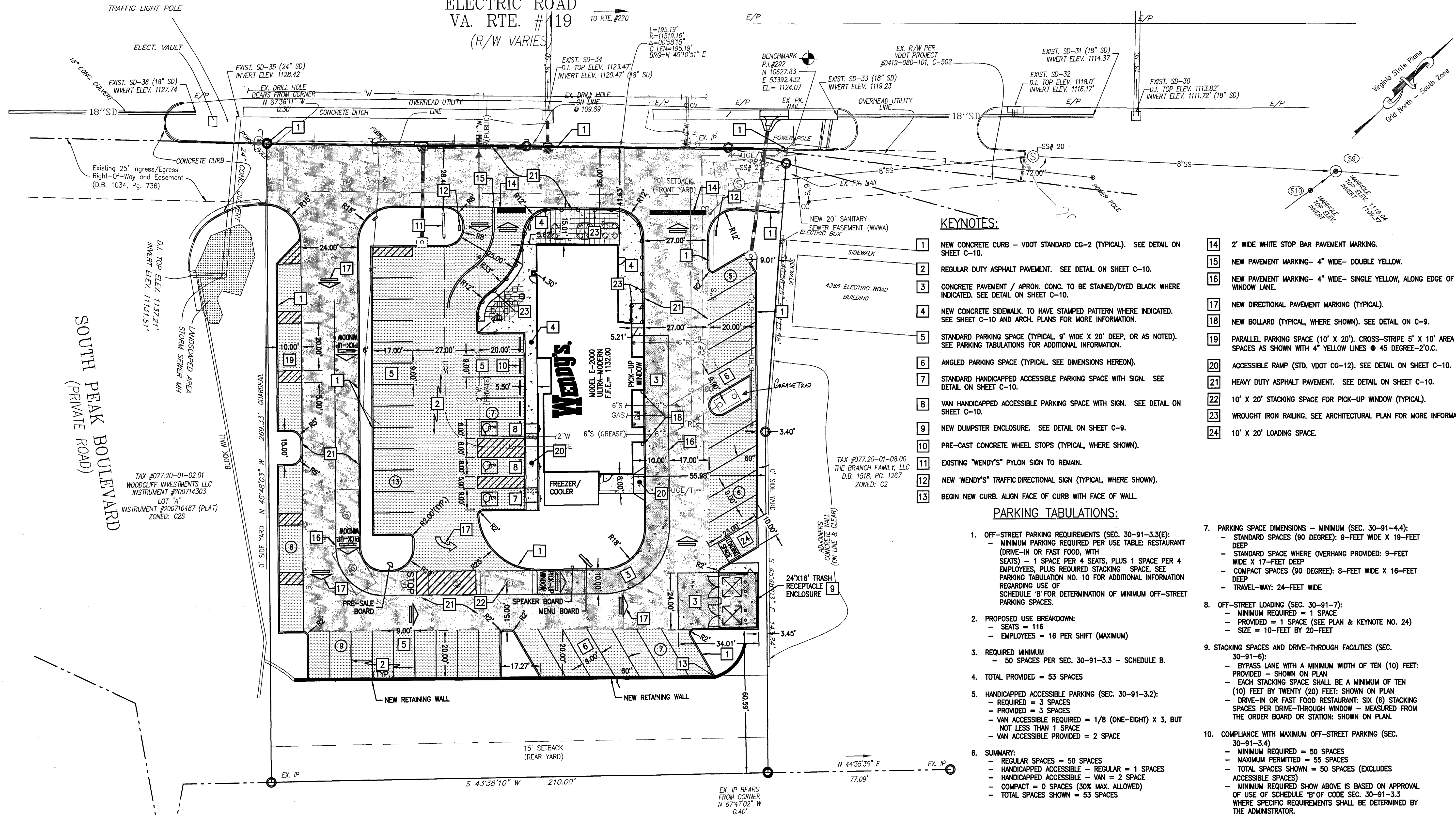


ELECTRIC ROAD
VA. RTE. #419
(R/W VARIES)

TO RTE. #220



SITE TABULATIONS:

- TAX PARCEL NUMBER: 077.20-01-06.00-0000
- SITE ADDRESS:
4385 ELECTRIC ROAD
ROANOKE, VA
- PROPERTY OWNER:
TWO BOYS REALTY, LLC
5010 CELL TOWER DRIVE
ROANOKE, VA 24018
DEED INSTRUMENT NO. 201010891
- SITE AREA = 1.298 ACRES (PLAT INST. NO. 201006444)
ZONING: C2 - GENERAL COMMERCIAL DISTRICT, WITH SPECIAL USE PERMIT TO INCREASE A DRIVE-IN OR FAST FOOD RESTAURANT BY MORE THAN TEN PERCENT (10%) - ORDINANCE NO. 052813-8 - APPROVED 5/31/2013.
- OVERLAY ZONING DISTRICTS: NONE
- LAND USE:
CURRENT USE: RESTAURANT, DRIVE-IN AND FAST FOOD, AND COMMERCIAL BUILDING (BOTH TO BE DEMOLISHED)
PROPOSED USE: RESTAURANT, DRIVE-IN AND FAST FOOD
- BUILDING AREA:
EXISTING BUILDINGS TO BE DEMOLISHED
PROPOSED BUILDING (INCL. FREEZER) = 3,905 S.F. (GROSS)
PROPOSED BUILDING STANDARDS (SEC. 30-54-3):
A. LOT AREA:
MINIMUM = 15,000 S.F.
ACTUAL = 56,437 S.F.
- LOT FRONTAGE:
MINIMUM = 75 FEET
ACTUAL = 195 FEET
- FRONT YARD:
MINIMUM = 20 FEET (PARKING BEHIND FRONT OF BUILDING) (SHOWN ON PLAN)
- SIDE YARDS:
MINIMUM = 0 FEET (NOT PLOTTABLE)
- REAR YARD:
MINIMUM = 15- FEET (PRINCIPAL STRUCTURE)
MINIMUM = 3- FEET (ACCESSORY STRUCTURE) (SHOWN ON PLAN)
- BUILDING HEIGHT:
MAXIMUM = UNLIMITED
ACTUAL = 17.5 FEET (NOMINAL)
ACTUAL = 24.0 FEET (TOP OF FRONT PARAPET)
- BUILDING COVERAGE:
MAXIMUM = 50 - PERCENT
ACTUAL = 6.9 - PERCENT
- LOT COVERAGE:
MAXIMUM = 90-PERCENT
ACTUAL = 71.8-PERCENT
- ADJOINING LAND USE & ZONING: AS NOTED ON PLAN SHEET C-2 & C-3.

LEGEND:

- REGULAR DUTY PAVEMENT (SEE DETAIL ON SHEET C-10) [2]
- CONCRETE SIDEWALK/CONCRETE PAVEMENT (SEE DETAIL ON SHEET C-10) [3/4]
- CONCRETE SIDEWALK WITH STAMPED PATTERN (SEE SHEET C-10 AND ARCH. PLANS FOR MORE INFORMATION) [4]
- CONCRETE PAVEMENT, STAINED/DYED BLACK (SEE DETAIL ON SHEET C-10) [3]
- HEAVY DUTY PAVEMENT (SEE DETAIL ON SHEET C-10) [21]

① NUMBER OF PARKING SPACES PER ROW

KEYNOTES:

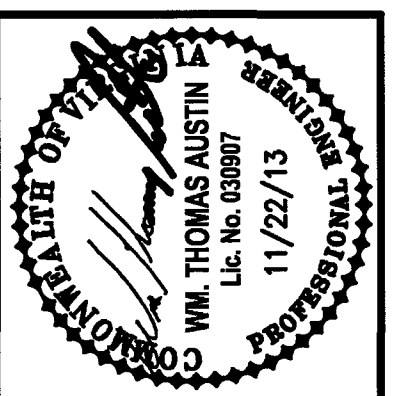
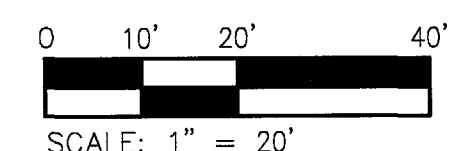
- NEW CONCRETE CURB - VDOT STANDARD CG-2 (TYPICAL). SEE DETAIL ON SHEET C-10.
- REGULAR DUTY ASPHALT PAVEMENT. SEE DETAIL ON SHEET C-10.
- CONCRETE PAVEMENT / APRON. CONC. TO BE STAINED/DYED BLACK WHERE INDICATED. SEE DETAIL ON SHEET C-10.
- NEW CONCRETE SIDEWALK. TO HAVE STAMPED PATTERN WHERE INDICATED. SEE SHEET C-10 AND ARCH. PLANS FOR MORE INFORMATION.
- STANDARD PARKING SPACE (TYPICAL. 9' WIDE X 20' DEEP, OR AS NOTED). SEE PARKING TABULATIONS FOR ADDITIONAL INFORMATION.
- ANGLED PARKING SPACE (TYPICAL. SEE DIMENSIONS HEREON).
- STANDARD HANDICAPPED ACCESSIBLE PARKING SPACE WITH SIGN. SEE DETAIL ON SHEET C-10.
- VAN HANDICAPPED ACCESSIBLE PARKING SPACE WITH SIGN. SEE DETAIL ON SHEET C-10.
- NEW DUMPSTER ENCLOSURE. SEE DETAIL ON SHEET C-9.
- PRE-CAST CONCRETE WHEEL STOPS (TYPICAL, WHERE SHOWN).
- EXISTING "WENDY'S" PYLON SIGN TO REMAIN.
- NEW "WENDY'S" TRAFFIC DIRECTIONAL SIGN (TYPICAL, WHERE SHOWN).
- BEGIN NEW CURB. ALIGN FACE OF CURB WITH FACE OF WALL.
- 2' WIDE WHITE STOP BAR PAVEMENT MARKING.
- NEW PAVEMENT MARKING- 4" WIDE- DOUBLE YELLOW.
- NEW PAVEMENT MARKING- 4" WIDE- SINGLE YELLOW, ALONG EDGE OF PICK-UP WINDOW LANE.
- NEW DIRECTIONAL PAVEMENT MARKING (TYPICAL).
- NEW BOLLARD (TYPICAL, WHERE SHOWN). SEE DETAIL ON C-9.
- PARALLEL PARKING SPACE (10' X 20'). CROSS-STRIPE 5' X 10' AREA BETWEEN SPACES AS SHOWN WITH 4" YELLOW LINES @ 45 DEGREE-2" O.C.
- ACCESSIBLE RAMP (STD. VDOT CG-12). SEE DETAIL ON SHEET C-10.
- HEAVY DUTY ASPHALT PAVEMENT. SEE DETAIL ON SHEET C-10.
- 10' X 20' STACKING SPACE FOR PICK-UP WINDOW (TYPICAL).
- WROUGHT IRON RAILING. SEE ARCHITECTURAL PLAN FOR MORE INFORMATION.
- 10' X 20' LOADING SPACE.

PARKING TABULATIONS:

- OFF-STREET PARKING REQUIREMENTS (SEC. 30-91-3.3(E)):
 - MINIMUM PARKING REQUIRED PER USE TABLE: RESTAURANT (DRIVE-IN OR FAST FOOD, WITH SEATS) - 1 SPACE PER 4 SEATS, PLUS 1 SPACE PER 4 EMPLOYEES, PLUS REQUIRED STACKING SPACE. SEE PARKING TABULATION NO. 10 FOR ADDITIONAL INFORMATION REGARDING USE OF SCHEDULE "B" FOR DETERMINATION OF MINIMUM OFF-STREET PARKING SPACES.
- PROPOSED USE BREAKDOWN:
 - SEATS = 116
 - EMPLOYEES = 16 PER SHIFT (MAXIMUM)
- REQUIRED MINIMUM:
 - 50 SPACES PER SEC. 30-91-3.3 - SCHEDULE B.
- TOTAL PROVIDED = 53 SPACES
- HANDICAPPED ACCESSIBLE PARKING (SEC. 30-91-3.2):
 - REQUIRED = 3 SPACES
 - PROVIDED = 3 SPACES
 - VAN ACCESSIBLE REQUIRED = 1/8 (ONE-EIGHT) X 3, BUT NOT LESS THAN 1 SPACE
 - VAN ACCESSIBLE PROVIDED = 2 SPACE
- SUMMARY:
 - REGULAR SPACES = 50 SPACES
 - HANDICAPPED ACCESSIBLE - REGULAR = 1 SPACES
 - HANDICAPPED ACCESSIBLE - VAN = 2 SPACE
 - COMPACT = 0 SPACES (30% MAX. ALLOWED)
 - TOTAL SPACES SHOWN = 53 SPACES
- PARKING SPACE DIMENSIONS - MINIMUM (SEC. 30-91-4.4):
 - STANDARD SPACES (90 DEGREE): 9- FEET WIDE X 19- FEET DEEP
 - STANDARD SPACE WHERE OVERHANG PROVIDED: 9- FEET WIDE X 17- FEET DEEP
 - COMPACT SPACES (90 DEGREE): 8- FEET WIDE X 16- FEET DEEP
 - TRAVEL-WAY: 24- FEET WIDE
- OFF-STREET LOADING (SEC. 30-91-7):
 - MINIMUM REQUIRED = 1 SPACE
 - PROVIDED = 1 SPACE (SEE PLAN & KEYNOTE NO. 24)
 - SIZE = 10- FEET BY 20- FEET
- STACKING SPACES AND DRIVE-THROUGH FACILITIES (SEC. 30-91-6):
 - BYPASS LANE WITH A MINIMUM WIDTH OF TEN (10) FEET: PROVIDED - SHOWN ON PLAN
 - EACH STACKING SPACE SHALL BE A MINIMUM OF TEN (10) FEET BY TWENTY (20) FEET: SHOWN ON PLAN
 - DRIVE-IN OR FAST FOOD RESTAURANT: SIX (6) STACKING SPACES PER DRIVE-THROUGH WINDOW - MEASURED FROM THE ORDER BOARD OR STATION: SHOWN ON PLAN.
- COMPLIANCE WITH MAXIMUM OFF-STREET PARKING (SEC. 30-91-3.4):
 - MINIMUM REQUIRED = 50 SPACES
 - MAXIMUM PERMITTED = 55 SPACES
 - TOTAL SPACES SHOWN = 50 SPACES (EXCLUDES ACCESSIBLE SPACES)
 - MINIMUM REQUIRED SHOW ABOVE IS BASED ON APPROVAL OF USE OF SCHEDULE "B" OF CODE SEC. 30-91-3.3 WHERE SPECIFIC REQUIREMENTS SHALL BE DETERMINED BY THE ADMINISTRATOR.

GENERAL NOTES:

- UNLESS OTHERWISE NOTED, ALL DIMENSIONS (LINEAR AND RADIAL) ARE TO FACE OF CURB (FC) OR EDGE OF PAVEMENT (EP).
- REFER TO ARCHITECTURAL PLANS FOR BUILDING LAYOUT AND DIMENSIONS.
- IN ACCORDANCE WITH ROANOKE COUNTY ZONING ORDINANCE SECTION 30-91-4.4, ALL PARKING SPACES SHOWN SHALL BE 9- FEET WIDE X 19- FEET DEEP (UNLESS OTHERWISE INDICATED AND WHERE PERMITTED BY CODE) AND SHALL BE DELINEATED WITH A 4- INCH WIDE PAINTED WHITE STRIPE AS SHOWN HEREON. WHERE PARKING SPACES ARE ADJACENT TO A PLANTING ISLAND OR OTHER PHYSICAL SEPARATION (BUT NOT A SIDEWALK), THE PAVED DEPTH OF ALL STALLS MAY BE DECREASED BY TWO (2) FEET TO PROVIDE FOR A VEHICLE OVERHANG AREA.
- ALL PARKING LOT AREA AND TRAVELWAYS NOT INDICATED TO BE PAVED WITH HEAVY DUTY PAVEMENT SHALL BE PAVED WITH REGULAR DUTY PAVEMENT.
- ALL GROUND LEVEL AND ROOF TOP MECHANICAL EQUIPMENT SHALL BE SCREENED OR LANDSCAPED PER SECTION 30-92-5 OF THE ROANOKE COUNTY ZONING ORDINANCE. GROUND-LEVEL MECHANICAL EQUIPMENT IS SHOWN HERE ON TO THE EXTENT KNOWN.
- IN ACCORDANCE WITH ROANOKE COUNTY ZONING ORDINANCE SECTION SEC. 30-94, ALL EXTERIOR LIGHTING FIXTURES SHALL BE DESIGNED, LOCATED AND ARRANGED SO AS NOT TO DIRECT GLARE ON ADJOINING STREETS OR RESIDENTIAL PROPERTIES. THE INTENSITY AT ADJOINING STREETS OR RESIDENTIAL PROPERTIES SHALL NOT EXCEED 0.5 FOOT CANDLES.
- ALL PROPOSED SIGNS SHALL COMPLY WITH SECTION 30-93 OF THE ROANOKE COUNTY ZONING ORDINANCE. NO SIGN MAY BE ERRECTED OR DISPLAYED WITHOUT AN APPROVED SIGN PERMIT (EXCEPT AS PROVIDED IN SECTION 30-93-3).
- THIS DEVELOPMENT PROPOSES OR RESULTS IN NO SUBDIVISION OR COMBINATION OF PARCELS.
- ACCESS TO THE SUBJECT PROPERTY FROM ADJOINING PUBLIC STREETS IS PROVIDED BY EXISTING 25' INGRESS/EGRESS RIGHT-OF-WAY AND EASEMENT RECORDED IN DEED BOOK NO. 1034, PAGE 736.
- ALL REFUSE SERVICE (DUMPSTERS/CONTAINERS) AND OUTDOOR STORAGE AREAS IN ALL ZONING DISTRICTS SHALL BE SCREENED FROM SURROUNDING VIEWS PER SECTION 30-92-5 AND AS SHOWN IN THE ROANOKE COUNTY DESIGN HANDBOOK. HEIGHT OF SCREENING MUST BE A MINIMUM OF SIX (6) FEET.



Date	Revisions
12/18/13	1 FIRST REVIEW COMMENTS
01/22/14	2 SUBMITTED FOR APPROVAL STAMP

Issue Date: NOV. 22, 2013
Drawn By: RWA
Designed By: RWA
Checked By: WTA
Date: 11/22/13

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SITE DEVELOPMENT PLANS
NEW WENDY'S - ROANOKE, VIRGINIA
SITE PLAN
ROANOKE, VIRGINIA

Vertical Scale:
Horizontal Scale:
1" = 20'
Commission Number:
3361
Sheet No.:
C-3