571.60826	5046.90031
8	7495.78443	5081.85983
9	7434.62130	5183.65246
10	7425.60237	5178.23335
11	7325.13543	5134.46655
12	7304.40681	5098.10226
13	7310.01638	5078.90505
14	7271.97958	5066.52760
15	7263.80344	5095.64894
16	7232.86357	5118.67600
17	7206.96745	5117.95992
18	7113.01662	5108.92848
1	7106.33655	5104.55323

SECTION #3 (TRACT "A") - 213,190 S.F. (4.894 AC.)

INSTRUMENT #



APPROVED:

ROANOKE COUNTY PLANNING COMMISSION

DATE

IN THE CLERK'S OFFICE FOR THE CIRCUIT COURT OF ROANOKE COUNTY, VIRGINIA, THIS PLAT WAS PRESENTED AND WITH THE CERTIFICATE OF ACKNOWLEDGMENT THERETO ANNEXED, IS ADMITTED TO RECORD AT _____ O'CLOCK ON THIS ____ DAY OF _____, 2007.

TESTEE: STEVEN A. MCGRAW, CLERK

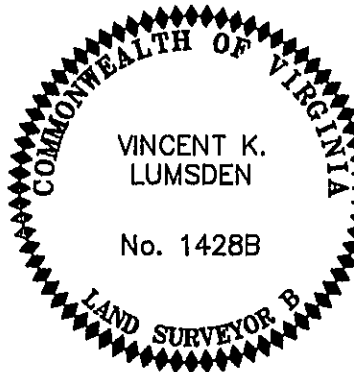
DEPUTY CLERK

PLAT SHOWING
ZERO LOT LINE SUBDIVISION
DESIGNATED AS

SECTION No. 3
"WEDGWOOD"

PROPERTY OF
STRAUSS DEVELOPMENT CORPORATION

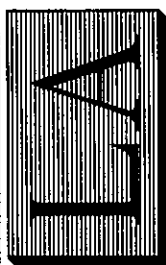
BEING A
SUBDIVISION OF TRACT "A" (P.B. 27, PG. 109)
SITUATED ALONG EAST RURITAN ROAD
HOLLINS MAGISTERIAL DISTRICT
ROANOKE COUNTY, VIRGINIA



PHONE: (540) 774-4411
FAX: (540) 772-9445
E-MAIL: MAIL@LUMSDENPC.COM

4664 BRAMBLETON AVENUE, SW
P.O. BOX 20669
ROANOKE, VIRGINIA 24018

LUMSDEN ASSOCIATES, P.C.
ENGINEERS-SURVEYORS-PLANNERS
ROANOKE, VIRGINIA



DATE: March 1, 2007
COMM. NO.: 04-336
SCALE: NONE
SHEET 1 OF 2

LUMSDEN ASSOCIATES, P.C.
ENGINEERS-SURVEYORS-PLANNERS
ROANOKE, VIRGINIA

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RECORD PLAT

"WEDGWOOD"
-SECTION 3
PREPARED FOR

STRAUSS DEVELOPMENT CORPORATION
HOLLINS MAGISTERIAL DISTRICT
ROANOKE COUNTY, VIRGINIA

NO.	DATE	DESCRIPTION
1		
2		
3		
4		
5		

DATE: MARCH 1, 2007
SCALE: NO SCALE
COMMISSION NO.: 04-336
SHEET 3 OF 11