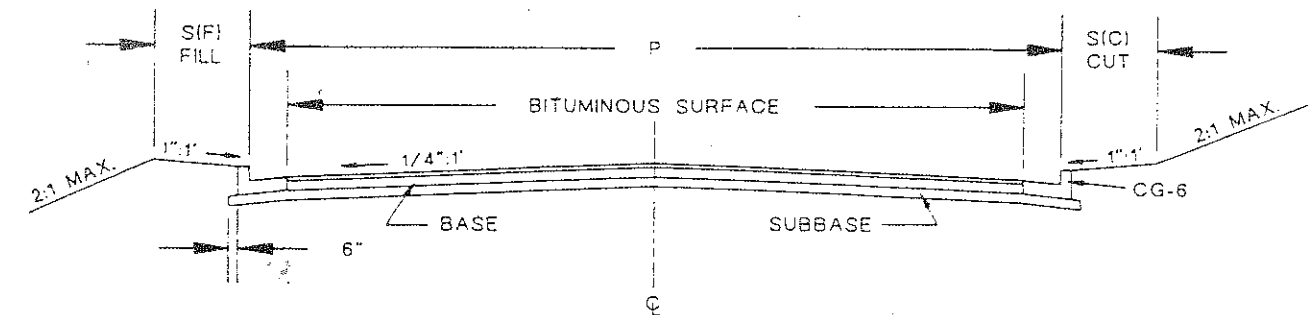




TYPICAL ROAD SECTION
CATEGORY I, II & III

TYPICAL STREET SECTION	DESIGN SPEED (MPH)	MAX GRADE	MIN. CL. RADIUS	P	SIF (4)	SIC (4)	R/W WIDTH	PUNT CAT.
I UP TO 250 VPD	25	16%	110'	30'	4' (6)	4'	50'	I
II 251 TO 400 VPD (S)	25	12%	190'	36'	4' (6)	4'	50'	II
III 401 TO 1000 VPD	25	12%	260'	36'	4' (6)	4'	50'	II, IV

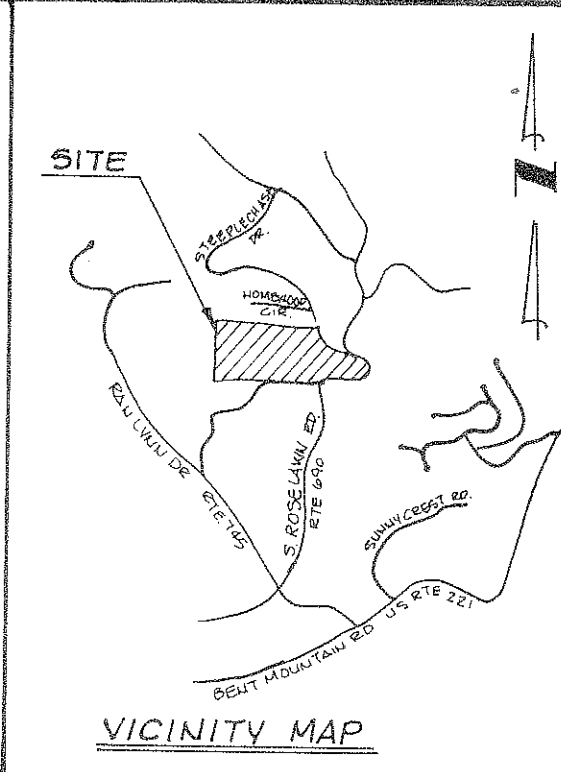
* NOTE: WITH APPROVAL, THESE STANDARDS CAN BE REDUCED TO CATEGORY I, BUT THE PAVEMENT DESIGN SHALL REMAIN A CATEGORY II. (CRITERIA PROOF OF FIXED GENERATION).

PAVEMENT CATEGORY I = 2" 5M-2A SURFACE
2" 21B BASE
SUBBASE COMPACTED TO 99% DENSITY.

PAVEMENT CATEGORY II = 2" 5M-2A SURFACE
2" 21B BASE
SUBBASE COMPACTED TO 99% DENSITY.

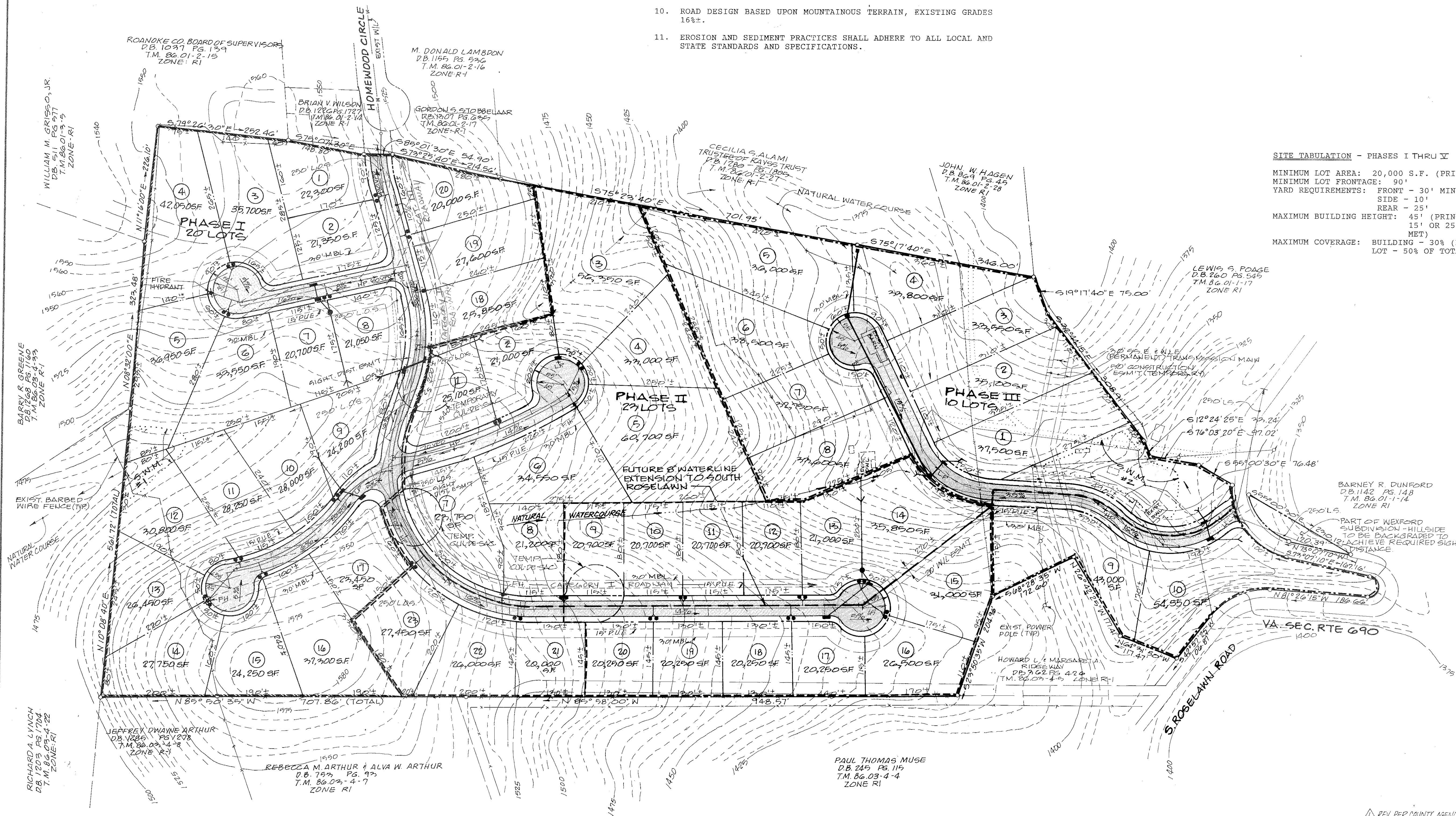
NOTES

- THIS PROPERTY IS LOCATED ON TAX MAP NUMBER 86.03-4-6 AND IS LOCATED OUTSIDE THE URBAN SERVICE DISTRICT. TOTAL AREA = 42.11 AC.
- CURRENT PROPERTY ZONING R-1 (TO REMAIN).
- BOUNDARY FROM DEEDS OF RECORD. FIELD SURVEYED BOUNDARY TO BE RUN PRIOR TO FINAL PLAN SUBMISSION.
- TOPOGRAPHIC INFORMATION TAKEN FROM USGS MAPS. FIELD RUN TOPO TO BE SUBMITTED WITH FINAL PLAN.
- PHASES I THRU IV SHALL BE SERVED BY PUBLIC WATER. SEE AVAILABILITY LETTER #93-209.
- REFER TO PLANIMETRIC MAP NN-6 FOR WATER LOCATION.
- SEPTIC AND DRAINFIELD SYSTEMS REQUIRED FOR EACH LOT. FIELD VERIFIED LOCATIONS TO BE PROVIDED WITH FINAL PLAN SUBMISSION AND SOILS REPORT SUBMITTED TO THE ROANOKE COUNTY HEALTH DEPARTMENT.
- FINAL STORMWATER FACILITY DETAILS AND COMPUTATIONS SHALL ACCOMPANY FINAL PLAN SUBMISSION.
- INTERSECTION SIGHT DISTANCES SHOWN WERE FIELD VERIFIED ON-SITE NOVEMBER 5, 1993.
- ROAD DESIGN BASED UPON MOUNTAINOUS TERRAIN, EXISTING GRADES 16%.
- EROSION AND SEDIMENT PRACTICES SHALL ADHERE TO ALL LOCAL AND STATE STANDARDS AND SPECIFICATIONS.



SITE TABULATION - PHASES I THRU IV

MINIMUM LOT AREA: 20,000 S.F. (PRIVATE SEWAGE, PUBLIC WATER)
MINIMUM LOT FRONTAGE: 90'
YARD REQUIREMENTS: FRONT - 30' MINIMUM BUILDING LINE
SIDE - 10'
REAR - 25'
MAXIMUM BUILDING HEIGHT: 45' (PRINCIPAL STRUCTURE)
15' OR 25' (IF PRINCIPAL SETBACKS ARE MET)
MAXIMUM COVERAGE: BUILDING - 30% (PRINCIPAL); 7% (ACCESSORY)
LOT - 50% OF TOTAL AREA



REV. PER COUNTY AGENCIES - PHASE II

- ① REV. PER CO. COMMENTS. 3/21/94
- ② REV. PER CO. COMMENTS. 4/12/94
- ③ REV. & GRADES 5/3/94

PHASE I

THIS SHEET FOR INFORMATION ONLY
NOT FOR CONSTRUCTION

BALZER
AND ASSOCIATES, INC.
PVT. INC.
SINCE 1964

PLANNERS ARCHITECTS
ENGINEERS SURVEYORS

1208 Corporate Circle
Roanoke, Virginia 24018
Phone: 703/772-9580
FAX: 703/772-8050

501 Branchway Road
Suite 100
Richmond, Virginia 23236
Phone: 804/794-0571
FAX: 804/794-2635

1514 East Parham Road
Richmond, Virginia 23228
Phone: 804/262-6046
FAX: 804/262-3037

AS-BUILT
PRELIMINARY PLAN
WEXFORD SUBDIVISION
ROANOKE COUNTY, VIRGINIA

DRAWN BY DRB
DESIGNED BY JDE
CHECKED BY JFJK/JDE
DATE: OCT. 13, 1993

REVISIONS
① DEC. 27, 1994
② 5/11/95

SCALE: 1"=100'
SHEET NO.

8 of 8

JOB NO.
93199-1

RC-5345