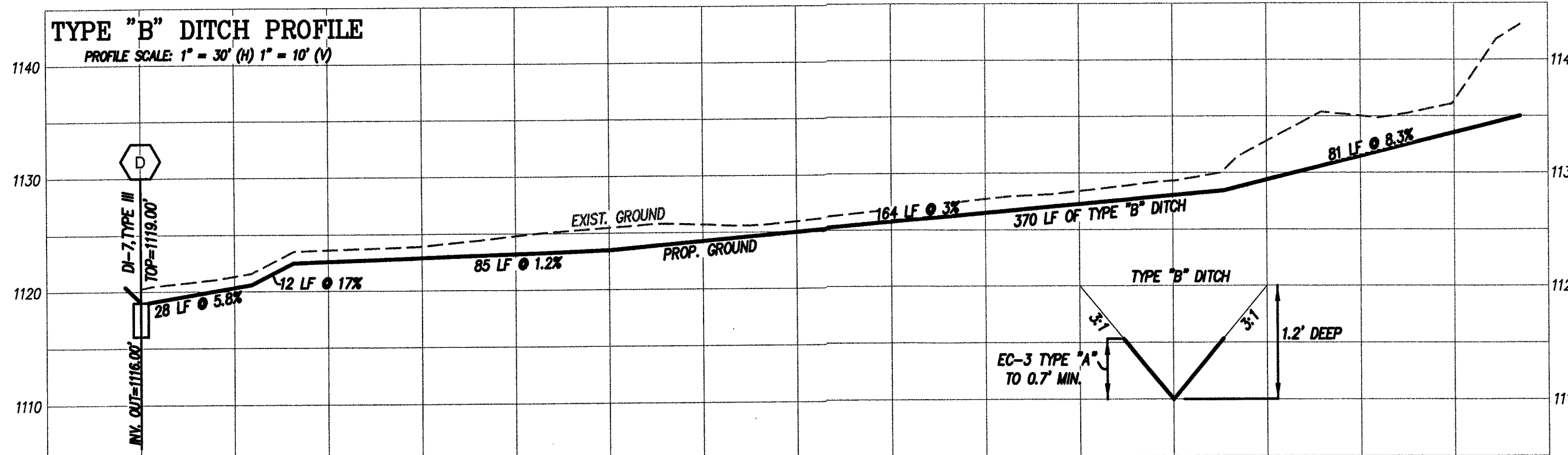
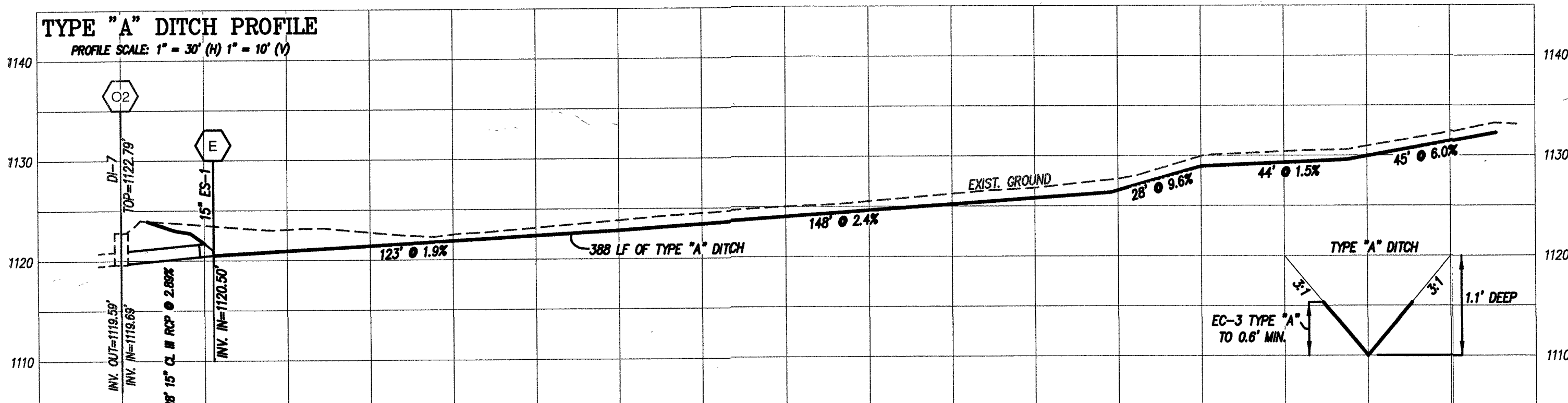
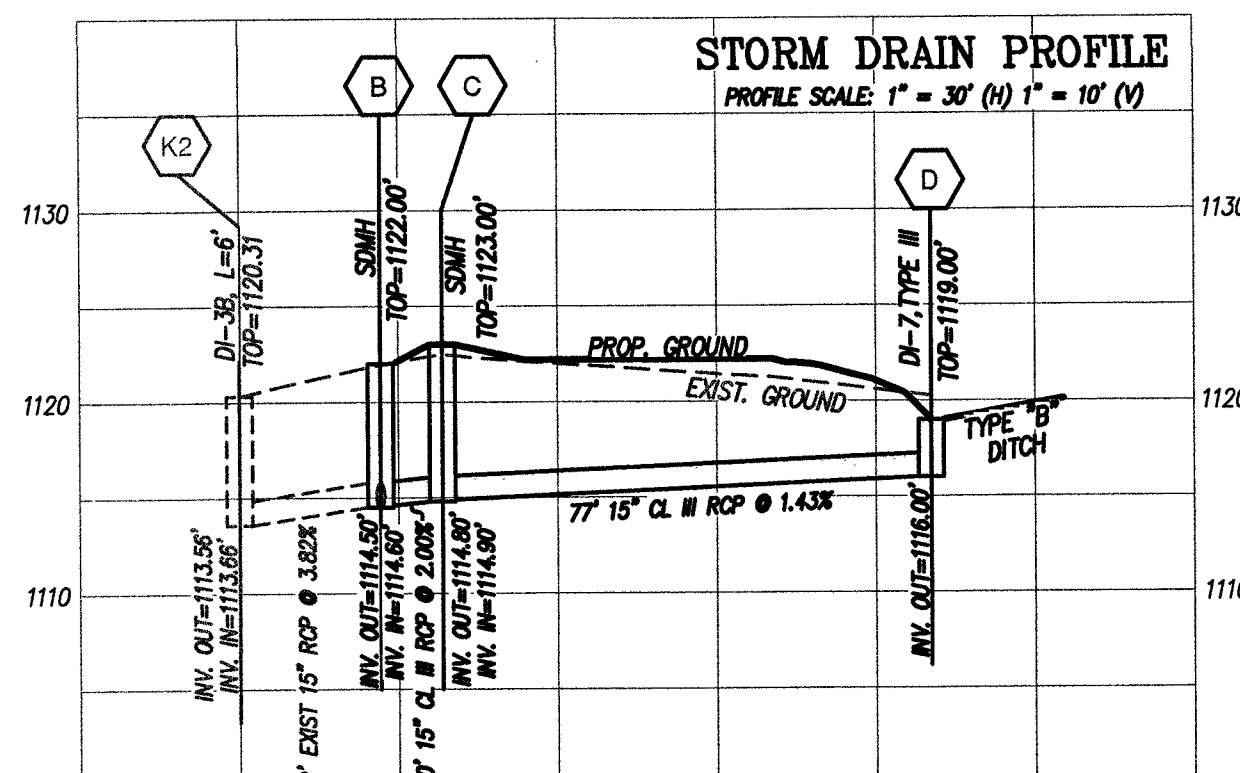
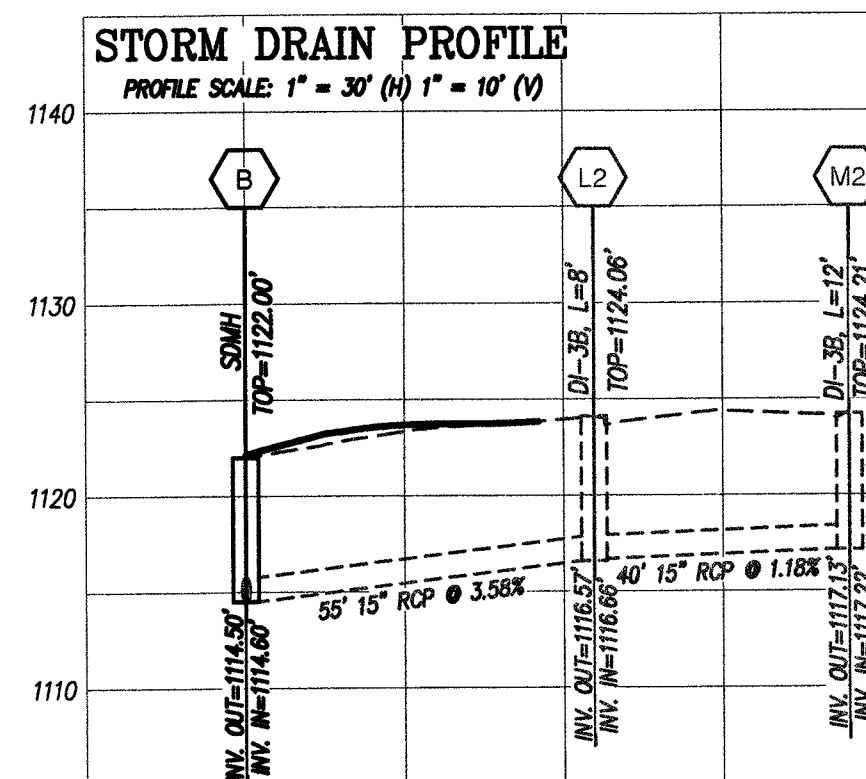


## CURB SHAPING NOTES:

1. PROVIDE 5' MINIMUM SMOOTH, TAPERED, AND CONTINUOUS TIE-INS TO ALL STRUCTURES PLACED ALONG ROLL TOP CURB INCLUDING DRAINAGE STRUCTURES AND HC ACCESS RAMPS.
2. AT CURB INLETS WARP GUTTER PAN TO MATCH CURB INLET OPENINGS.
3. ALL CURB INLETS SHALL HAVE VDOT STD. TYPE "A" NOSE.



## SITE AND ZONING TABULATIONS

CURRENT ZONING: R-1  
PROPOSED USE: SINGLE FAMILY DETACHED DWELLINGS - ZERO LOT LINE OPTION  
SITE AREA: 2.638 ACRES  
PROPOSED NUMBER OF LOTS: 12  
MINIMUM LOT AREA REQUIRED: 15,000 S.F. (ZERO LOT LINE OPTION = 20% REDUCTION IN LOT AREA)  
MINIMUM FRONTAGE REQUIRED: 48'  
MINIMUM REQUIRED SETBACKS:  
FRONT: 24'  
REAR: 20'  
SIDE YARD: 0' ON ONE SIDE AND 10' ON SIDE OPPOSITE THE ZERO SIDE LINE  
MAXIMUM HEIGHT ALLOWED: 45' (PRINCIPAL STRUCTURE)  
MAXIMUM BUILDING COVERAGE: 40%  
MAXIMUM LOT COVERAGE: 50%

## GENERAL NOTES

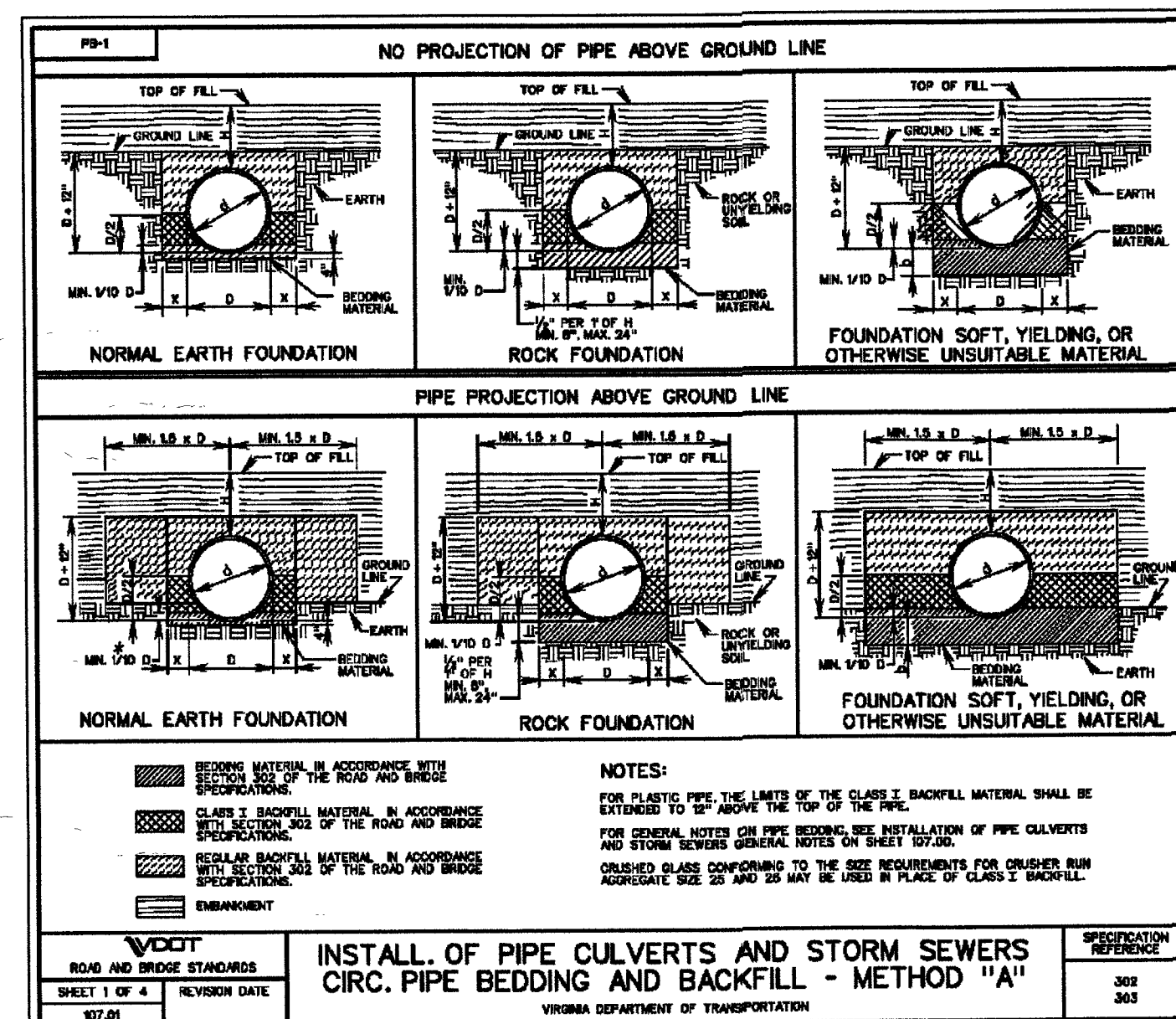
1. THE PROPERTY SHOWN ON THESE PLANS IS LOCATED ON ROANOKE COUNTY TAX ASSESSMENT MAP NUMBER 040.13-01-01.05
2. DEVELOPER: BOONE HOMES INC. (ATTN: ALEXANDER BOONE)  
3822 ELECTRIC RD. SUITE 1A  
ROANOKE, VA 24018  
(540) 278-1359
3. THE DEVELOPMENT SHOWN ON THESE PLANS SHALL BE SERVED BY WESTERN VIRGINIA WATER AUTHORITY WATER AND SANITARY SEWER.
4. THE PROPERTY ON THESE PLANS SHALL BE ACCESSED BY PUBLIC ROADS.
5. NO CONSTRUCTION/FIELD REVISIONS ARE ALLOWED WITHOUT THE APPROVAL OF THE CONSULTING ENGINEER, ROANOKE COUNTY, THE WESTERN VIRGINIA WATER AUTHORITY AND/OR THE VIRGINIA DEPARTMENT OF TRANSPORTATION.
6. ANY NEW ALIGNMENTS, CHANGES IN GRADES, ALTERNATE PIPE SIZES, MANHOLES, OR ESC MEASURES WILL REQUIRE A NEW SET OF PLANS STAMPED BY THE CONSULTING ENGINEER.
7. ANY TOPOGRAPHIC CHANGES FROM THE APPROVED PLANS MAY REQUIRE ADDITIONAL DRAINAGE STRUCTURES AND EASEMENTS AS DEEMED NECESSARY BY THE VIRGINIA DEPARTMENT OF TRANSPORTATION AND ROANOKE COUNTY.
8. ANY DEVIATIONS BETWEEN THE PROPOSED CONTOURS AND PLANS AND THE AS BUILT CONDITIONS MAY REQUIRE ADDITIONAL DRAINAGE STRUCTURES AND EASEMENTS.
9. IT SHALL BE THE RESPONSIBILITY OF THE DEVELOPER TO CLEAN OUT THE EXISTING STORM SEWER SYSTEM WITHIN EXISTING DEVELOPMENTS SHOULD THESE SYSTEMS BECOME SILENT OR BLOCKED IN ANY WAY DUE TO THE CONSTRUCTION OF THIS PROPOSED DEVELOPMENT.
10. THIS PROPERTY IS NOT LOCATED WITHIN THE LIMITS OF A SPECIAL FLOOD HAZARD AREA AS DESIGNATED BY FEMA. THIS OPINION IS BASED ON AN INSPECTION OF THE FLOOD INSURANCE RATE MAP AND HAS BEEN VERIFIED BY ACTUAL FIELD ELEVATIONS. SEE MAP #510230C460C, DATED DECEMBER 17, 2010, ZONE "X" (UNSHADED).

## CONSTRUCTION NOTES

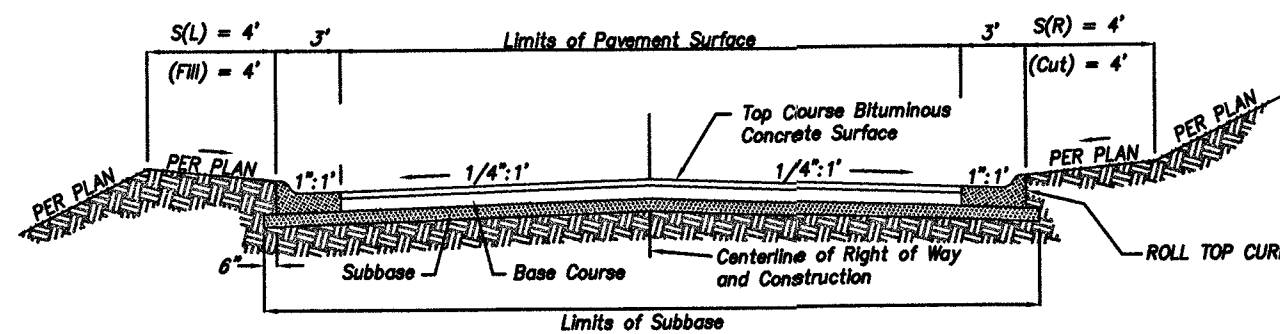
1. A PERMIT MUST BE OBTAINED FROM THE VDOT SALEM RESIDENCY OFFICE PRIOR TO CONSTRUCTION IN THE HIGHWAY RIGHT-OF-WAY.
2. ALL CONSTRUCTION SHALL CONFORM TO THE CURRENT COUNTY OF ROANOKE STANDARDS AND SPECIFICATIONS AND THE CURRENT EDITION OF VDOT'S ROAD AND BRIDGE STANDARDS.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE OWNER AND THE ENGINEER OF ANY CHANGES OR CONDITIONS ATTACHED TO PERMITS OBTAINED FROM ANY AUTHORITY ISSUING PERMITS.
4. THE CONTRACTOR SHALL VISIT THE SITE AND VERIFY EXISTING CONDITIONS PRIOR TO STARTING CONSTRUCTION.
5. THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL EXISTING UTILITIES PRIOR TO STARTING CONSTRUCTION.
6. SEE VDOT ROAD AND BRIDGE STANDARDS FOR CONCRETE, CURB AND STORM DRAINAGE DETAILS.
7. THE CONTRACTOR AND OR OWNER SHALL PROVIDE A STORAGE CONTAINER FOR TEMPORARY STORAGE AND DISPOSAL OF LAND CLEARANCE DEBRIS AND BUILDING MATERIALS. ON-SITE BURIAL OF MATERIAL SHALL NOT BE PERMITTED.

## GRADING NOTES

1. AREAS TO BE GRADED SHALL BE CLEARED OF ALL VEGETATION, STRUCTURES, AND OTHER PHYSICAL FEATURES IN PREPARATION OF GRADING OR AS SPECIFIED BY A GEOTECHNICAL ENGINEER/REPORT.
2. TOPSOIL SHALL BE REMOVED FROM THE CLEARED AREA AND TRANSPORTED TO AN APPROVED CUT/FILL SITE.
3. FILL MATERIAL SHALL BE FREE FROM ORGANIC MATTER OR AS SPECIFIED BY GEOTECHNICAL ENGINEER/REPORT AND ROCKS LARGER THAN 6 INCHES IN DIAMETER OR AS SPECIFIED BY GEOTECHNICAL ENGINEER/REPORT.
4. FILL MATERIAL SHALL BE PLACED AND COMPACTED IN EIGHT (8) INCH LOOSE LIFTS AND COMPACTED TO AT LEAST NINETY-FIVE (95) PERCENT OF THE MATERIAL'S MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D698, STANDARD PROCTOR OR AS SPECIFIED BY GEOTECHNICAL ENGINEER/REPORT. MAINTAIN MOISTURE CONTENT OF FILL MATERIAL WITHIN THREE (3) PERCENT OF OPTIMUM TO ATTAIN REQUIRED COMPACTION DENSITY OR AS SPECIFIED BY GEOTECHNICAL ENGINEER/REPORT.
5. A QUALIFIED GEOTECHNICAL ENGINEER, LICENSED IN THE STATE OF VIRGINIA, SHOULD BE CONSULTED CONCERNING SOIL STABILITY, SLOPE STABILIZATION, SOIL COMPACTION, TESTING, AND OTHER SOIL CHARACTERISTICS. LUMSDEN ASSOCIATES ASSUMES NO RESPONSIBILITY OR LIABILITY RELATING TO FAILURES RESULTING FROM SAME.



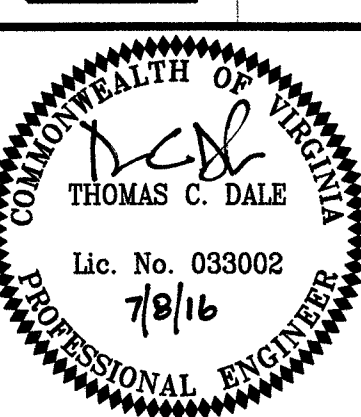
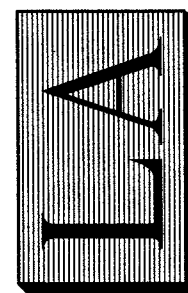
\* CLASS 1 SHALL BE CRUSHER RUN AGGREGATE, NO. 25 OR NO. 26 AGGREGATE BASE MATERIAL, SIZE 21A OR 21B, OR FLOWABLE FILL, NO. 57 AGGREGATE SHALL NOT BE USED.



PAVEMENT SPECIFICATIONS				
STREET NAME	FROM STATION TO STATION	CATEGORY	PAVEMENT WIDTH	PAVEMENT SPECIFICATION
MYSTIQUE COURT EXTENSION	STA 10+84 TO CUL DE SAC	1	24'	220 PSY ASPH. CONCRETE (2"), TYPE SM-9.5A 8" AGGREGATE BASE-21B, --- SEE NOTE BELOW

- NOTES:
1. THE SIZE 21B AGGREGATE SHALL BE PRIMED WITH APPROXIMATELY 0.35 GAL/S.Y. OF RC-250 ASPHALT AND COVERED WITH 16 TO 18 LBS/S.Y. OF SIZE 8-P AGGREGATE BEFORE PLACING OF THE SM-9.5A.
  2. THE PRELIMINARY PAVEMENT DESIGNS SHOWN ARE BASED ON A PREDICTED SUB-GRADE CBR VALUE OF 7.0 AND A RESILIENCY FACTOR (RF) OF 2.0 AS SHOWN IN APPENDIX I OF THE 2000 VIRGINIA DEPARTMENT OF TRANSPORTATION PAVEMENT DESIGN GUIDE FOR SUBDIVISION AND SECONDARY ROADS. THE SUB-GRADE SOIL IS TO BE TESTED BY AN INDEPENDENT LABORATORY AND THE RESULTS SUBMITTED TO THE VIRGINIA DEPARTMENT OF TRANSPORTATION PRIOR TO BASE CONSTRUCTION. SHOULD THE SUB-GRADE CBR VALUE AND/OR THE RF VALUE BE LESS THAN THE PREDICTED VALUES, ADDITIONAL BASE MATERIAL WILL BE REQUIRED IN ACCORDANCE WITH DEPARTMENTAL SPECIFICATIONS. REFER TO THE SAME MANUAL FOR THE NUMBER AND LOCATIONS OF THE REQUIRED SOIL SAMPLES TO BE TESTED. ALL PAVEMENT DESIGNS SHALL BE SUBMITTED TO THE DEPARTMENT FOR REVIEW AND APPROVAL. (CHANGE VALUES FOR EACH SPECIFIC LOCATION).
  3. THE SUB-GRADE SHALL BE APPROVED BY THE VIRGINIA DEPARTMENT OF TRANSPORTATION PRIOR TO THE PLACEMENT OF THE BASE. BASE SHALL BE APPROVED BY THE VIRGINIA DEPARTMENT OF TRANSPORTATION FOR DEPTH, TEMPLATE, AND COMPACTION BEFORE SURFACE IS APPLIED.

LUMSDEN ASSOCIATES, P.C.  
ENGINEERS-SURVEYORS-PLANNERS  
ROANOKE, VIRGINIA



NOTES, DETAILS  
AND PROFILES

"WEDGWOOD"  
SECTION 4  
PREPARED FOR  
MAVEN INVESTMENTS, LLC  
HOLLIS MAGISTERIAL DISTRICT  
ROANOKE COUNTY, VIRGINIA

REVISIONS		DESCRIPTION
NO.	DATE	DESCRIPTION
1	7/9/16	REVISED DOWNSPOUT DISCONNECTION AND CONTECH CDS DETAILS & PROFILE.
2		
3		
4		
5		

DATE: June 2, 2016  
SCALE: 1" = 30'  
COMMISSION NO.: 15-121  
SHEET 2 OF 7

APPROVED