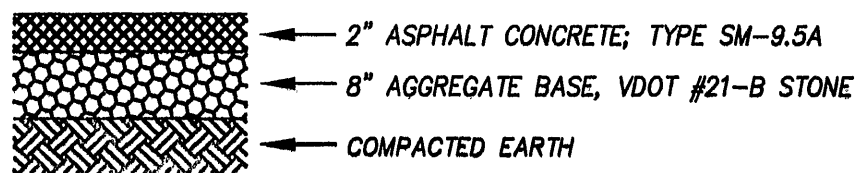
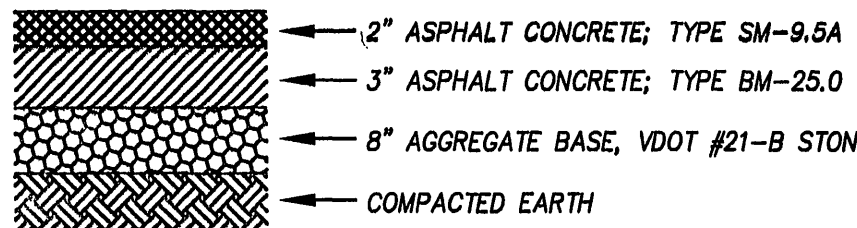


VIRGINIA DEPARTMENT OF TRANSPORTATION NOTES:

- QUALITY CONTROL**  
STREETS TO BE GRADED, PAVED AND ALL STRUCTURAL COMPONENTS ERECTED IN ACCORDANCE WITH CURRENT VIRGINIA DEPARTMENT OF TRANSPORTATION ROAD AND BRIDGE SPECIFICATIONS AND ROAD DESIGN STANDARDS AND ROANOKE COUNTY DESIGN STANDARDS AND SPECIFICATIONS. ALL MATERIALS USED SHALL BE TESTED IN ACCORDANCE WITH STANDARD POLICIES. THE DEVELOPER MUST CONTACT THE OFFICE OF THE RESIDENT ENGINEER, PRIOR TO BEGINNING ANY CONSTRUCTION AT WHICH TIME AN INSPECTION AND TESTING PROCEDURE POLICY WILL BE DRAWN. THE DEVELOPER WILL PRODUCE TEST REPORTS FROM APPROVED INDEPENDENT LABORATORIES AT THE DEVELOPER'S EXPENSE.  
  
THE PAVEMENT DESIGNS SHOWN ARE BASED ON A SUBGRADE CBR VALUE OF 10 OR GREATER. THE SUBGRADE SOIL IS TO BE TESTED BY AN INDEPENDENT LABORATORY AND THE RESULTS SUBMITTED TO THE VIRGINIA DEPARTMENT OF TRANSPORTATION PRIOR TO BASE CONSTRUCTION. SHOULD THE SUBGRADE CBR VALUES BE LESS THAN 10, THEN ADDITIONAL BASE MATERIAL WILL BE REQUIRED IN ACCORDANCE WITH DEPARTMENTAL SPECIFICATIONS.  
  
THE SUBGRADE MUST BE APPROVED BY VIRGINIA DEPARTMENT OF TRANSPORTATION PRIOR TO PLACEMENT OF THE BASE. BASE MUST BE APPROVED BY VIRGINIA DEPARTMENT OF TRANSPORTATION FOR DEPTH, TEMPLATE AND COMPACTION BEFORE SURFACE IS APPLIED.
- UTILITIES**  
ALL NECESSARY UTILITY LATERALS ALONG WITH PROVISIONS FOR CONDUITS (I.E. WATER, SEWER, STORM, GAS AND TELEPHONE) WILL BE CONSTRUCTED PRIOR TO PLACEMENT OF BASE MATERIAL.  
  
GAS OR PETROLEUM TRANSMISSION LINES WILL NOT BE PERMITTED WITHIN THE PAVEMENT OR SHOULDER ELEMENT (BACK OF CURB TO BACK OF CURB) OF THIS DEVELOPMENT. SERVICE LATERALS CROSSING AND PIPE LINES LOCATED OUTSIDE THE PAVEMENT BUT INSIDE THE RIGHT OF WAY WILL BE CONSTRUCTED IN CONFORMITY WITH ASA B 31.8 SPECIFICATIONS AND SAFETY REGULATIONS. DISTRIBUTION LINES WITH PRESSURES LESS THAN 120 LBS. ARE UNAFFECTED BY THE ABOVE.  
  
PERMITS WILL BE REQUIRED FOR ALL UTILITIES WITHIN STREET RIGHT OF WAY PRIOR TO ACCEPTANCE INTO THE SECONDARY HIGHWAY SYSTEM. ANY EASEMENTS GRANTED TO A UTILITY COMPANY FOR PLACEMENT OF POWER, TELEPHONE, ETC. MUST BE RELEASED PRIOR TO ACCEPTANCE.
- PRIVATE ENTRANCES**  
MODIFIED CO-90 GUTTER WILL BE PROVIDED AT ALL ENTRANCES TO PRIVATE LOTS WHERE STANDARD CO-6 CURB AND GUTTER IS APPROVED FOR USE.  
  
DRIVEWAYS CONNECTING TO ROADS WITHOUT CURB & GUTTER SHALL CONFORM TO THE PAVEMENT, SHOULDER & SLOPE.  
  
PERMITS WILL BE REQUIRED FOR ALL PRIVATE ENTRANCES CONSTRUCTED ON STREET RIGHTS OF WAY AFTER ACCEPTANCE INTO THE SECONDARY HIGHWAY SYSTEM.  
  
ALL PRIVATE ENTRANCES WITHIN THE RIGHT-OF-WAY AREA SHOULD NOT EXCEED EIGHT PERCENT (8%) MAXIMUM GRADE.
- EROSION CONTROL AND LANDSCAPING**  
CARE MUST BE TAKEN DURING CONSTRUCTION TO PREVENT EROSION, DUST AND MUD FROM DAMAGING ADJACENT PROPERTY, CLOGGING DITCHES, TRACKING PUBLIC STREETS AND OTHERWISE CREATING A PUBLIC OR PRIVATE NUISANCE TO SURROUNDING AREAS.  
  
THE ENTIRE CONSTRUCTION AREA INCLUDING DITCHES, CHANNELS, BACK OF CURBS AND OR PAVEMENT ARE TO BE BACKFILLED AND SEEDED AT THE EARLIEST POSSIBLE TIME AFTER FINAL GRADING.  
  
DRAINAGE EASEMENTS MUST BE DEFINED BY EXCAVATED DITCHES OR CHANNELS FOR THEIR FULL LENGTH TO WELL DEFINED EXISTING NATURAL WATERCOURSES.  
  
THE ROAD WILL BE REVIEWED DURING CONSTRUCTION FOR THE NEED OF PAVED DITCHES. IF EROSION IS ENCOUNTERED IN ANY DRAINAGE EASEMENT, IT WILL BE THE RESPONSIBILITY OF THE DEVELOPER TO SO, RIP RAP, GROUT, PAVE OR TO DO WHATEVER IS NECESSARY TO CORRECT THE PROBLEM.  
  
ALL VEGETATION AND OVERBURDEN TO BE REMOVED FROM SHOULDER TO SHOULDER PRIOR TO THE CONDITIONING (CUTTING AND/OR PREPARATION) OF THE SUBGRADE.
- INTERSECTION PAVEMENT RADII**  
MINIMUM PAVEMENT RADII OF 25 FEET IS REQUIRED AT ALL STREET INTERSECTIONS.
- CONNECTIONS TO STATE-MAINTAINED ROADS**  
WHILE THESE PLANS HAVE BEEN APPROVED, SUCH APPROVAL DOES NOT EXEMPT CONNECTIONS WITH EXISTING STATE-MAINTAINED ROADS FROM CRITICAL REVIEW AT THE TIME PERMIT APPLICATIONS ARE MADE. THIS IS NECESSARY IN ORDER THAT THE PREVAILING CONDITIONS BE TAKEN INTO CONSIDERATION REGARDING SAFETY ACCOMPANIMENTS SUCH AS TURNING LANES.
- GUARDRAILS**  
STANDARD GUARDRAIL WITH SAFETY END SECTIONS MAY BE REQUIRED ON FILLS AS DEEMED NECESSARY BY THE RESIDENT ENGINEER. AFTER COMPLETION OF ROUGH GRADING OPERATIONS, THE OFFICE OF THE RESIDENT ENGINEER, SHALL BE NOTIFIED SO THAT A FIELD REVIEW MAY BE MADE OF THE PROPOSED LOCATIONS.  
  
WHERE GUARDRAILS ARE TO BE INSTALLED THE SHOULDER WIDTH SHALL BE INCREASED IN ACCORDANCE WITH VDOT ROAD AND BRIDGE STANDARDS.
- STORM DRAINAGE**  
FIELD REVIEW WILL BE MADE DURING CONSTRUCTION TO DETERMINE THE NEED AND LIMITS OF PAVED DITCHES AND/OR DITCH STABILIZATION TREATMENTS, AND TO DETERMINE THE NEED AND LIMITS OF ADDITIONAL DRAINAGE EASEMENTS. ALL DRAINAGE EASEMENTS MUST BE CUT AND MADE TO FUNCTION TO A NATURAL WATERCOURSE. ANY EROSION PROBLEMS ENCOUNTERED IN AN EASEMENT MUST BE CORRECTED BY WHATEVER MEANS NECESSARY PRIOR TO SUBDIVISION ACCEPTANCE.  
  
DITCH SLOPES ARE TO BE FOUR TO ONE (4:1) FOR SHOULDER WIDTHS OF SIX FEET (6') OR GREATER AND THREE TO ONE (3:1) FOR SHOULDER WIDTHS OF FOUR FEET (4') OR FIVE FEET (5'), UNLESS OTHERWISE SPECIFIED IN THE PLANS.
- ENTRANCE PERMIT**  
CONTRACTOR SHALL OBTAIN ENTRANCE PERMIT TO THE EXISTING VIRGINIA DEPARTMENT OF TRANSPORTATION RIGHT OF WAY FROM RESIDENT ENGINEER PRIOR TO ROAD CONSTRUCTION.
- INSPECTION**  
AN INSPECTOR WILL NOT BE FURNISHED EXCEPT FOR PERIODIC PROGRESS INSPECTION. THE ABOVE MENTIONED FIELD REVIEWS AND CHECKING FOR REQUIRED STONE DEPTHS. THE DEVELOPER WILL BE REQUIRED TO POST A SURETY TO GUARANTEE THE ROAD FREE OF DEFECTS FOR ONE YEAR AFTER ACCEPTANCE BY THE DEPARTMENT OF TRANSPORTATION.
- STREET MAINTENANCE**  
THE STREETS MUST BE PROPERLY MAINTAINED UNTIL ACCEPTANCE. AT SUCH TIME AS ALL REQUIREMENTS HAVE BEEN MET FOR ACCEPTANCE, ANOTHER INSPECTION WILL BE MADE TO DETERMINE THAT THE STREET HAS BEEN PROPERLY MAINTAINED.
- UNDERGROUND UTILITIES**  
CONTRACTOR SHALL VERIFY LOCATION AND ELEVATION OF ALL UNDERGROUND UTILITIES SHOWN ON THE PLANS IN AREAS OF CONSTRUCTION PRIOR TO STARTING WORK BY CONTACTING MISS UTILITY. CONTACT SITE ENGINEER IMMEDIATELY IF LOCATION OR ELEVATION IS DIFFERENT FROM THAT SHOWN ON THE PLANS. IF THERE APPEARS TO BE A CONFLICT, AND UPON DISCOVERY OF ANY UTILITY NOT SHOWN ON THIS PLAN, CALL "MISS UTILITY" OF CENTRAL VIRGINIA AT 1-800-552-7001.
- REVISIONS OF SPECIFICATIONS AND STANDARDS**  
APPROVAL OF THESE PLANS WILL BE BASED ON SPECIFICATIONS AND STANDARDS IN EFFECT AT THE TIME OF APPROVAL AND WILL BE SUBJECT, UNTIL COMPLETION OF THE ROADWAY AND ACCEPTANCE BY THE DEPARTMENT, TO FUTURE REVISIONS OF THE SPECIFICATIONS AND STANDARDS.



STANDARD PAVEMENT DETAIL



HEAVY DUTY PAVEMENT DETAIL

PAVEMENT NOTES:

- THE SIZE 21B AGGREGATE SHALL BE PRIMED WITH APPROXIMATELY 0.35 GAL/SY OF RC-250 ASPHALT AND COVERED WITH 16 TO 18 LBS/SY OF SIZE B-P AGGREGATE BEFORE PLACING SM-9.5A FOR STANDARD PAVEMENT ONLY.
- EXISTING PAVEMENT IS TO BE SAW CUT WHERE NEW PAVEMENT IS TO MATCH. SAW CUT IS TO BE MADE WITH A MECHANICAL SAW AND SIDES TO BE TACKED WITH BITUMINOUS MATERIAL, TYPE RC-250, OR EQUAL.

BUILDING COVERAGES (BY LOT)

ZONING (ALL): C2  
PROPOSED USE (ALL): RETAIL/OFFICE  
MAXIMUM BUILDING COVERAGE: 50%  
MAXIMUM LOT COVERAGE: 50%

**LOT C1**  
A = 1,977 AC. = 86,118 SF  
NO BUILDINGS PROPOSED FOR THIS LOT WITH THIS PLAN SET.  
LOT COVERAGE = 19,897/86,118 = 23.1%

**LOT D1**  
A = 1,129 AC. = 49,187 S.F.  
EXISTING BUILDING = 0.292 AC. = 12,725 S.F.  
EXISTING BUILDING COVERAGE = 12,725/49,187 = 25.9%  
EXISTING LOT COVERAGE = 38,825/49,187 = 78.9%

**LOT E1**  
A = 0.936 AC. = 40,072 S.F.  
BUILDING = 0.165 AC. = 7,200 S.F.  
BUILDING COVERAGE = 7,200/40,072 = 18.0%  
LOT COVERAGE = 31,625/40,072 = 78.9%

**LOT F1**  
A = 2,568 AC. = 111,862 S.F.  
NO BUILDINGS PROPOSED FOR THIS LOT WITH THIS PLAN SET.  
LOT COVERAGE = 7,684/111,862 = 6.9%

**LOT G1**  
A = 0.834 AC. = 36,312 S.F.  
BUILDING = 0.149 AC. = 6,670 S.F.  
BUILDING COVERAGE = 6,670/36,312 = 15.3%  
LOT COVERAGE = 30,385/36,312 = 83.7%

**LOT H1**  
A = 0.629 AC. = 27,417 S.F.  
BUILDING = 0.119 AC. = 5,166 S.F.  
BUILDING COVERAGE = 5,166/27,417 = 18.8%  
LOT COVERAGE = 22,705/27,417 = 82.8%

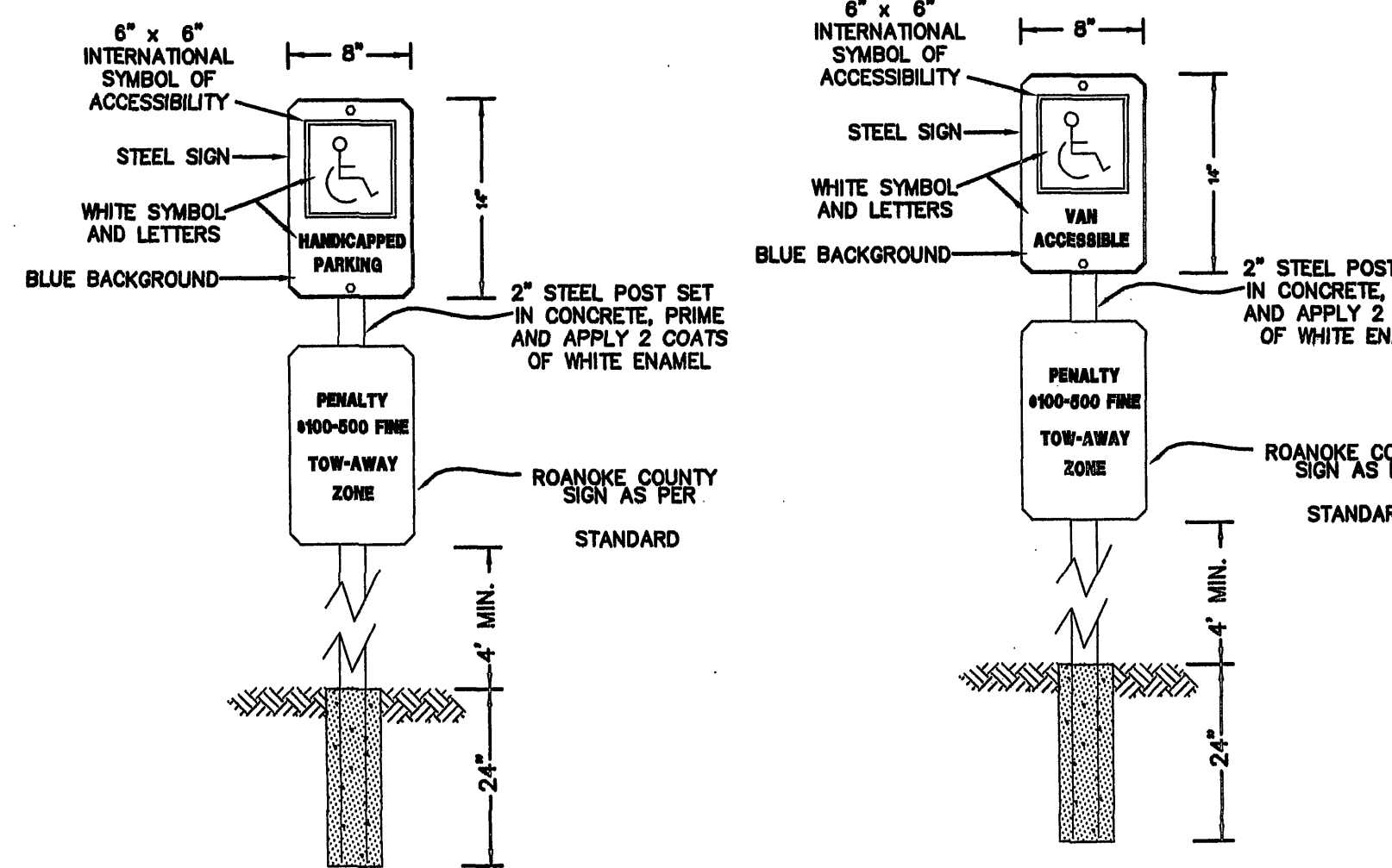
**LOT I1**  
A = 0.912 AC. = 39,727 S.F.  
NO BUILDINGS PROPOSED FOR THIS LOT WITH THIS PLAN SET.  
LOT COVERAGE = 5,947/39,727 = 15.0%

SITE AND ZONING TABULATIONS:

ZONING: C2  
PROPOSED USE: RETAIL/OFFICE  
SITE AREA: 10.6 ACRES  
MAXIMUM BUILDING COVERAGE: 50%  
PROPOSED BUILDING COVERAGE: 8.4%  
MAXIMUM HEIGHT OF STRUCTURE: 45'  
SETBACK REQUIREMENTS:  
FRONT: 30'  
SIDE YARD: NONE  
REAR YARD: 15'

**PARKING TABULATIONS:**  
REQUIRED (NETAL): 1 PER 200 SF  
18,670 X 200 = 95 SPACES  
REQUIRED (OFFICE): 3.5 PER 1,000 SF  
3.5 X 18.87 = 67 SPACES  
REQUIRED: 162 PARKING SPACES  
(INCLUDING 7 HANDICAP PARKING SPACES)  
PROVIDED: 164 PARKING SPACES  
(INCLUDING 12 HANDICAP PARKING SPACES)

**LANDSCAPE REQUIREMENTS:**  
BUFFER YARD LANDSCAPE: TYPE "C" BUFFER  
PARKING LOT LANDSCAPE: 1 LARGE TREE PER ISLAND  
3 SHRUBS PER 15 SPACES  
RIGHT-OF-WAY LANDSCAPE: 1 LARGE TREE PER 30'  
2 SHRUBS PER 5'



HANDICAP PARKING

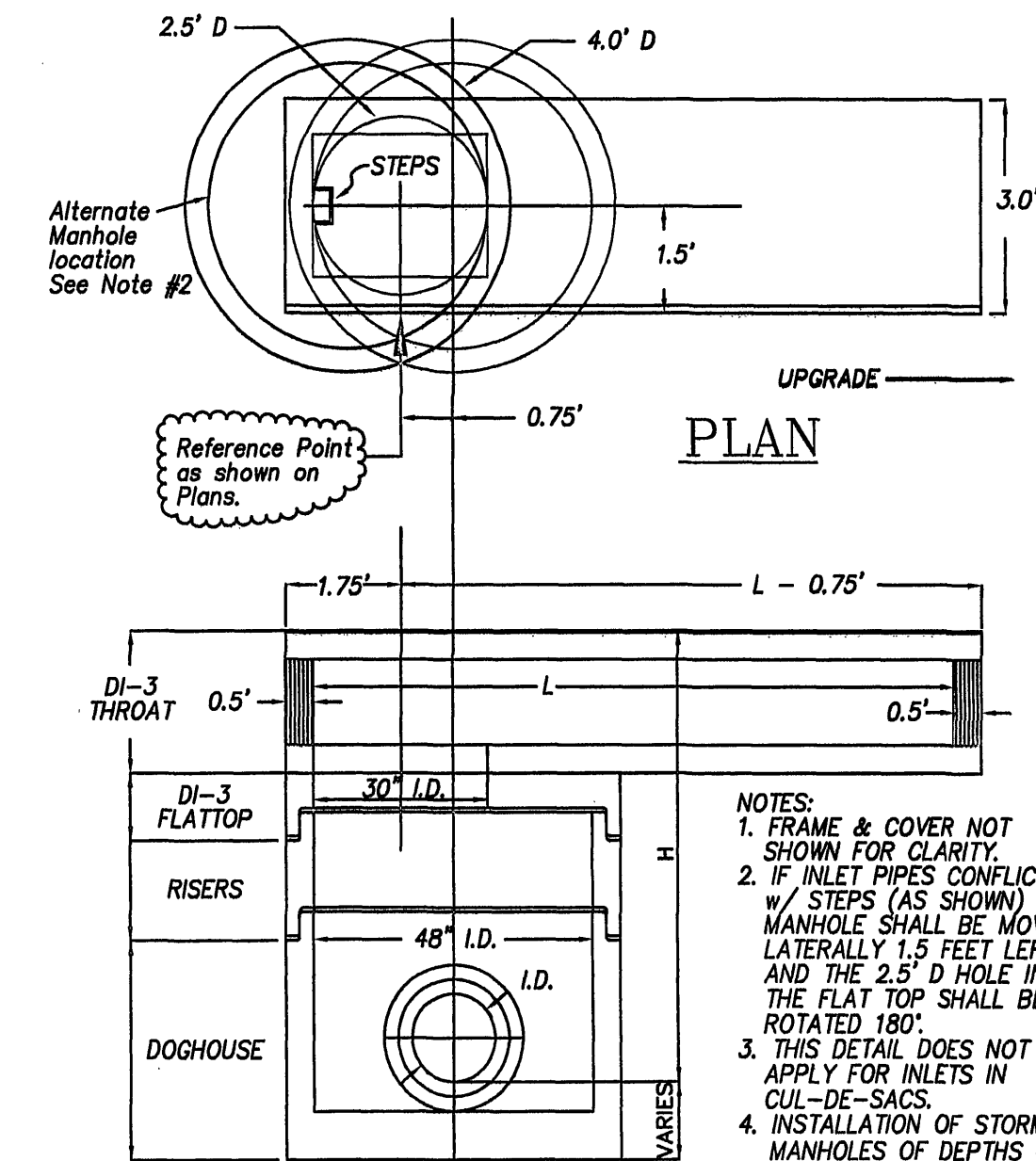
NO SCALE

HANDICAP PARKING SIGN (S1)

NO SCALE

VAN ACCESSIBLE HANDICAP PARKING SIGN (S2)

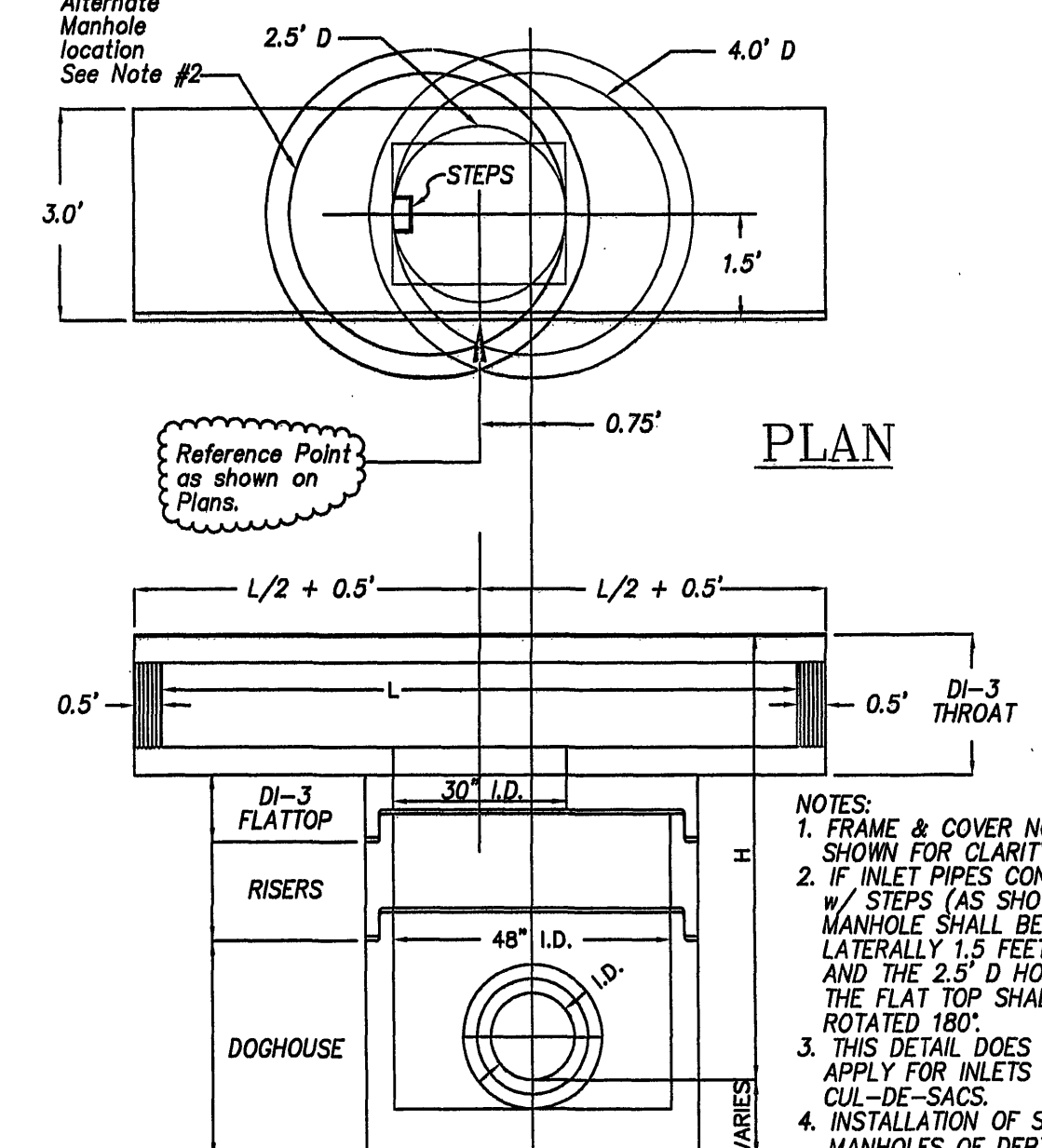
NO SCALE



PROFILE

LOCATION DETAIL FOR DI-3B (PRECAST)

NO SCALE



PROFILE

LOCATION DETAIL FOR DI-3A AND DI-3C (PRECAST)

NO SCALE

GENERAL NOTES

- THE PROPERTY SHOWN ON THESE PLANS IS LOCATED AT ROANOKE COUNTY TAX ASSESSMENT MAP # 77-18-05-02-0
- OWNER/DEVELOPER:  
WEST VILLAGE, L.L.C.  
PO BOX 721  
ROANOKE, VA 24018
- THIS PROPERTY IS NOT LOCATED WITHIN THE LIMITS OF A 100 YEAR FLOOD BOUNDARY AS DESIGNATED BY FEMA. THIS OPINION IS BASED ON AN INSPECTION OF THE FLOOD INSURANCE RATE MAP, #51161C0062 D, DATED OCTOBER 15, 1993, AND HAS NOT BEEN VERIFIED BY ACTUAL FIELD ELEVATIONS.
- BOUNDARY SURVEY PERFORMED BY LUMSDEN ASSOCIATES, DATED 2003.
- SOURCE OF TOPOGRAPHY IS AERIAL MAPPING DATED AUGUST 9, 2004.
- NO TITLE REPORT WAS FURNISHED FOR THIS PROPERTY.
- THE DEVELOPMENT SHOWN ON THESE PLANS SHALL BE ACCESSED BY PUBLIC ROADS.
- THE DEVELOPMENT SHOWN ON THESE PLANS SHALL BE SERVED BY PUBLIC WATER AND SANITARY SEWER.
- ALL EXTERIOR LIGHTING FIXTURES SHALL BE LOCATED AND ARRANGED SO AS NOT TO DIRECT GLARE ON ADJOINING STREETS OR RESIDENTIAL PROPERTIES. THE INTENSITY AT ADJOINING STREETS OR RESIDENTIAL PROPERTIES SHALL NOT EXCEED 0.5 FOOT CANDLES.
- PHOTOMETRIC PLAN SHALL BE PROVIDED TO ROANOKE COUNTY FOR APPROVAL PRIOR TO INSTALLATION OF EXTERIOR LIGHTING UNITS.
- ANY EXTERIOR SIGN WILL REQUIRE A SEPARATE SIGN PERMIT. NO EXTERIOR SIGNS ARE PROPOSED WITH THESE PLANS.
- ANY RETAINING WALL EXCEEDING TWO (2) FEET IN HEIGHT REQUIRES APPROVAL AND PERMITTING THROUGH THE ROANOKE COUNTY BUILDING DEPARTMENT.
- CROSS LOT ACCESS FOR PARKING, STORM WATER MANAGEMENT FACILITY ACCESS AND MAINTENANCE ACTIVITIES ETC. SHALL BE PROVIDED FOR BY ASSOCIATION AGREEMENTS WITHIN THIS DEVELOPMENT.
- PHOTOMETRIC PLAN, IF REQUIRED, SHALL BE SUBMITTED BY OTHERS UNDER SEPARATE COVER.
- ALL ACCESSIBILITY ISSUES ARE SUBJECT TO REVIEW BY THE ROANOKE COUNTY BUILDING DEPARTMENT, IN PARTICULAR ACCESSIBLE PARKING SPACES. ACCESSIBLE PARKING SPACES ARE TO BE LOCATED NEAR ACCESSIBLE BUILDING ENTRANCES. IF BUILDING ENTRANCE LOCATIONS DIFFER FROM THOSE SHOWN THE ROANOKE COUNTY BUILDING DEPARTMENT AND THE DESIGNING ENGINEER SHALL BE NOTIFIED PRIOR TO FINAL GRADING OF PARKING AND BUILDING PAD AREAS. ADJUSTMENTS TO FINAL GRADES AND FINISHED FLOOR ELEVATIONS MAY BE REQUIRED FOR ADDITIONAL DETAILS AND INFORMATION. SEE ANSI 117.1-03 (2003 EDITION) "THE ADA ACCESSIBILITY GUIDELINES FOR BUILDING AND FACILITIES".
- PER ANSI 117.1-03 SEC. 4.3.7 THERE SHALL BE AN ACCESSIBLE ROUTE FROM THE HC PARKING AREA TO THE ENTRANCE OF EACH TENANT SPACE. SAID ACCESSIBLE ROUTE SHALL HAVE A TRAVERSABLE SLOPE NO GREATER THAN FIVE (5) PERCENT WITHOUT ADDITIONAL ADA MEASURES. THE CROSS SLOPE OF SAID ACCESSIBLE ROUTE SHALL NOT EXCEED TWO (2) PERCENT.

CONSTRUCTION NOTES

- ALL CONSTRUCTION SHALL CONFORM TO THE CURRENT COUNTY OF ROANOKE, VDOT, AND THE WESTERN VIRGINIA WATER AUTHORITY STANDARDS AND SPECIFICATIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE OWNER AND THE ENGINEER OF ANY CHANGES OR CONDITIONS ATTACHED TO PERMITS OBTAINED FROM ANY AUTHORITY ISSUING PERMITS.
- NO SUBSOIL INVESTIGATIONS HAVE BEEN FURNISHED TO THE DESIGNING ENGINEER.
- THE CONTRACTOR SHALL VISIT THE SITE AND VERIFY EXISTING CONDITIONS PRIOR TO STARTING CONSTRUCTION.
- THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL EXISTING UTILITIES PRIOR TO STARTING CONSTRUCTION.
- SEE 2001 VDOT ROAD AND BRIDGE STANDARDS FOR CONCRETE CURB AND STORM DRAINAGE DETAILS.
- THE CONTRACTOR AND OR OWNER SHALL PROVIDE A STORAGE CONTAINER FOR TEMPORARY STORAGE AND DISPOSAL OF LAND CLEARANCE DEBRIS AND BUILDING MATERIALS. ON-SITE BURIAL OF MATERIAL SHALL NOT BE PERMITTED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIR OR REPLACEMENT OF STRUCTURES WITHIN THE VDOT RIGHT-OF-WAY WHICH ARE DAMAGED DURING CONSTRUCTION OF THIS PROJECT.

GRADING NOTES

- AREAS TO BE GRADED SHALL BE CLEARED OF ALL VEGETATION, STRUCTURES, AND OTHER PHYSICAL FEATURES IN PREPARATION OF GRADING.
- TOPSOIL SHALL BE REMOVED FROM THE CLEARED AREA AND STOCKPILED FOR FUTURE USE.
- FILL MATERIAL SHALL BE FREE FROM ORGANIC MATTER AND ROCKS LARGER THAN 6 INCHES IN DIAMETER.
- FILL MATERIAL SHALL BE PLACED AND COMPACTED IN EIGHT (8) INCH LOOSE LIFTS AND COMPACTED TO AT LEAST NINETY-FIVE (95) PERCENT OF THE MATERIAL'S MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D698, STANDARD PROCTOR. MAINTAIN MOISTURE CONTENT OF FILL MATERIAL WITHIN THREE (3) PERCENT OF OPTIMUM TO ATTAIN REQUIRED COMPACTION DENSITY.
- NO SUBSURFACE SOILS INFORMATION HAS BEEN FURNISHED TO THE DESIGNING ENGINEER (LUMSDEN ASSOCIATES, P.C.). A QUALIFIED GEOTECHNICAL ENGINEER, LICENSED IN THE STATE OF VIRGINIA, SHOULD BE CONSULTED CONCERNING SOIL STABILITY, SLOPE STABILIZATION, SOIL COMPACTION, TESTING, AND OTHER SOIL CHARACTERISTICS. LUMSDEN ASSOCIATES ASSUMES NO RESPONSIBILITY OR LIABILITY RELATING TO FAILURES RESULTING FROM SAME.

WESTERN VIRGINIA WATER AUTHORITY GENERAL NOTES

- ALL CONSTRUCTION METHODS AND MATERIALS SHALL CONFORM TO THE CONSTRUCTION STANDARDS AND SPECIFICATIONS OF THE WESTERN VIRGINIA WATER AUTHORITY, ROANOKE COUNTY AND/OR THE VIRGINIA DEPARTMENT OF TRANSPORTATION.
- A PRE-CONSTRUCTION CONFERENCE SHOULD BE SCHEDULED WITH ROANOKE COUNTY ENGINEERING DIVISION, AND THE WESTERN VIRGINIA WATER AUTHORITY, TO BE HELD AT LEAST ONE (1) DAY PRIOR TO ANY CONSTRUCTION.
- ALL WORK SHALL BE SUBJECT TO INSPECTION BY THE WESTERN VIRGINIA WATER AUTHORITY, ROANOKE COUNTY AND/OR THE VIRGINIA DEPARTMENT OF TRANSPORTATION INSPECTORS.
- THE DEVELOPER OR CONTRACTOR SHALL SUPPLY THE COUNTY, AND THE WESTERN VIRGINIA WATER AUTHORITY WITH CORRECT AS-BUILT PLANS BEFORE TENTATIVE ACCEPTANCE.
- FIELD CORRECTIONS SHALL BE APPROVED BY THE ROANOKE COUNTY ENGINEERING DIVISION AND THE WESTERN VIRGINIA WATER AUTHORITY BEFORE SUCH CONSTRUCTION.

APPROVED

LUMSDEN ASSOCIATES, P.C.  
ENGINEERS-SURVEYORS-PLANNERS  
ROANOKE, VIRGINIA

4654 BRANBLETON AVENUE  
PO BOX 20669  
ROANOKE, VIRGINIA 24018

PHONE: (540) 774-4411  
FAX: (540) 772-9445  
E-MAIL: MAIL@LUMSDENPC.COM

COMMONWEALTH OF VIRGINIA  
7-9-09  
B. LEE  
HENDERSON JR.  
No. 17591  
PROFESSIONAL ENGINEER

NOTES & DETAILS

WEST VILLAGE  
PHASE III  
PREPARED FOR  
WEST VILLAGE, L.L.C.  
CAVE SPRING MAGISTERIAL DISTRICT  
ROANOKE COUNTY, VIRGINIA

REVISIONS		DESCRIPTION	DATE
NO.	DATE	DESCRIPTION	DATE
1	7/8/09	REVIEW LOT COVERAGE & PARKING SPACE CALCULATION	
2			
3			
4			
5			

DATE: December 13, 2006  
SCALE: NO SCALE  
COMMISSION NO.: 2006-171  
SHEET 4 OF 16