

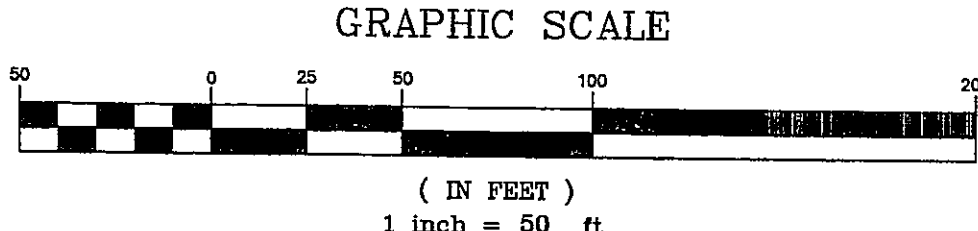
04336r01-sheet 2.plt

LEGEND

P.B.	PLAT BOOK
D.B.	DEED BOOK
P.G.	PAGE
S.F.	SQUARE FEET
AC.	ACRES
EX.	EXISTING
R/W	RIGHT-OF-WAY
M.B.L.	MINIMUM BUILDING LINE
R.Y.	REAR YARD SETBACK
S.Y.	SIDE YARD SETBACK
D.E.	DRAINAGE EASEMENT
W.L.E.	WATERLINE EASEMENT
M.W.E.	WALL MAINTENANCE EASEMENT
P.U.E.	PUBLIC UTILITY EASEMENT
R=	RADIUS
L=	ARC LENGTH
(TYP.)	TYPICAL

NOTES:

1. THIS PROPERTY IS NOT LOCATED WITHIN THE LIMITS OF A 100 YEAR FLOOD BOUNDARY AS DESIGNATED BY FEMA. THIS OPINION IS BASED ON AN INSPECTION OF THE FLOOD INSURANCE RATE MAP #51161C0028 D, DATED OCTOBER 15, 1993 AND HAS BEEN VERIFIED BY ACTUAL FIELD ELEVATIONS. ZONED "X".
2. THIS PLAT WAS PREPARED WITH THE BENEFIT OF A TITLE REPORT, DATED APRIL 1, 2003 BY SOUTHERN TITLE INSURANCE COMPANY.
3. IRON PINS SET AT ALL CORNERS, UNLESS OTHERWISE NOTED.
4. THIS PLAT IS BASED ON A CURRENT FIELD SURVEY.
5. THIS PLAT SUBDIVIDES ROANOKE COUNTY OWN #040.13-01-01.00-0000 (TRACT "A").
6. PERPETUAL FIVE FOOT WALL MAINTENANCE EASEMENTS AS SHOWN ON THE INTERIOR LOT LINES WITHIN THE SUBDIVISION, SHALL ONLY APPLY TO THOSE LOTS ON WHICH A SINGLE FAMILY DETACHED DWELLING ON THE ADJOINING LOT IS CONSTRUCTED FIVE FEET OR LESS FROM THE PROPERTY LINE. SHOULD THE SINGLE FAMILY DETACHED DWELLING ON THE ADJOINING LOT BE MORE THAN FIVE FEET FROM THE APPLICABLE PROPERTY LINE, THE PERPETUAL FIVE FOOT WALL MAINTENANCE EASEMENT ON THE ADJOINING LOT SHALL NOT BE APPLICABLE AND NO SUCH EASEMENT SHALL BE DEEMED TO EXIST.
7. THE DEVELOPER OF THIS SUBDIVISION SHALL ESTABLISH A HOMEOWNER'S ASSOCIATION WHICH WILL ASSUME THE MAINTENANCE RESPONSIBILITY OF THE STORMWATER MANAGEMENT AREA AND UTILITY LOT AS SHOWN ON P.B. 27, PG. 109.
8. PRESSURE REDUCING VALVES WILL BE REQUIRED ON ALL LOTS, CUSTOMER SIDE.
9. THE AREA WITHIN THE STREETS OF THE SUBDIVISION IS 19,693 S.F. (0.452 ACRES).
10. DITCHES IN 15' PRIVATE DRAINAGE EASEMENT SHALL BE MAINTAINED BY THE HOMEOWNER'S ASSOCIATION.



VARIABLE WIDTH D.E.

LINE	BEARING	DISTANCE
D1-D2	S 65°26'15" E	112.14'
*D2-13	S 18°01'31" W	6.61'
* DENOTES TIE ONLY		

15' W.L.E.

LINE	BEARING	DISTANCE
W1-W2	N 34°52'01" E	71.64'
W2-W3	N 57°22'01" E	53.41'
*W3-7	S 54°23'23" E	94.91'
* DENOTES TIE ONLY		

INSTRUMENT #

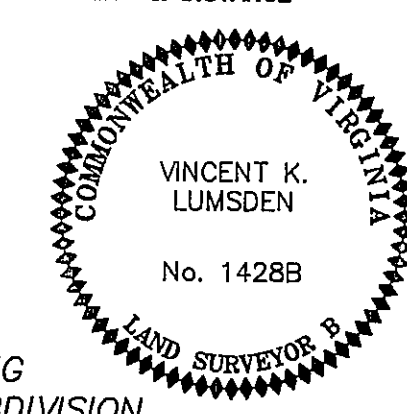
CURVE TABLE

CURVE	RADIUS	LENGTH	TANGENT	CHORD	BEARING	DELTA
C1	422.00'	109.90'	55.26'	109.59'	S 23°32'22" W	14°55'15"
C2	30.00'	46.32'	29.21'	41.86'	N 60°18'57" E	88°28'23"
C3	330.00'	240.11'	125.65'	234.85'	S 54°36'11" E	41°41'21"
C4	330.00'	20.00'	10.00'	20.00'	S 73°42'40" E	32°28'23"
C5	330.00'	44.05'	22.06'	44.02'	S 68°09'02" E	73°58'54"
C6	330.00'	69.59'	34.93'	69.46'	S 58°17'06" E	12°04'59"
C7	330.00'	80.01'	40.20'	79.81'	S 45°17'52" E	13°53'30"
C8	330.00'	26.46'	13.24'	26.45'	S 36°03'19" E	43°55'36"
C9	30.00'	30.67'	16.82'	29.35'	S 04°28'27" E	58°34'06"
C10	55.00'	276.20'	40.16'	64.87'	S 60°56'51" W	287°43'30"
C11	55.00'	30.84'	15.89'	30.53'	N 08°41'44" E	321°34'44"
C12	55.00'	45.80'	24.32'	44.49'	N 31°16'33" W	47°42'51"
C13	55.00'	35.31'	18.29'	34.71'	N 73°31'36" W	36°47'15"
C14	55.00'	30.34'	15.57'	29.96'	S 72°16'36" W	31°36'20"
C15	55.00'	33.87'	17.49'	33.34'	S 38°49'50" W	35°17'11"
C16	55.00'	31.63'	16.27'	31.20'	S 04°42'40" W	32°57'09"
C17	55.00'	40.85'	21.42'	39.91'	S 33°02'28" E	42°33'08"
C18	55.00'	27.45'	14.02'	27.17'	S 68°36'58" E	28°35'53"
C19	30.00'	26.36'	14.10'	25.92'	N 57°44'51" W	50°20'05"
C20	370.00'	284.65'	149.79'	277.69'	S 54°37'12" E	44°04'47"
C21	370.00'	11.50'	5.75'	11.50'	S 33°28'13" E	14°46'48"
C22	370.00'	56.64'	28.38'	56.59'	S 38°44'46" E	8°46'16"
C23	370.00'	58.13'	29.13'	58.07'	S 47°37'57" E	9°00'06"
C24	370.00'	58.19'	29.15'	58.13'	S 56°38'19" E	9°00'38"
C25	370.00'	56.79'	28.45'	56.74'	S 65°32'28" E	8°47'40"
C26	370.00'	13.15'	6.58'	13.15'	S 70°57'24" E	2°02'11"
C27	370.00'	30.26'	15.14'	30.25'	S 74°19'02" E	4°41'07"
C28	30.00'	41.89'	25.17'	38.57'	N 36°39'31" W	80°00'10"
C29	422.00'	25.91'	12.96'	25.91'	S 01°35'02" W	331°04'44"
C30	478.00'	94.54'	47.42'	94.38'	N 05°28'27" E	11°19'55"

15' PRIVATE D.E.

LINE	BEARING	DISTANCE
* D4-D5	S 05°58'41" E	4.54'
# D5-D6	S 87°22'28" W	25.06'
D6-D7	N 64°08'02" W	222.21'
# D7-D8	N 55°53'45" W	171.58'
# D8-D9	N 26°42'42" W	133.85'
# D9-D10	N 15°54'02" E	97.33'
D10-D11	N 36°14'26" E	120.17'
# D11-D12	N 43°28'45" E	37.64'
# D12-D13	N 87°32'09" E	59.93'
# D13-D14	S 67°08'46" E	18.65'
# D14-D15	S 67°05'50" E	67.09'
D15-D16	S 53°58'12" E	49.08'
# D16-D17	S 49°54'28" E	44.98'
# D17-D18	S 33°47'00" E	115.05'
# D18-D19	S 37°06'52" E	39.51'
# D19-D20	S 54°01'14" E	61.51'
# D20-D21	S 21°28'35" E	26.72'
D21-D22	S 13°09'22" W	28.65'

* DENOTES TIE ONLY
DENOTES CHORD BEARING & DISTANCE



PLAT SHOWING
ZERO LOT LINE SUBDIVISION
DESIGNATED AS
**SECTION No. 3
"WEDGWOOD"**
PROPERTY OF
**STRAUSS DEVELOPMENT
CORPORATION**
BEING A
SUBDIVISION OF TRACT "A" (P.B. 27, PG. 109)
SITUATED ALONG EAST RUITAN ROAD
HOLLINS MAGISTERIAL DISTRICT
ROANOKE COUNTY, VIRGINIA

DATE: March 1, 2007
COMM. NO.: 04-336
SCALE: 1" = 50'
SHEET 2 OF 2

4664 BRAMBLETON AVENUE, SW
P.O. BOX 20669
ROANOKE, VIRGINIA 24018

PHONE: (540) 774-4411
FAX: (540) 772-9445
E-MAIL: MAIL@LUMSDENPC.COM

LUMSDEN ASSOCIATES, P.C.
ENGINEERS-SURVEYORS-PLANNERS
ROANOKE, VIRGINIA

RECORD PLAT

**"WEDGWOOD"
-SECTION 3-**
PREPARED FOR
STRAUSS DEVELOPMENT CORPORATION
HOLLINS MAGISTERIAL DISTRICT
ROANOKE COUNTY, VIRGINIA

NO.	DATE	DESCRIPTION
1		
2		
3		
4		
5		

DATE: MARCH 1, 2007
SCALE: NO SCALE
COMMISSION NO.: 04-336
SHEET 4 OF 11

PHONE: (540) 774-4411
FAX: (540) 772-9445
E-MAIL: MAIL@LUMSDENPC.COM

4664 BRAMBLETON AVENUE
P.O. BOX 20669
ROANOKE, VIRGINIA 24018