

1. BEDDING, HAUNCHING AND INITIAL BACKFILL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE DETAIL AND MANUFACTURER'S RECOMMENDATION FOR THE SPECIFIC TYPE OF PIPE.

2. ALL PVC PIPE SHALL BE INSTALLED IN COMPACTED VDOT #6 OR #8 SUBGRADE.

3. IN VDOT ROAD, THE CONTRACTOR SHALL REFLECT THE OPEN CUT WITH A MINIMUM TOP COURSE OF 1" MINIMUM VDOT #8-4.5, BASE COURSE OF 2" VDOT #10-20, AND SUBBASE OF 10" VDOT #10, OR AS REQUIRED BY VDOT. IN ROWNAKE CITY, CONTRACTOR SHALL REPLACE PAYMENT AS REQUIRED BY CITY OF ROWNAKE RIGHT OF WAY EXCAVATION AND RESTORATION STANDARDS, LATEST EDITION.

4. ALL CONSTRUCTION WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE AS SPECIFIED BY VDOT OR APPLICABLE LOCALITY.

5. PRIOR TO CONSTRUCTION, CONTRACTOR IS RESPONSIBLE FOR SECURING ALL REQUIRED PERMITS FROM VDOT AND/OR APPLICABLE LOCALITY.

6. IN AREAS SUBJECTED TO VEHICULAR TRAFFIC, BEDDING STONE AND FILL SHALL BE PLACED IN MINIMUM 10' LIFTS.

7. DETAIL AND MANUFACTURER'S RECOMMENDATION FOR THE SPECIFIC TYPE OF PIPE SHALL BE USED.

8. ALL SEWER LINE PIPE SHALL BE BEDDED IN COMPACTED GRANULAR MATERIAL.

9. REQUIREMENTS FOR BACKFILL TOLERANCE ARE DEPENDENT ON MANUFACTURER'S BEDDING CRITERIA.

10. BENCHMARK ON EACH SIDE OF PAYMENT CITY OF ROWNAKE 12" VDOT #10-20, TRILLY-2.

11. ALL EXCAVATIONS SHALL COMPLY WITH 2016 OSHA MANUAL, CHAPTER 7, TYPICAL EXCAVATIONS.

12. HAZARD RECOGNITION, IDENTIFICATION AND SHORING.

13. THE TRACER WIRE SHALL BE PLACED ALONG THE LOWER QUADRANT OF THE PIPE. THE WIRE SHALL NOT TOUCH THE PIPE, BUT SHALL BE A MAXIMUM OF 1" FROM THE PIPE. NO ADDITIONAL SPACERS MAY BE USED TO MAINTAIN A SET DISTANCE FROM THE UTILITY.

EXISTING PAVEMENT SECTION

LIMITS OF OPEN CUT

PIPE DIA. 12" EACH BID

BM-5.0 SURFACE  
BM-2.0 BASE  
21B SUBBASE

BACKFILL ONLY WITH APPROVED MATERIAL PER APPLICABLE LOCALITY OR VDOT STANDARDS

PIPE SIZE & MATERIAL AS SHOWN ON PLAN

SEE BEDDING NOTE BELOW

6" OR ROCK (CONDITIONS)

WIDTH OF TRENCH EXCAVATION

NON-DETECTABLE WARNING TAPES TO 12" MIN. THICKNESS, TO BE INSTALLED APPROX. 24" ABOVE AND 24" BELOW GRADE (ALL PIPE)

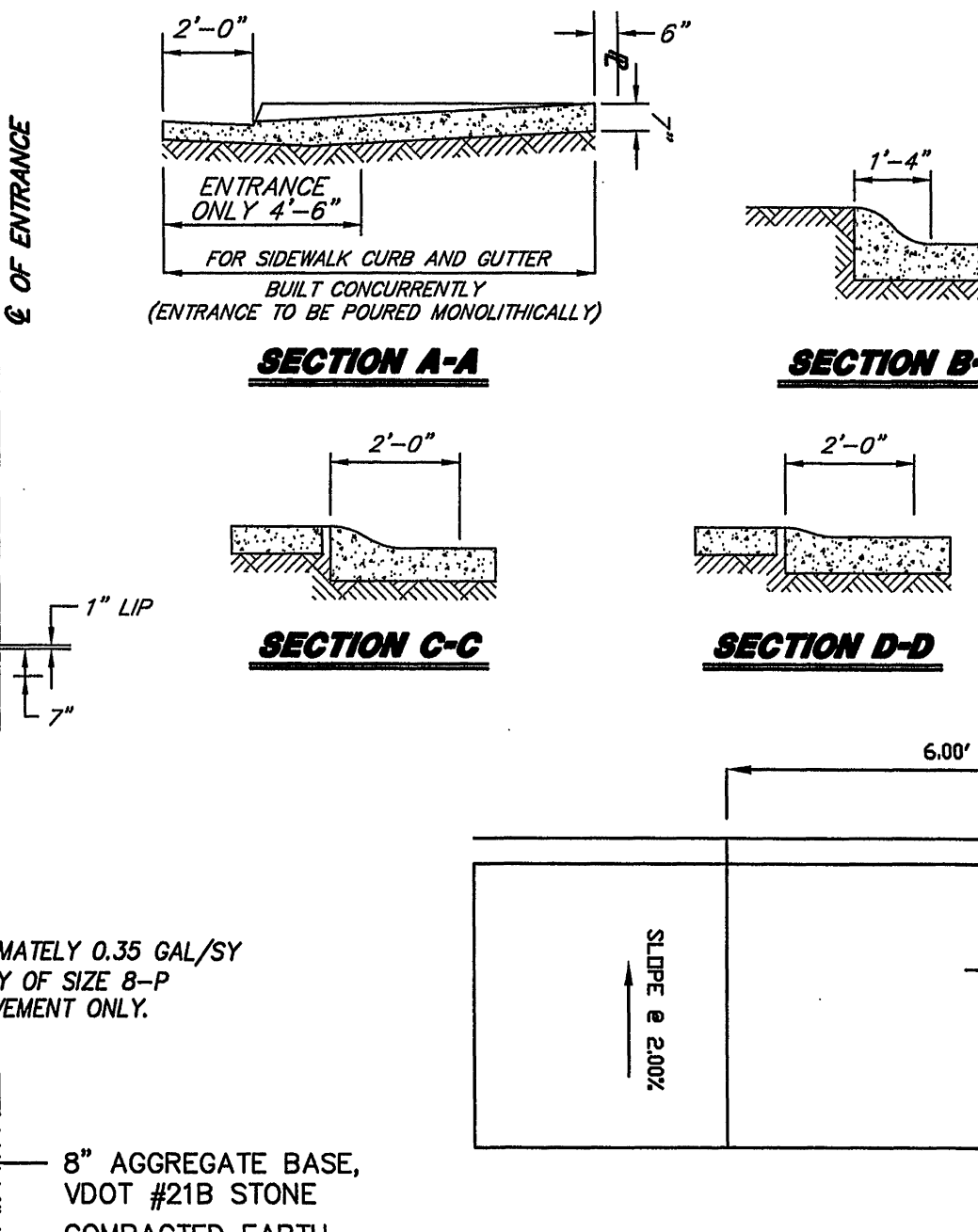
DEPTH VARIES

LOCATION OF TRACE WIRE WITH NON-METALLIC PRESSURE PIPE. TRACERS WERE NOT REQUIRED FOR TYPICAL GRAVITY SANITARY SEWER. SEE DETAIL 04.

BEDDING, FOR TRENCHES, INSTALL BEDDING STONE TO SPECIFIC GRADE AT MINIMUM, OR PER MANUFACTURER'S RECOMMENDATION, FOR SEWER LINES, BEDDING SHALL BE MINIMUM 6" ABOVE PIPE.

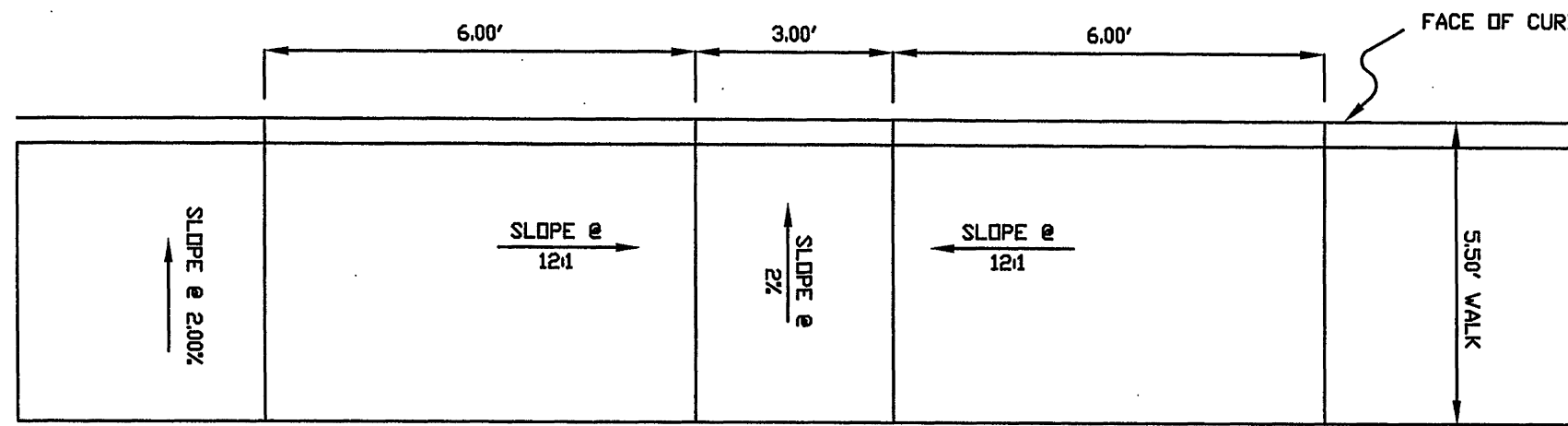
WESTERN VIRGINIA REGIONAL - CONSTRUCTION DETAIL

BEDDING AND BACKFILL UNDER PAVEMENT AND IN RIGHT-OF-WAY

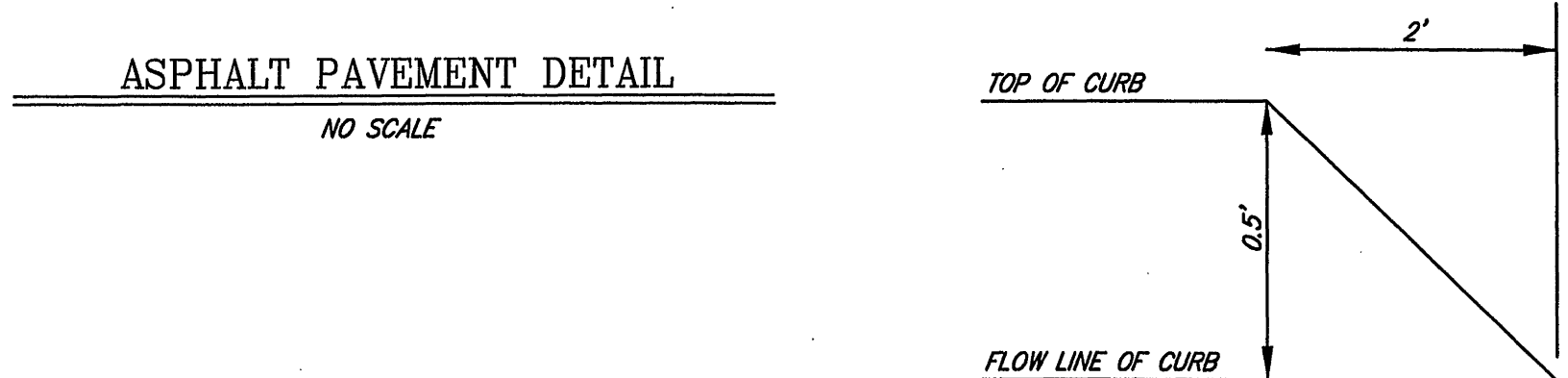


1. Standard commercial "Entrances shall have a minimum curb radius (R) of 7 1/2 feet.
- 1A. Minimum Entrance width to be 12 feet.
2. Where curb and gutter already exists both curb & gutter shall be removed. If proposed entrance falls within five (5) feet of an existing joint removal & reconstruction shall be to that joint. Any concrete removed at other than an existing joint shall be cut with a mechanical saw and replaced with new construction for a minimum of two (2) feet up to street pavement.
3. Where sidewalk exists or is to be constructed across driveway the thickness thereof must correspond with the thickness of the entrance.
4. Whenever "Entrances" exceeds twenty-four (24) feet in width a 1/2" pre molded expansion joint filler shall be installed through the center perpendicular to flow line.
5. Finish "Entrances" shall have a "course broom finish" running parallel to flow line.
6. Curing seal to be accomplished by the use of a liquid membrane seal containing white pigment applied at the rate of one (1) gallon per square yard.
7. All "Entrance Ways" shall be constructed according to City of Roanoke specifications and to lin and grades established by the City Engineering Department.
8. Entrances exceeding 30 feet in width shall be approved by the City Manager.

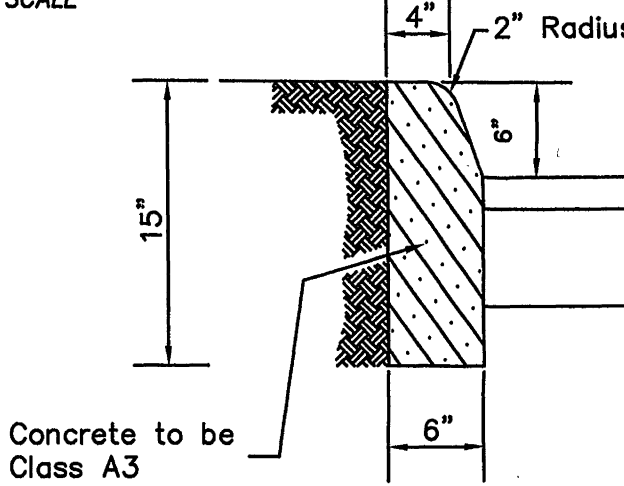
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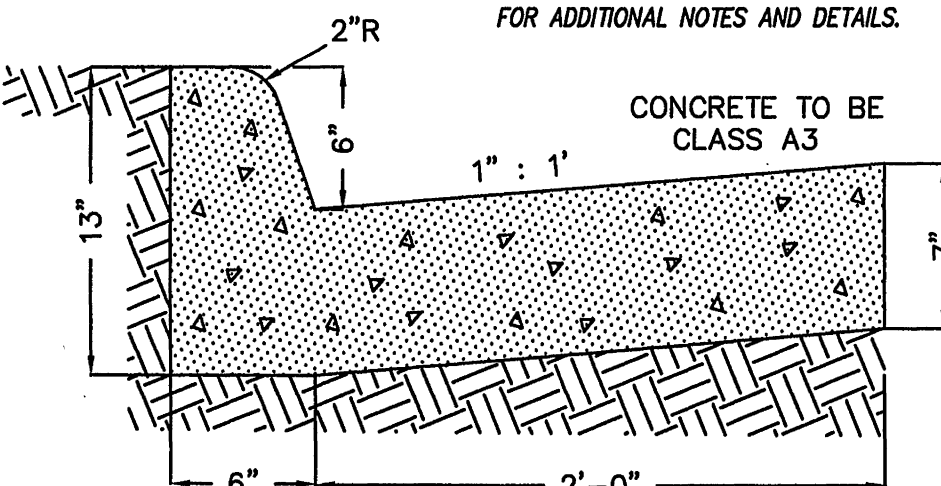
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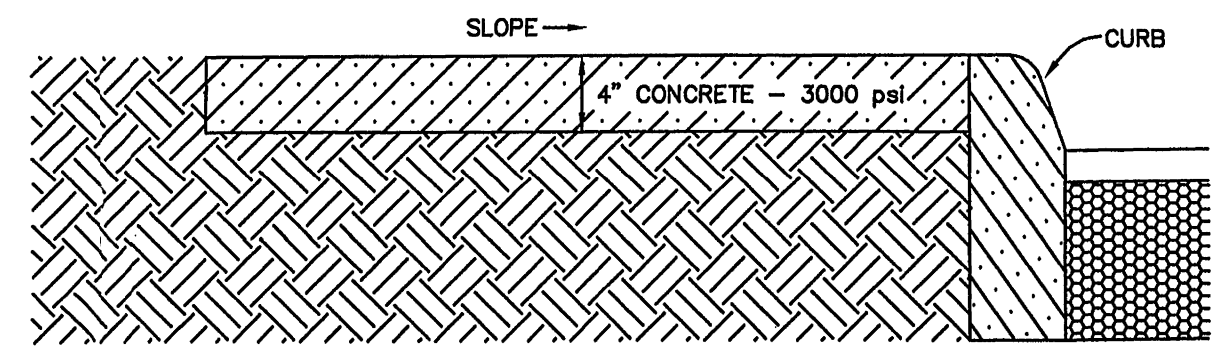
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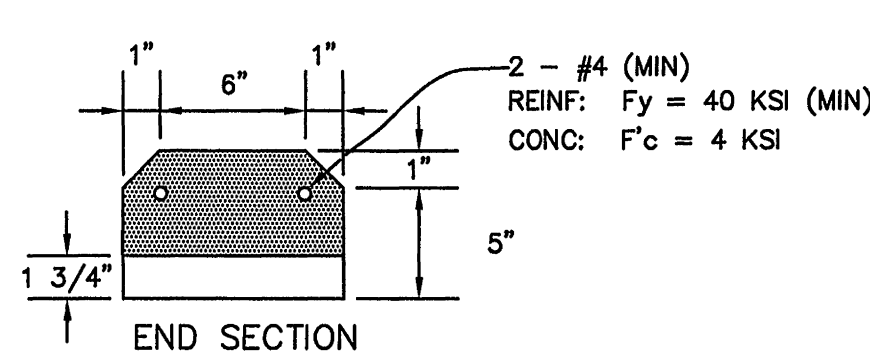
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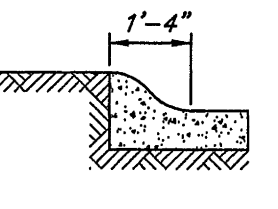
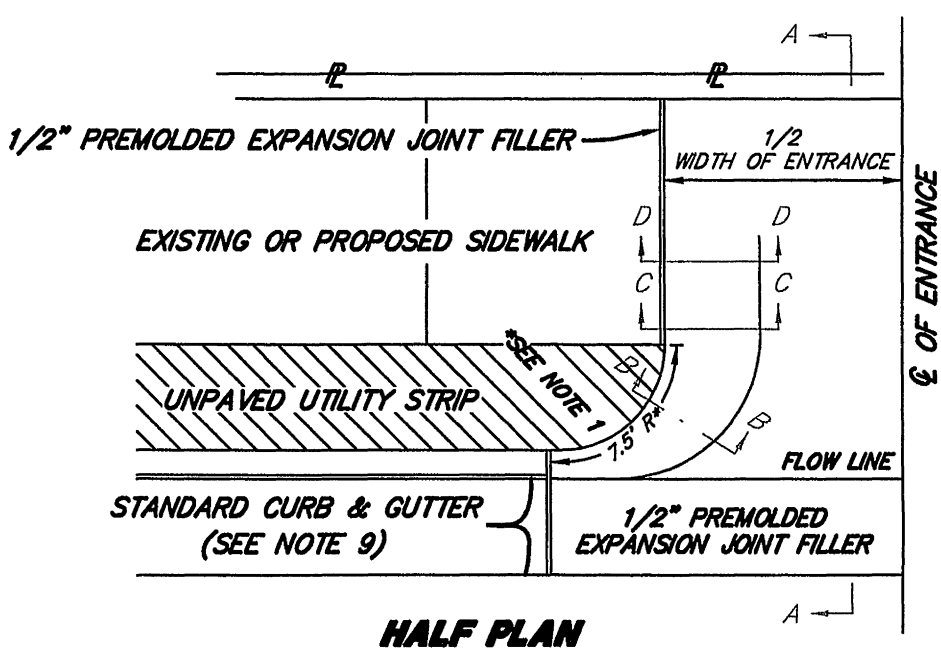


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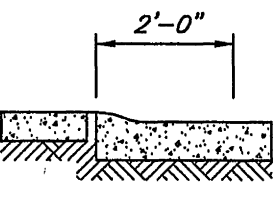
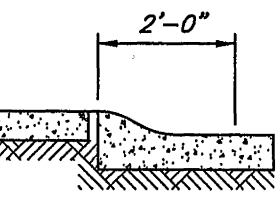


NOTE: INSTALL WHEEL STOP 3' FROM FACE OF CURB  
CONCRETE WHEEL STOP

1. Standard commercial "Entrances" shall have a minimum curb radius (R) of 7 1/2 feet. Due to the location of the existing power poles, the radius on the western side of the proposed entrance shall be reduced to 5.5'
- 1A. Minimum Entrance width to be 12 feet.
2. Where curb & gutter already exists both curb & gutter shall be removed. If proposed entrance falls within five (5) feet of an existing joint removal & reconstruction shall be to that joint. Any concrete removed after than an existing joint shall be cut with a mechanical saw specifically manufactured for that purpose; this also shall apply to street pavement.
3. Where sidewalk exists adjacent to constructed across driveways the thickness thereof must correspond with the thickness of the entrance.
4. Whenever "Entrances" exceeds twenty-four (24) feet in width a 1/2" premoled expansion joint filler shall be installed through the center perpendicular to flow line.
5. Finish "Entrances" shall have a "course broom finish" running parallel to flow line.
6. Curing shall be accomplished by the use of a liquid membrane seed containing white pigment applied at the rate of one (1) gallon per 150 square feet.
7. All "Entrance Ways" shall be constructed according to City of Roanoke specifications and to line and grades established by the City Engineering Department.
8. Entrances exceeding 30 feet in width shall be approved by the City Manager.
9. Construction of the curb and gutter is not required in the gravel alley.



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**MODIFIED  
CITY OF ROANOKE COMMERCIAL  
"ENTRANCE" STANDARD**

PROPOSED USE: FINANCIAL CENTER (FREEDOM FIRST CREDIT UNION), RESOURCE OFFICE, COMMUNITY ROOM, & FUTURE WORKSHOP.\*  
\*FUTURE WORKSHOP WILL INCLUDE A COMMUNITY KITCHEN THAT WILL REQUIRE A SPECIAL EXCEPTION WHEN CONSTRUCTED.  
SITE ACREAGE: TM# 1213503 = 0.1498 ACRES / TM# 1213504 = 0.1554 ACRES / TM# 1213505 = 0.1595 ACRES (0.4647 AC.)

MIN LOT AREA = 5,000 SF	
MIN LOT FRONTAGE = NONE. MAXIMUM LOT FRONTAGE = 200'	
FRONT YARD = NO MIN. / 10' MAX FRONT YARD	
MIN REAR & SIDE YARD = NONE	
MAX BUILDING FOOTPRINT = 15,000 S.F.	PROPOSED = 3005 S.F. (BLDG.) , 996 S.F. (MARKET AREA)
MIN. GROUND FLOOR FACADE TRANSPARENCY REQUIRED = 50% OR (250 SF ALONG SIDE OF BUILDING FACING PATTERSON AVE.)	
MIN. GROUND FLOOR FACADE TRANSPARENCY PROVIDED = 250 SF	
MAX HEIGHT ALLOWED = 45'	PROPOSED = 26' 1"
MAX FLOOR AREA RATIO = 5	PROPOSED FLOOR AREA RATIO = 1.6
MAX IMPERVIOUS SURFACE AREA = 100%	PROPOSED = 70%
<b>REQUIRED PARKING</b>	
PROP. BANK = 773 S.F. NET @ 1 SPACE PER 300 S.F.	= 3 SPACES
PROP. WORKSHOP = 599 S.F. NET @ 1 SPACE PER 1,000 S.F.	= 1 SPACE
PROP. POLICE OFFICE = 119 S.F. NET @ 1 SPACE PER 500 S.F.	= 1 SPACES
PROP. COMMUNITY ROOM = 671 S.F. NET @ 1 SPACE PER 300 S.F.	= 3 SPACES
PROP. FARMERS MARKET = 996 S.F. GROSS @ NOT APPLICABLE	= 0 SPACES
TOTAL	8 SPACES REQUIRED
PROVIDED	= 12 SPACES (INCLUDING 1 VAN HC SPACE)

SEE LANDSCAPE PLAN FOR REQUIREMENTS ON SHEET 7.

1. THE PROPERTY SHOWN ON THESE PLANS IS LOCATED AT ROANOKE CITY TAX ASSESSMENT MAP No. 1213503, No. 1213504 & No. 1213505.
2. OWNER: WEST END CENTER, INC. ATTN: JOY PARRISH (540) 342-0802
3. THE BOUNDARY IS THE DIRECT RESULT OF A FIELD SURVEY BY LUMSDEN ASSOCIATES, P.C. DATED 2012.
4. TITLE DATA BASED ON A FIELD SURVEY BY LUMSDEN ASSOCIATES, P.C. IN 2012.
5. A TITLE REPORT WAS NOT FURNISHED FOR THIS PROJECT.
6. THE DEVELOPMENT SHOWN ON THESE PLANS SHALL BE SERVED BY WESTERN VIRGINIA WATER AUTHORITY WATER AND SANITARY SEWER.
7. THE PROPERTY ON THESE PLANS ARE ACCESSSED BY PUBLIC ROADS.
8. ALL EXTERIOR LIGHTS SHALL BE DESIGNED, ARRANGED, AND LOCATED SO AS NOT TO DIRECT GLARE ON ADJACENT RESIDENTIAL PROPERTIES OR RIGHT OF WAYS. THE MAXIMUM LIGHTING DENSITY AT ADJONING PROPERTIES OR RIGHT OF WAYS SHALL NOT EXCEED 0.5 FOOT CANDLES.
9. A SEPARATE SIGN PERMIT WILL BE REQUIRED FOR EXTERIOR SIGNAGE. (NONE PROPOSED AT THIS TIME.)
10. NO CONSTRUCTION/FIELD REVISIONS ARE ALLOWED WITHOUT THE APPROVAL OF THE CONSULTING ENGINEER, THE CITY OF RICHMOND, AND/OR THE WESTERN VIRGINIA WATER AUTHORITY.
11. IT SHALL BE THE RESPONSIBILITY OF THE CLIENT TO CUT OUT THE EXISTING STORM SEWER SYSTEM WITHIN EXISTING DEVELOPMENTS SHOULD THESE SYSTEMS BECOME SILENT OR BLOCKED IN ANY WAY DUE TO THE CONSTRUCTION OF THIS PROPOSED DEVELOPMENT.
12. THIS PROPERTY IS NOT LOCATED WITHIN THE LIMITS OF A 100 YEAR FLOOD BOUNDARY AS DESIGNATED BY FEMA. THIS OPINION IS BASED ON AN INSPECTION OF THE FLOOD INSURANCE RATE MAP AND HAS NOT BEEN VERIFIED IN THE FIELD. SEE COMMUNITY PANEL NO. 510130 0164 G, MAP NUMBER 511610164 G, DATED 9-28-07.
13. THIS PLAN DOES NOT GUARANTEE THE EXISTENCE OR LOCATION OF ANY UNDERGROUND UTILITIES. STORM DRAIN STRUCTURE, STORM SEWER MANHOLES, AND ALL OTHER SURFACE UTILITIES WERE FIELD LOCATED. ALL UNDERGROUND UTILITIES SHOWN WERE FIELD LOCATED USING GROUND SURVEILLANCE, INCLUDING UTILITY MARKINGS (SEE MISS UTILITY TICKET #A108300479 AND AVAILABLE UTILITY MAPS). ALL UNDERGROUND UTILITY LINES ARE APPROXIMATE AND SHOULD BE FIELD VERIFIED PRIOR TO THE START OF ANY CONSTRUCTION.
14. ALL UTILITY SERVICE LATERALS OR SERVICE LINES, INCLUDING ELECTRIC, SHALL BE INSTALLED UNDERGROUND.

1. THE EXISTING BRICK SIDEWALK IN THE RIGHT-OF-WAY SHALL BE REMOVED DURING CONSTRUCTION.
2. ALL CONSTRUCTION SHALL CONFORM TO THE CURRENT CITY OF ROANOKE STANDARDS AND SPECIFICATIONS AND THE CURRENT EDITION OF "ROOTS ROAD AND BRIDGE STANDARDS".
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE OWNER AND THE ENGINEER OF ANY CHANGES OR CONDITIONS ATTACHED TO PERMITS OBTAINED FROM ANY AUTHORITY ISSUING PERMITS.
4. THE CONTRACTOR SHALL VISIT THE SITE AND VERIFY EXISTING CONDITIONS PRIOR TO STARTING CONSTRUCTION.
5. THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL EXISTING UTILITIES PRIOR TO STARTING CONSTRUCTION.
6. ALL WATER CONNECTIONS TO EXISTING LINES SHALL BE COORDINATED WITH AND PERFORMED BY THE WESTERN VIRGINIA WATER AUTHORITY.
7. ALL SANITARY SEWER CONNECTIONS TO EXISTING LINES SHALL BE PERFORMED BY THE CONTRACTOR WITH A WESTERN VIRGINIA WATER AUTHORITY INSPECTOR ON-SITE.
8. SEE "ROOTS ROAD AND BRIDGE STANDARDS" FOR CONCRETE CURB AND STORM DRAINAGE DETAILS.
9. THE CONTRACTOR AND/OR OWNER SHALL PROVIDE A STORAGE CONTAINER FOR TEMPORARY STORAGE AND DISPOSAL OF LAND CLEARANCE DEBRIS AND BUILDING MATERIALS. ON-SITE BURIAL OF MATERIAL SHALL NOT BE PERMITTED.

1. AREAS TO BE GRADED SHALL BE CLEARED OF ALL VEGETATION, STRUCTURES, AND OTHER PHYSICAL FEATURES IN PREPARATION OF GRADING.
2. TOPSOIL SHALL BE REMOVED FROM THE CLEARED AREA AND STOCKPILED FOR FUTURE USE. A SEPARATE E & S PLAN MAY BE REQUIRED FOR OFFSITE STOCKPILE.
3. FILL MATERIAL SHALL BE FREE FROM ORGANIC MATTER AND ROCKS LARGER THAN 6 INCHES IN DIAMETER.
4. FILL MATERIAL SHALL BE PLACED AND COMPACTED IN EIGHT (8) ONE LOOSE LIFTS AND COMPACTED TO AT LEAST NINETY-FIVE (95) PERCENT OF THE MATERIAL'S MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D698, STANDARD PROCTOR. MAINTAIN MOISTURE CONTENT OF FILL MATERIAL WITHIN THREE (3) PERCENT OF OPTIMUM TO ATTAIN REQUIRED COMPACTION DENSITY.
5. A DETAILED SUBSURFACE SOILS REPORT HAS NOT BEEN FURNISHED TO THE DESIGNING ENGINEER (LUMSDEN ASSOCIATES, P.C.), A QUALIFIED GEOTECHNICAL ENGINEER, LICENSED IN THE STATE OF VIRGINIA, SHOULD BE CONSULTED CONCERNING SOIL STABILITY, SLOPE STABILIZATION, SOIL COMPACTION, TESTING, AND OTHER SOIL CHARACTERISTICS. LUMSDEN ASSOCIATES ASSUMES NO RESPONSIBILITY OR LIABILITY RELATING TO FAILURES RESULTING FROM SAME.

COMMONWEALTH OF VIRGINIA  
*TC Dale*  
 THOMAS C. DALE  
 Lic. No. 033002  
 5/2/13  
 PROFESSIONAL ENGINEER

DEVELOPMENT PLAN  
FOR  
WEST END CENTER / HURT PARK BRANCH  
CITY OF ROANOKE, VIRGINIA  
PREPARED FOR  
WEST END CENTER, INC.

REVISIONS		DESCRIPTION
NO.	DATE	
1		
2		
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4		
5		

DATE: May 2, 201

SCALE: NONI

COMMISSION NO: 12-09

C-102