

VIRGINIA DEPARTMENT OF TRANSPORTATION GENERAL NOTES

1. QUALITY CONTROL

Streets to be graded, paved and all structural components erected in accordance with the Virginia Department of Transportation Road and Bridge Specifications and Road Design Standards dated January, 1987. All materials used shall be tested in accordance with standard policies. The developer must contact the office of the Resident Engineer, prior to beginning any construction, at which time an inspection and Testing Procedure Policy will be drawn. The developer will produce test reports from approved independent laboratories at the developer's expense.

The pavement designs shown are based on a subgrade rating of CBR10 or greater. The subgrade soil is to be tested by an independent laboratory and the results submitted to the Virginia Department of Transportation prior to pavement construction. Should the subgrade CBR values be less than CBR10, then additional base material will be required in accordance with departmental specifications.

The subgrade must be approved by Virginia Department of Transportation prior to placement of the base. Base must be approved by Virginia Department of Transportation for depth, template and compaction before surface is applied.

2. UTILITIES

All necessary utility laterals will be placed prior to pavement base and conduit provisions made for the same (i.e., water, sewer, gas and telephone).

Gas or petroleum transmission lines will not be permitted within the pavement or shoulder element (back of curb to back of curb) of this development. Service laterals crossing and pipe lines located outside the pavement but inside the right-of-way will be constructed in conformity with ADA 9 31.8 Specifications and Safety Regulations. Distribution lines with pressures less than 120 lbs. are unaffected by the above.

Permits will be required for all utilities within street right-of-way prior to acceptance into the secondary highway system.

Any easements granted to a utility company for placement of power, telephone, etc. must be released prior to acceptance.

3. PRIVATE ENTRANCES

Standard C-8 gutter will be provided at all entrances to private lots where standard C-4 curb and gutter is approved for use.

Permits will be required for all private entrances constructed on street rights-of-way prior to acceptance into the secondary highway system.

4. EROSION CONTROL AND LANDSCAPING

Care must be taken during construction to prevent erosion, dust and mud from damaging adjacent property, clogging ditches, tracking public streets and otherwise creating a public or private nuisance to surrounding areas.

The entire construction area back of curbs and/or pavement to be backfilled and seeded together with ditches and channels, at the earliest possible time after final grading.

Drainage easements must be defined by excavated ditches or channels for their full length to well defined existing natural watercourses.

This road will be reviewed during construction for the need of paved gutters. If erosion is encountered in any drainage easement, it will be the responsibility of the developer to sod, rip rap, grout, pave, or to do whatever is necessary to correct the problem.

All vegetation and overburden to be removed from shoulder to shoulder prior to the conditioning (cutting and/or preparation) of the subgrade.

5. MINIMUM PAVEMENT RADII OF 25 FEET REQUIRED AT ALL STREET INTERSECTIONS.

While these plans have been approved, such approval does not exempt connections with existing state-maintained roads from critical review at the time permit applications are made. This is necessary in order that the prevailing conditions be taken into consideration regarding safety accommodations such as turning lanes.

Standard guardrail with safety end sections may be required on fills as deemed necessary by the VDOT engineer. After completion of rough grading operations, the office of the Resident Engineer, Virginia Department of Transportation, shall be notified so that a field review may be made of the proposed locations.

Field review will be made during construction to determine the need and limits of paved gutter and/or ditch stabilization treatments, to determine the need and limits of additional drainage easements. All drainage easements must be cut and made to function to a natural watercourse. Any erosion problems encountered in an easement must be corrected by whatever means necessary prior to subdivision acceptance.

Contractor shall obtain entrance permit to the existing Virginia Department of Transportation right-of-way from Resident Engineer prior to road construction.

An inspector will not be furnished except for periodic progress inspection, the above mentioned field review and checking for required stone depths. The developer will be required to post a surety to guarantee the road free of defects for one year after acceptance by the Department of Transportation.

The streets must be properly maintained until acceptance. At such time as all requirements have been met for acceptance, another inspection will be made to determine that the street has been properly maintained.

In order to meet public service requirements, all streets must serve a minimum of three occupied dwellings prior to acceptance.

Contractor shall verify location and elevation of all underground utilities shown on the plans in areas of construction prior to starting work. Contact Engineer immediately if location or elevation is different from that shown on the plan. If there appears to be a conflict, and upon discovery of any utility not shown on this plan, call "Miss Utility" of Central Virginia at 1-800-552-7001.

Approval of these plans will be based on specifications and standards in effect at the time of approval and will be subject, until completion of the roadway and acceptance by the Department, to future revisions, of the specifications and standards.

EROSION AND SEDIMENT CONTROL NOTES

- ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL REFER TO "THE VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK", LATEST EDITION. REFER TO THIS HANDBOOK FOR STANDARDS AND SPECIFICATIONS.
- ADDITIONAL MEASURES MAY BE REQUIRED BY ROANOKE COUNTY TO CONTROL EROSION AND SEDIMENT.
- AS EACH HOUSE IS CONSTRUCTED, MEASURES SHALL BE TAKEN TO CONTROL EROSION PER ROANOKE COUNTY INSPECTORS, AND MAY INCLUDE, BUT NOT BE LIMITED TO, INSTALLATION OF SILT FENCE AND/OR STRAW BARRIERS TO CONTROL RUNOFF TO NEIGHBORING LOTS AND NATURAL DRAINAGE WAYS.
- ESC MEASURES SHALL BE INSPECTED WEEKLY AND AFTER EACH RAINFALL TO ENSURE PROPER FUNCTIONING.
- CONSTRUCTION TRAFFIC IN NATURAL STREAMS AND DRAINAGE WAYS IS TO BE AVOIDED WHENEVER POSSIBLE.
- THE CONTRACTOR IS REQUIRED TO REMOVE ALL SILT FROM STREAMS AND DRAINAGE WAYS PRIOR TO BOND RELEASE.
- PRIOR TO BEGINNING CONSTRUCTION, A PRE-CONSTRUCTION MEETING SHALL BE HELD ON-SITE. COUNTY OFFICIALS, ENGINEER AND CONTRACTOR MUST ATTEND MEETING.
- CONTRACTOR SHALL SEED OR TEMPORARILY STABILIZE ANY AREAS OF FINAL GRADE WITHIN SEVEN DAYS.

TEMPORARY SEEDING SHALL ADHERE TO SPECIFICATIONS AS SHOWN BELOW:

TEMPORARY SEEDING (RATES ON A PER ACRE BASIS)
WINTER - 40 LBS. ANNUAL RYE/40 LBS. CEREAL RYE
SUMMER - 40 LBS. ANNUAL RYE/40 LBS. FOXTAIL OR JAPANESE MILLET
FERTILIZER - 1,500 LBS. 10-18-10
LIME - 2 TONS

EROSION CONTROL PHASING NOTES

PHASE ONE SHALL CONSIST OF CLEARING AND CRUSHING ON-SITE AREAS. ALL PERIMETER EROSION-SEDIMENT CONTROL DEVICES SHALL BE PLACED AS THE FIRST STEP IN GRADING. THE STORMWATER MANAGEMENT POND AND TEMPORARY SEDIMENT BASIN SHALL ALSO BE CONSTRUCTED AND IMMEDIATELY STABILIZED.

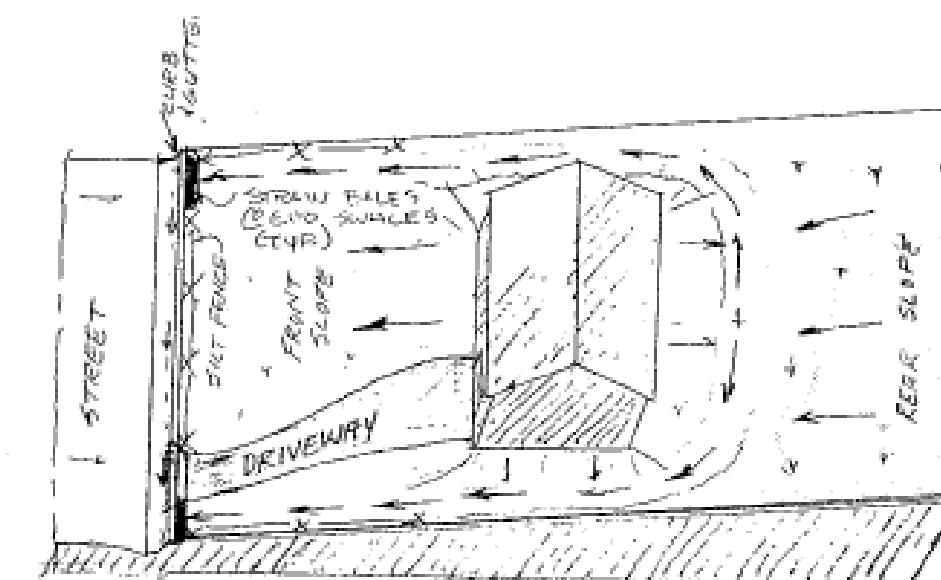
PHASE TWO CONSTRUCTION SHALL CONSIST OF ROAD BED CONSTRUCTION INCLUDING CUT AND EMBANKMENT SLOPES. EROSION AND SEDIMENT DEVICES SHOWN HEREON SHALL BE STEEP CONSTRUCTED TO CORRESPOND TO END OF DAY PROGRESS. RIPRAP SHALL BE PLACED AS SHOWN, ALONG WITH A SEDIMENT TRAP TO PROTECT FILL SLOPES.

PHASE THREE CONSTRUCTION SHALL CONSIST OF UTILITY TRENCHING AND STORM DRAINAGE CONSTRUCTION. AFTER UTILITY PLACEMENT, TRENCHES SHALL BE BACKFILLED AND COMPACTED AS REQUIRED. DROP INLETS AND STORM PIPE SHALL BE PLACED CONCURRENTLY. AFTER UTILITY INSTALLATION THE GRAVEL ROAD BASE SHALL BE APPLIED AS SPECIFIED. INLET AND OUTLET PROTECTION SHALL BE INSTALLED IMMEDIATELY AFTER GRAVEL BASE PLACEMENT. CRITICAL SLOPE STABILIZATION SHALL BE APPLIED WITHIN SEVEN DAYS AFTER REACHING FINAL GRADES. SEEDING SHALL ADHERE TO SPECIFICATIONS DICTATED ON THE EROSION CONTROL DETAIL SHEET.

EROSION CONTROL DEVICES MAY BE REMOVED AFTER ALL DISTURBED AREAS ARE STABILIZED AND WITH THE APPROVAL OF THE INSPECTOR. ROANOKE COUNTY RESERVES THE RIGHT TO REQUIRE ADDITIONAL EROSION CONTROL DEVICES AS FIELD CONDITIONS WARRANT THEIR PLACEMENT.

THE EXISTING UNDERGROUND UTILITIES SHOWN HEREON ARE BASED ON AVAILABLE INFORMATION. UTILITIES MAY EXIST WITHIN THE CONSTRUCTION AREA OF THESE PLANS THAT ARE NOT SHOWN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION AND DEPTH OF ALL UTILITIES BEFORE COMMENCING WORK, AND FOR ANY DAMAGES WHICH OCCUR BY HIS FAILURE TO LOCATE THESE UNDERGROUND UTILITIES. IF DURING CONSTRUCTION OPERATIONS THE CONTRACTOR SHOULD ENCOUNTER UTILITIES OTHER THAN THOSE SHOWN ON THESE PLANS, HE SHALL IMMEDIATELY NOTIFY THE ENGINEER AND TAKE NECESSARY AND PROPER STEPS TO PROTECT THE FACILITY AND ASSURE CONTINUANCE OF SERVICE. TO MISS UTILITIES, CALL "MISS UTILITIES" AT 1-800-552-7001 (TOLL FREE) 48 HOURS BEFORE DIGGING.

ALL CONSTRUCTION SHALL CONFORM TO THE COUNTY OF ROANOKE AND VIRGINIA DEPARTMENT OF TRANSPORTATION STANDARDS AND SPECIFICATIONS.



TYPICAL E.S.C. PLAN FOR LOTS

NOTE: FOR LOTS SLOPING TO THE REAR, SILT FENCE AND STRAW BALES SHALL BE PLACED AT THE CLEARING LIMITS. MEASURES SHALL BE EXTENDED TO THE LIMITS THAT WOULD INTERCEPT SEDIMENT LADEN RUNOFF FLOWING TOWARD DOWNSTREAM LOTS.

SILTATION AND EROSION CONTROL NARRATIVE

DESCRIPTION OF SITE

THIS PROJECT CONSISTS OF THE CONSTRUCTION OF A 23 LOT SUBDIVISION WITH ASSOCIATED ROADS AND SUPPORTING UTILITIES.

DATES OF CONSTRUCTION

WINTER OF 1994 TO SUMMER OF 1994.

EROSION CONTROL PROGRAM

EROSION-SILTATION DEVICES SHOWN HEREON ARE FOR CONSTRUCTION OF PROPOSED UTILITIES, CLEARING AND ROUGH GRADING. TEMPORARY DIVERSION Dikes, TOPSOIL, STOCK PILES AND ALL AREAS TO BE ROUGH GRADED DURING THE INITIAL PHASE OF CONSTRUCTION SHALL BE SEED WITH FAST-GERMINATING TEMPORARY VEGETATION IMMEDIATELY FOLLOWING GRADING. MIXTURE OF SEED WILL DEPEND ON THE TIME OF YEAR.

SEDIMENT CONTROL PROGRAM

ALL SEDIMENT CONTROLS AS INDICATED ON THIS CONTROL PLAN SHALL BE CONSTRUCTED AS SOON AS POSSIBLE, EITHER BEFORE, DURING, OR IMMEDIATELY AFTER GRADING.

MAINTENANCE PROGRAM

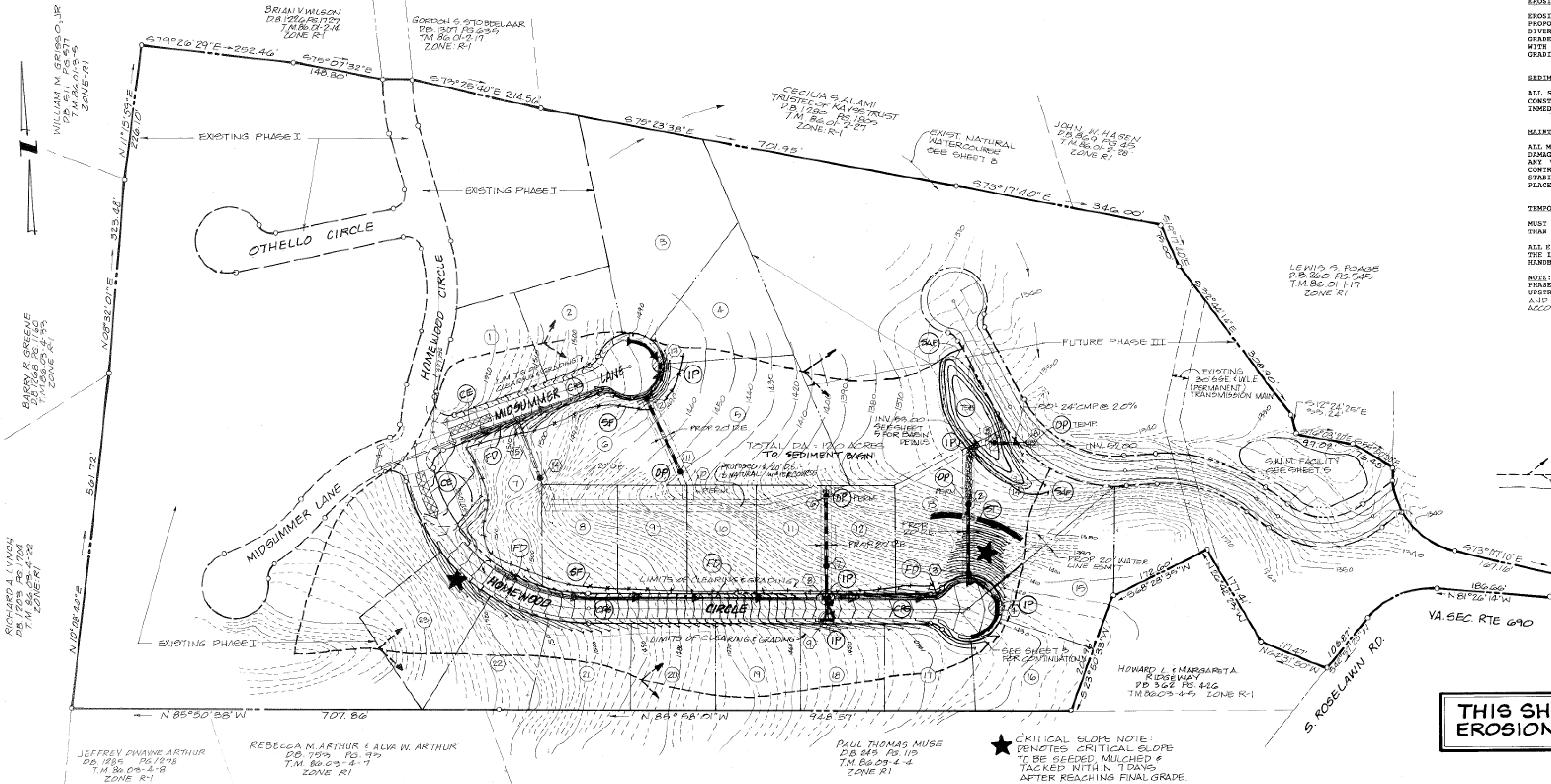
ALL MEASURES ARE TO BE INSPECTED DAILY BY THE SUPERINTENDENT. ANY DAMAGED STRUCTURES WILL BE REPAIRED BY THE CLOSE OF THE DAY, AND ANY VEGETATED AREA DAMAGED WILL BE REPAIRED WITHIN TWO DAYS. CONTROLS WILL BE REMOVED AFTER AREAS ABOVE THEM HAVE BEEN STABILIZED WITH GRASS, MULCH OR PAVING AND BASE COMPLETELY IN PLACE, WITH INSPECTOR'S APPROVAL.

TEMPORARY SEEDING AND MULCHING

MUST BE APPLIED ON ANY BARE SURFACE THAT WILL BE INACTIVE FOR MORE THAN SEVEN DAYS.

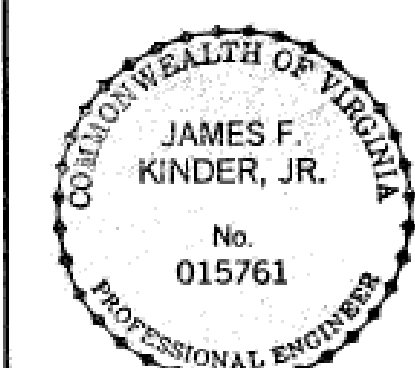
ALL EROSION-SILTATION CONTROL DEVICES AND MEASURES SHALL CONFORM TO THE LATEST EDITION OF THE "VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK".

NOTE: THE TEMP SEDIMENT BASIN SHALL BE BUILT AS A FIRST PHASE OF CONSTRUCTION TO MINIMIZE SILT RUNOFF DOWNSTREAM. AFTER UPSTREAM # 5 DEVICES ARE IN PLACE THE POND SHALL BE MUCKED OUT AND REFILLED TO ITS ORIGINAL GROUND ELEVATION AND SEEDING ACCORDING TO PERM. SEEDING SPECS ON SHEET 1.



THIS SHEET FOR
EROSION CONTROL ONLY

FIELD REV. PER OWNER
PER COUNTY AGENCIES



PLANNERS ARCHITECTS
ENGINEERS SURVEYORS

1208 Corporate Circle
Roanoke, Virginia 24018
Phone: 703/772-9500
FAX: 703/772-8050

501 Branchway Road
Suite 100
Richmond, Virginia 23226
Phone: 804/794-0571
FAX: 804/794-2635

1514 East Parham Road
Richmond, Virginia 23228
Phone: 804/262-6046
FAX: 804/264-3037

AS-BUILT
WEXFORD
PHASE II
OVERVIEW & EROSION CONTROL
ROANOKE COUNTY, VIRGINIA

DRAWN BY DRB
DESIGNED BY JDE
CHECKED BY JDE
DATE OCT. 10, 1994

REVISIONS
DEC. 27, 1994
NOV. 3, 1995
5-11-98

SCALE: 1"=100'
SHEET NO.

2 OF 8

JOB NO.
93199-1

RC-5825