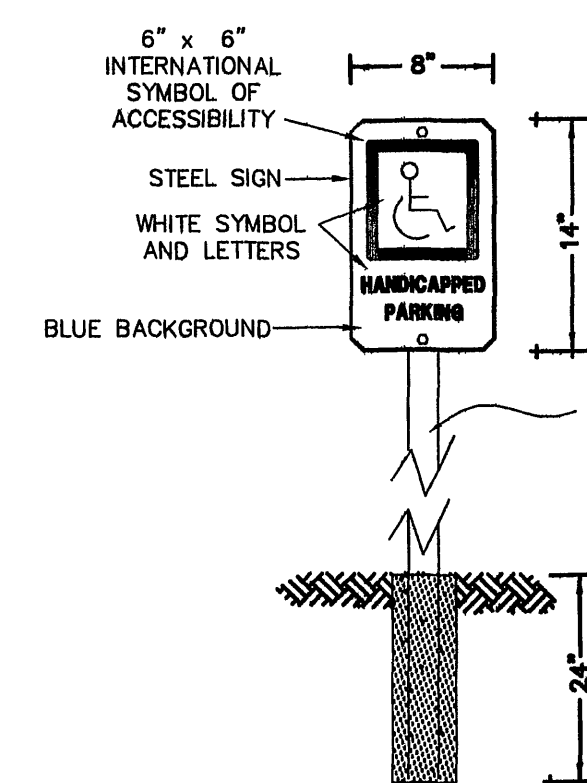
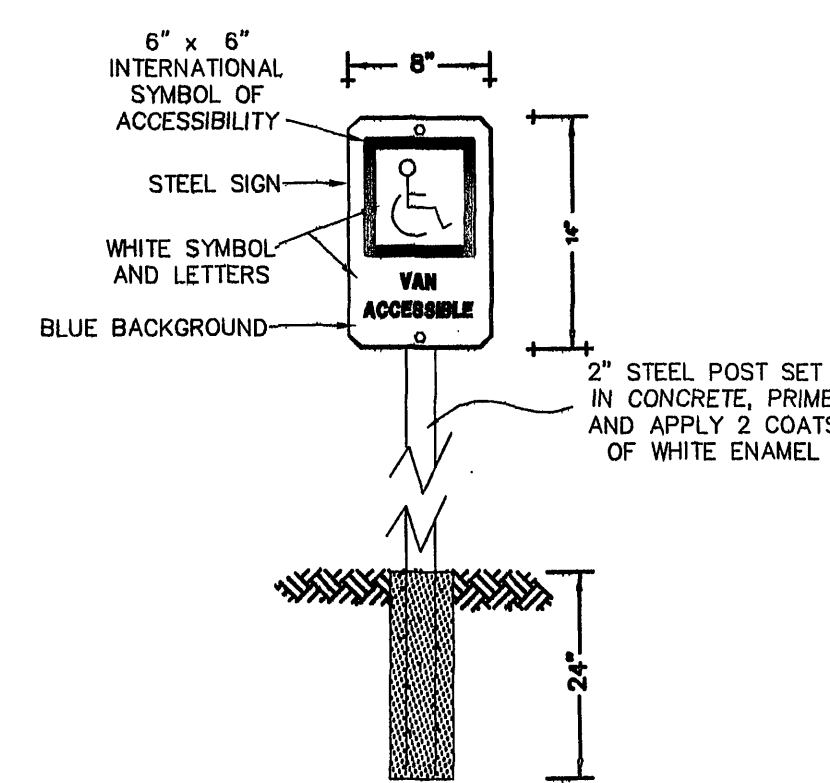


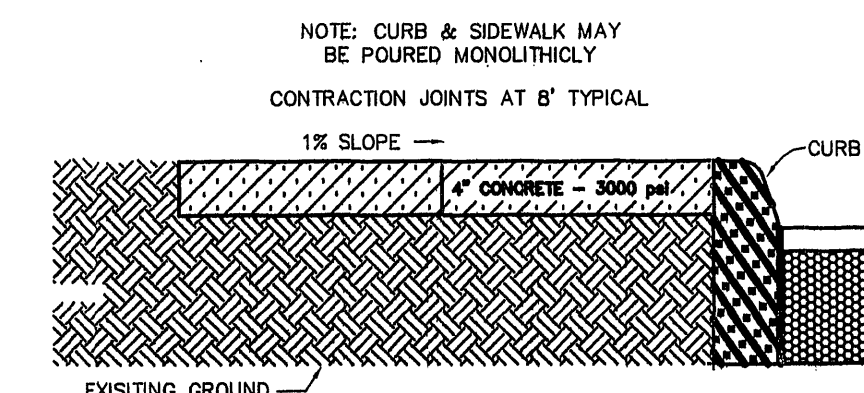
HANDICAP PARKING



HANDICAP PARKING SIGN (S1)

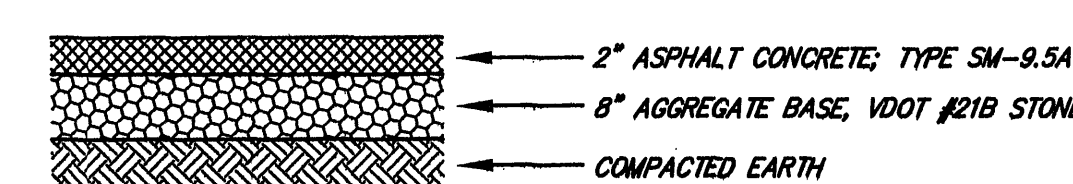


VAN ACCESSIBLE HANDICAP PARKING SIGN (S2)



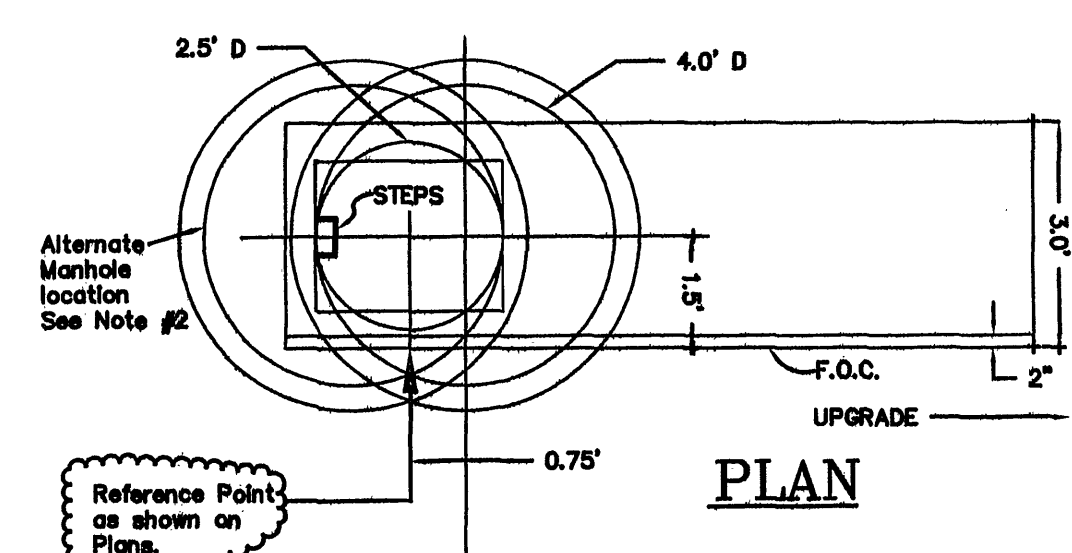
TYPICAL SIDEWALK DETAIL

- NOTES:
1. THE SIZE 21B AGGREGATE SHALL BE PRIMED WITH APPROXIMATELY 0.35 GAL/SY OF RC-250 ASPHALT AND COVERED WITH 16 TO 18 LBS/SY OF SIZE 8-P AGGREGATE BEFORE PLACING SM-9.5A.
  2. EXISTING PAVEMENT IS TO BE SAW CUT WHERE NEW PAVEMENT IS TO MATCH. SAW CUT IS TO BE MADE WITH A MECHANICAL SAW AND SIDES TO BE TACKED WITH BITUMINOUS MATERIAL, TYPE RC-250, OR EQUAL.

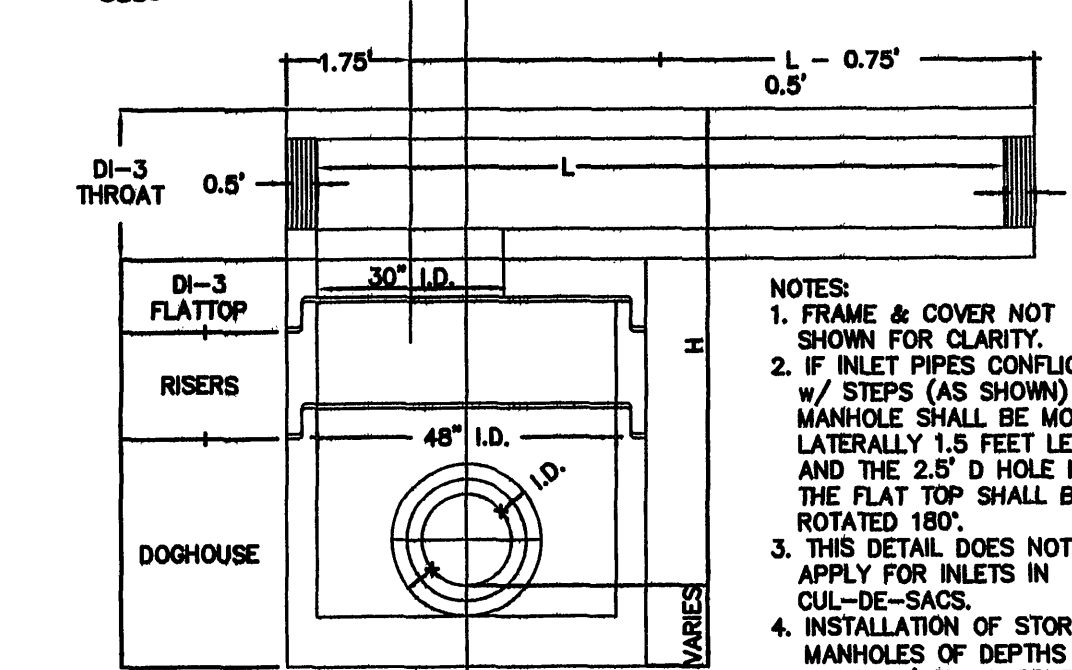


PAVEMENT DETAIL

NO SCALE



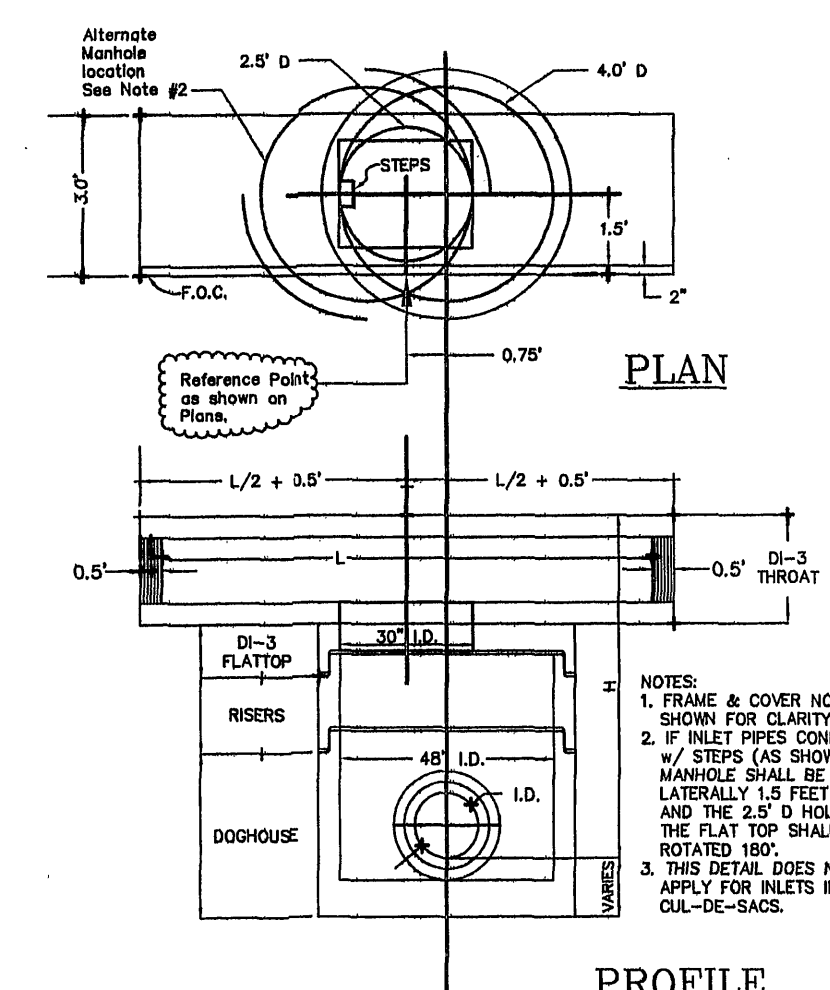
PLAN



PROFILE

LOCATION DETAIL FOR DI-3B (PRECAST)

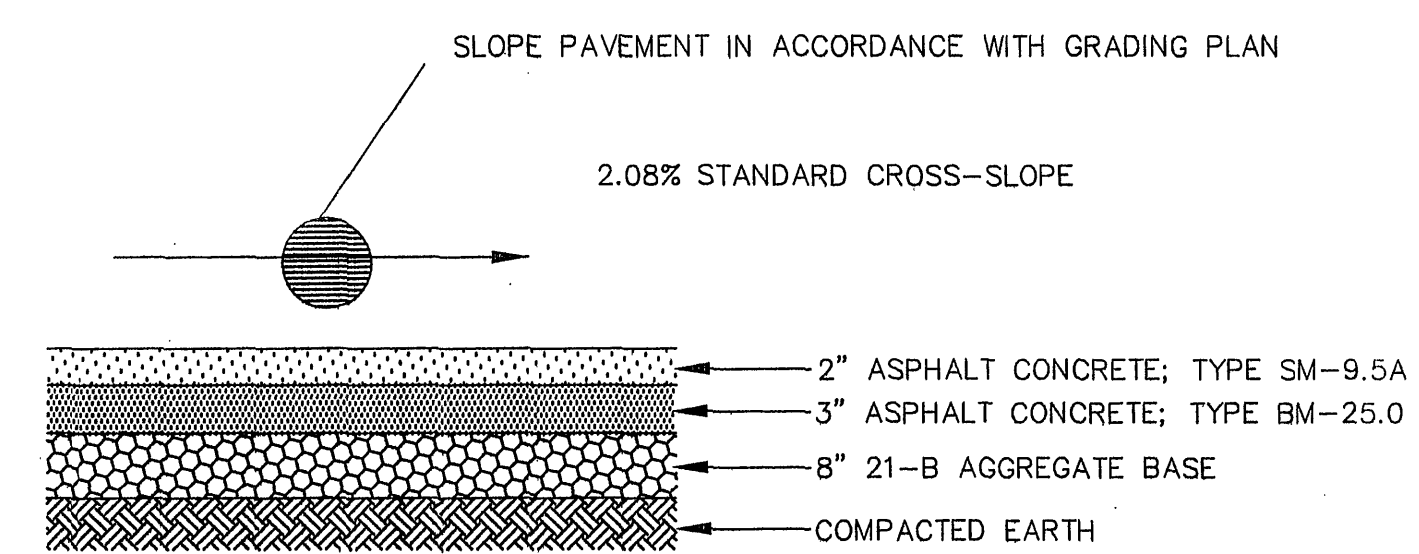
NO SCALE



PLAN

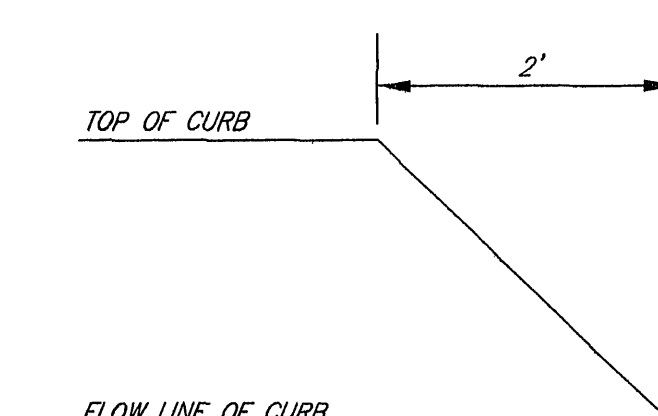
PROFILE

LOCATION DETAIL FOR DI-3A AND DI-3C (PRECAST)



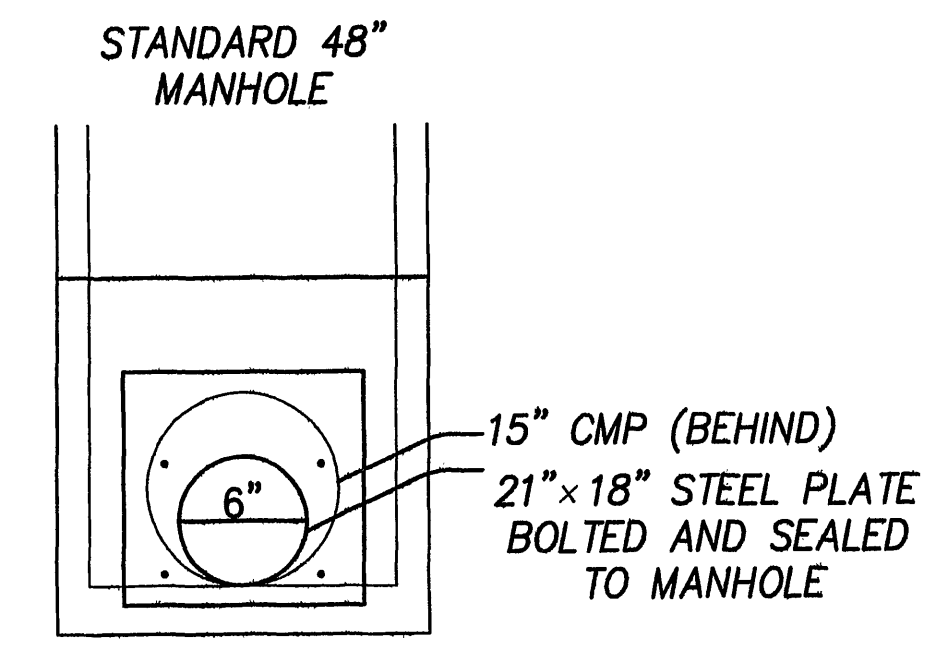
HEAVY DUTY PAVEMENT STRUCTURE DETAIL

NO SCALE



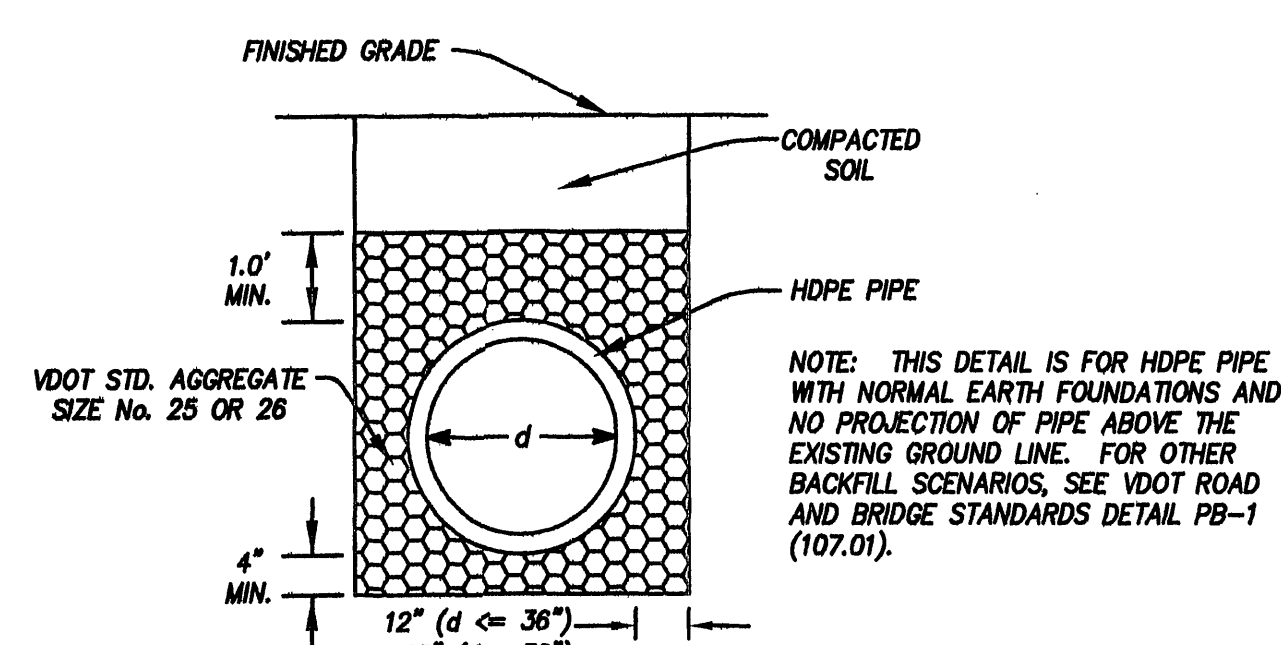
CURB TAPER

NO SCALE



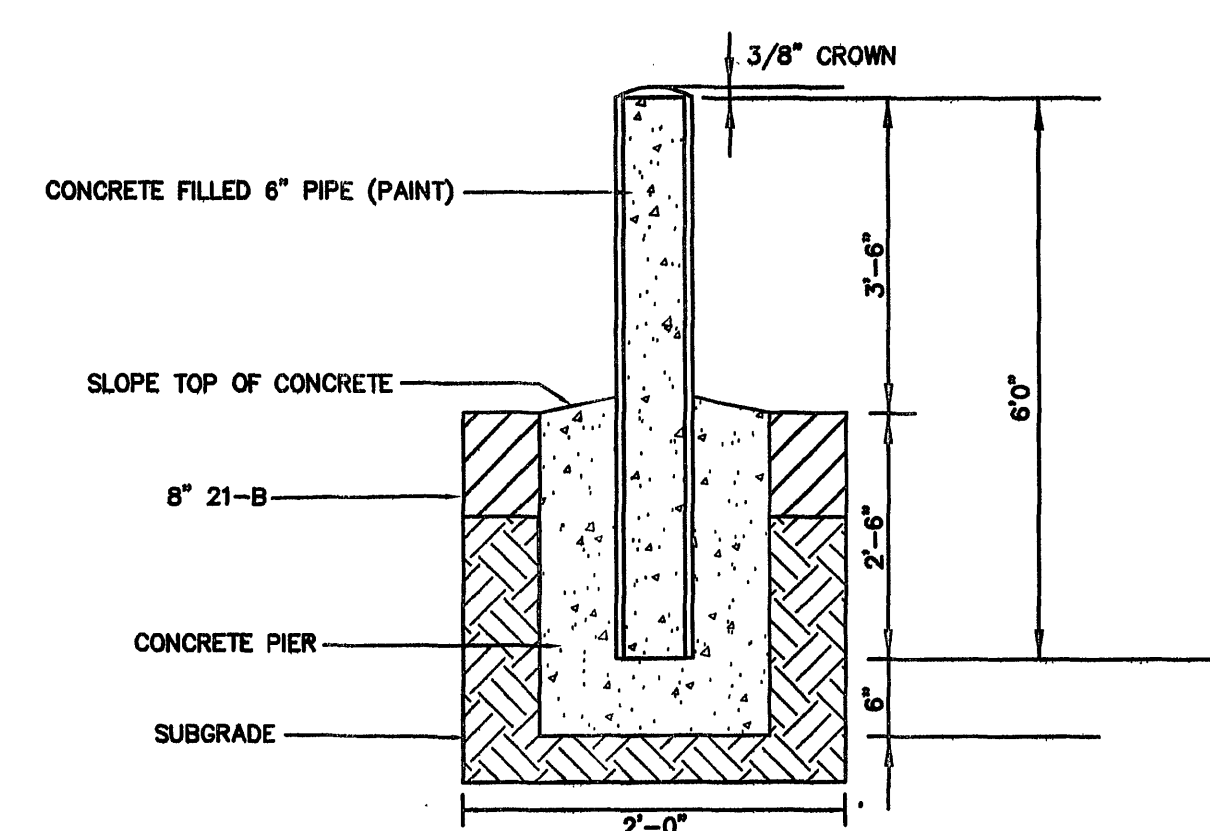
RESTRICTER PLATE

NO SCALE



HDPE PIPE BEDDING

NO SCALE



PIPE BOLLARD DETAIL

NO SCALE

SITE AND ZONING TABULATIONS:

ZONING: C2  
 PROPOSED USE: RETAIL/OFFICE  
 SITE ACREAGE: 10.6 ACRES  
 MAXIMUM BUILDING COVERAGE: 50%  
 PROPOSED BUILDING COVERAGE: 4.5%  
 MAXIMUM LOT COVERAGE: 90%  
 PROPOSED LOT COVERAGE: 14.2%  
 MAXIMUM HEIGHT OF STRUCTURE: 45'

SETBACK REQUIREMENTS:

FRONT: 30'  
 SIDE YARD: NONE  
 REAR YARD: 15'

PARKING TABULATIONS:

REQUIRED (RETAIL): 1 PER 200 SF  
 21,887 + 200 = 109.4 = 110 SPACES  
 REQUIRED (OFFICE): 3.5 PER 1,000 SF  
 3.5 X 12 = 42 SPACES  
 PROVIDED: 153 PARKING SPACES (INCLUDES 6 HANDICAP PARKING SPACES)

LANDSCAPE REQUIREMENTS:

BUFFER YARD LANDSCAPE: PRESERVED TREES FULFILL REQUIREMENT  
 PARKING LOT LANDSCAPE: 1 LARGE TREE PER ISLAND  
 3 SHRUBS PER 15 SPACES  
 RIGHT-OF-WAY LANDSCAPE: 1 LARGE TREE PER 30'  
 2 SHRUBS PER 5'  
 CROWN COVERAGE REQUIREMENT: 35% OF SITE AREA = 161,607 SF  
 154,115 SF PRESERVED = 33.4%  
 16,280 SF PROVIDED = 4.0%

GENERAL NOTES:

1. THE PROPERTY SHOWN ON THESE PLANS IS LOCATED AT ROANOKE COUNTY TAX ASSESSMENT MAP # 77.18-05-02.0
2. OWNER/DEVELOPER: WEST VILLAGE, L.L.C. PO BOX 721 ROANOKE, VA 24018
3. THIS PROPERTY IS NOT LOCATED WITH THE LIMITS OF A 100 YEAR FLOOD BOUNDARY AS DESIGNATED BY FEMA. THIS OPINION IS BASED ON AN INSPECTION OF THE FLOOD INSURANCE RATE MAP, #51161C0062 D, DATED OCTOBER 15, 1993, AND HAS NOT BEEN VERIFIED BY ACTUAL FIELD ELEVATIONS.
4. BOUNDARY SURVEY PERFORMED BY LUMSDEN ASSOCIATES, DATED 2003.
5. SOURCE OF TOPOGRAPHIC MAPPING BY LUMSDEN ASSOCIATES, DATED 2003.
6. NO TITLE REPORT WAS FURNISHED FOR THIS PROPERTY.
7. THE DEVELOPMENT SHOWN ON THESE PLANS SHALL BE ACCESSED BY PUBLIC ROADS.
8. THE DEVELOPMENT SHOWN ON THESE PLANS SHALL BE SERVED BY PUBLIC WATER AND SANITARY SEWER.
9. ALL ROOFTOP AND GROUND MECHANICAL EQUIPMENT SHALL BE SCREENED.
10. ALL EXTERIOR LIGHTING FIXTURES SHALL BE LOCATED AND ARRANGED SO AS NOT TO DIRECT GLARE ON ADJOINING STREETS OR RESIDENTIAL PROPERTIES. THE INTENSITY AT ADJOINING STREETS OR RESIDENTIAL PROPERTIES SHALL NOT EXCEED 0.5 FOOT CANDLES.
11. ANY EXTERIOR SIGN WILL REQUIRE A SEPARATE SIGN PERMIT.

CONSTRUCTION NOTES:

1. ALL CONSTRUCTION SHALL CONFORM TO THE CURRENT COUNTY OF ROANOKE STANDARDS AND SPECIFICATIONS.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE OWNER AND THE ENGINEER OF ANY CHANGES OR CONDITIONS ATTACHED TO PERMITS OBTAINED FROM ANY AUTHORITY ISSUING PERMITS.
3. NO SUBSOIL INVESTIGATIONS HAVE BEEN FURNISHED TO THE DESIGNING ENGINEER.
4. THE CONTRACTOR SHALL VISIT THE SITE AND VERIFY EXISTING CONDITIONS PRIOR TO STARTING CONSTRUCTION.
5. THE CONTRACTOR SHALL VERIFY LOCATIONS OF ALL EXISTING UTILITIES PRIOR TO STARTING CONSTRUCTION.
6. THE CONTRACTOR AND OR OWNER SHALL PROVIDE A STORAGE CONTAINER FOR TEMPORARY STORAGE AND DISPOSAL OF LAND CLEARANCE DEBRIS AND BUILDING MATERIALS. ON-SITE BURIAL OF MATERIAL SHALL NOT BE PERMITTED.
7. SEE 2001 VDOT ROAD AND BRIDGE STANDARDS FOR CURB AND STORMWATER DETAILS.
8. NO DEVIATION TO THE DEVELOPMENT PLANS SHALL BE MADE WITHOUT THE APPROVAL OF THE DEVELOPMENT PLANS SHALL BE MADE WITHOUT THE APPROVAL OF THE CONSULTING ENGINEER.
9. ANY ALTERATIONS TO THE UTILITY INFRASTRUCTURE, GRADE CHANGES, OR ANY ALIGNMENT CHANGES SHALL REQUIRE A NEW SET OF PLANS SEALED BY THE CONSULTING ENGINEER, AND SHALL REQUIRE APPROVAL BY ROANOKE COUNTY.
10. ALL NECESSARY UTILITY LATERALS ALONG WITH PROVISIONS FOR CONDUITS (I.E. WATER, SEWER, STORM, GAS AND TELEPHONE) WILL BE CONSTRUCTED PRIOR TO THE PLACEMENT OF BASE MATERIAL.
11. THE ENTIRE CONSTRUCTION AREA INCLUDING DITCHES AND/OR PAVEMENT IS TO BE BACKFILLED AND SEEDING AT THE EARLIEST POSSIBLE TIME AFTER FINAL GRADING.

**LUMSDEN ASSOCIATES, P.C.**  
 ENGINEERS-SURVEYORS-PLANNERS  
 ROANOKE, VIRGINIA

PHONE: (540) 774-4411  
 FAX: (540) 772-9445  
 E-MAIL: LUMSDEN@LUMSDENPC.COM

**COMMONWEALTH OF VIRGINIA**  
 PROFESSIONAL ENGINEER  
 No. 033002  
 THOMAS C. DALE

NOTES AND DETAILS

WEST VILLAGE  
 PREPARED FOR  
 WEST VILLAGE, L.L.C.  
 CAVE SPRING MAGISTERIAL DISTRICT  
 ROANOKE COUNTY, VIRGINIA

NO.	DATE	DESCRIPTION
1		
2		
3		
4		
5		

DATE: OCTOBER 11, 2004

SCALE:

COMMISSION NO: 03-342

CADD FILE: F:\2003\03342\ENG\03342COMP.DWG

SHEET 3 OF 12