

7. To eliminate misunderstanding in the future and to provide a convenient reference to all conditions to which rezoning of the property is subject, Whitescarver now proffers or reproffers, as the case may be, the conditions set forth in this paragraph numbered 7. These conditions are the sole conditions to which zoning of the property is subject and supersede all conditions previously proffered or adopted. The conditions are as follows:

(a) The property shall be developed further, if at all, in substantial conformity to the concept plan attached to this Petition as Exhibit C, consisting of two sheets, each showing Alterations and Addition to 4932 Frontage Road, N.W., and prepared by Whitescarver-Rodes & Associates, Inc., subject to any changes required by the City of Roanoke during site-plan review. Additional parking spaces may be provided and the parking area rearranged and relocated from time to time, provided that no part of the parking area is closer than fifty feet to the southeastern (rear) boundary of the Property.

(b) Natural vegetation will not be disturbed at the rear of the property within the area bounded by the rear (southeastern) boundary of the property, the parallel line 50 feet from the rear boundary and the side boundary lines. Setting and maintaining the trees described in condition (c) will not be deemed a disturbance of the vegetation.

(c) White pine trees will be set and maintained in two parallel rows, each row within ten (10) feet of the other and each approximately parallel to the rear (southeastern) boundary of the property and no closer than 30 feet and no farther than 60 feet from the rear boundary of the property. Trees initially set (and replacement trees from time to time) will be at least six (6) feet tall and will be set and maintained so that a distance no greater than six (6) feet separates any two (2) trees in one row and so that the trees are on alternating (staggered) centers as between the two (2) rows. In this condition the word "maintained" means that trees which die from time to time will be replaced by live trees.

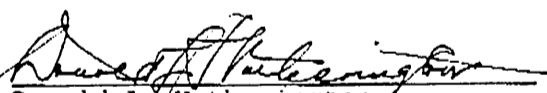
(d) Except to the extent of further development within the limits of condition (a) above, the residential character of the building situated on the property on January 6, 1993, will be maintained.

8. A list of owners of adjacent properties and their addresses is attached as Exhibit D.

WHEREFORE, Whitescarver-Rodes & Associates, Inc. requests that the proffered conditions to the present zoning classification of the Property be amended as set forth above.

Respectfully submitted,

WHITESCARVER-RODES & ASSOCIATES, INC.

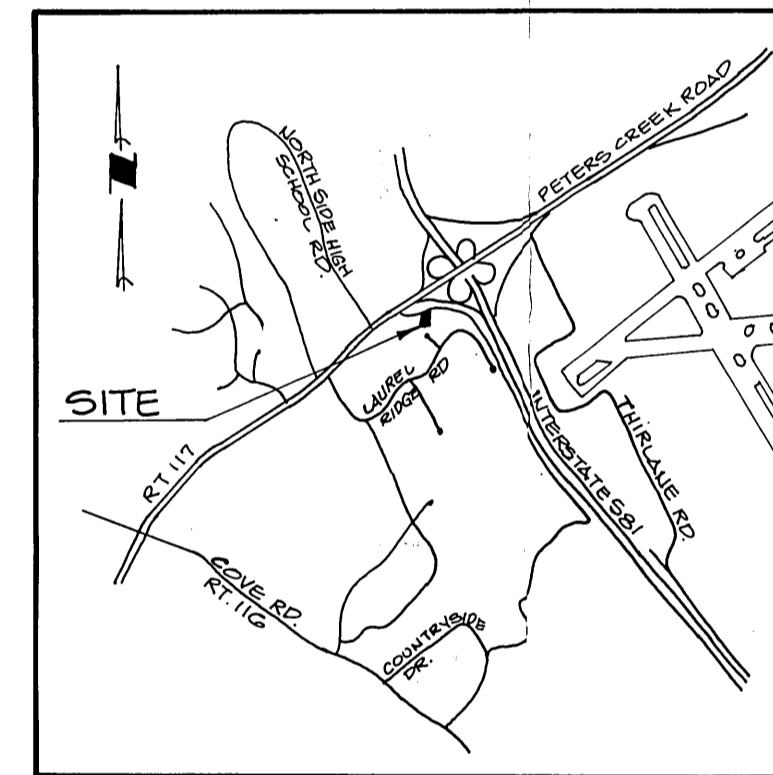
By: 
Donald L. Wetherington
of counsel

Donald L. Wetherington
Wetherington & Melchionna
Post Office Box 90
Roanoke, Virginia 24002
(703) 982-3800
Counsel for Petitioner

DEVELOPER: WHITESCARVER - RODES & ASSOCIATES, INC.
ADDRESS: P.O. BOX 8597
ROANOKE, VIRGINIA 24014
TELEPHONE: (703) 344-5113

WHITESCARVER-RODES & ASSOCIATES, INC. OFFICE BUILDING

4932 FRONTAGE ROAD, N.W.
CITY OF ROANOKE, VIRGINIA




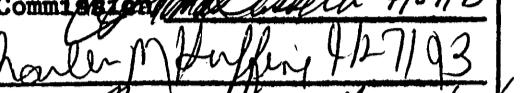
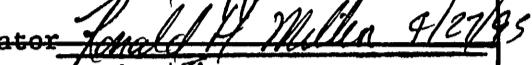
VICINITY MAP
Not to Scale

TAX NUMBER(S): 6490805
TRACT SIZE: 1.279 Ac.
PRESENT ZONING: C-1 CONDITIONAL
PRESENT USE: OFFICE BUILDING
PROPOSED USE: OFFICE BUILDING
SANITARY SEWER: CITY OF ROANOKE
WATER: CITY OF ROANOKE
STORM DRAINAGE: CITY OF ROANOKE

SURVEY NOTES

Horizontal control and boundary survey were performed by
BALZER & ASSOCIATES, INC. dated FEB. 1992.
Vertical control and topographic mapping were performed by
BALZER & ASSOCIATES, INC. dated FEB. 1992.
All elevations are referenced to the National Geodetic
Vertical Datum of 1929.

BENCHMARK: IRON PIPE SET IN CONC. MONUMENT AT
THE NORTHWEST PROPERTY CORNER
ELEV. = 1152.16

date
Agent, Planning Commission  4/1/93
City Engineer  4/2/93
Zoning Administrator  4/2/93

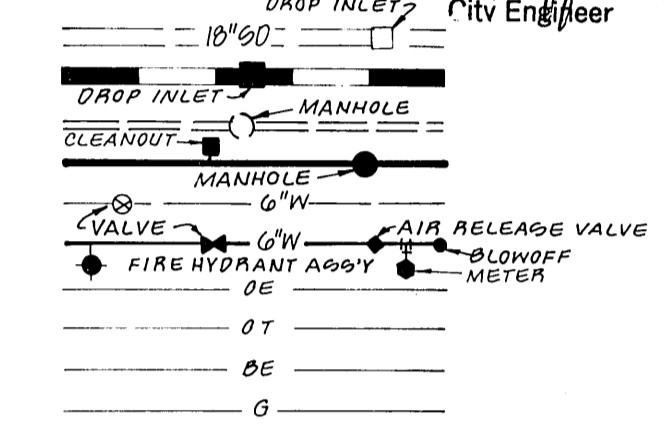
LEGEND
By changes to this approved plan must be coordinated with the Agent to the Planning Commission and revisions approved prior to construction.

BOUNDARY

PROPERTY LINE
DEED LINE
RIGHT-OF-WAY
CENTER LINE
MIN. BLDG. LINE
EASEMENT
FOUND IRON PIN
SET IRON PIN

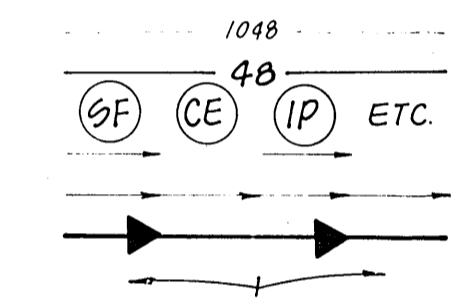
UTILITY

EXIST. STORM SEWER
PROP. STORM SEWER
EXIST. SANITARY SEWER
PROP. SANITARY SEWER
EXIST. WATERLINE
PROP. WATERLINE
OVERHEAD ELECTRIC
OVERHEAD TELEPHONE
BURIED ELECTRIC
GAS LINE



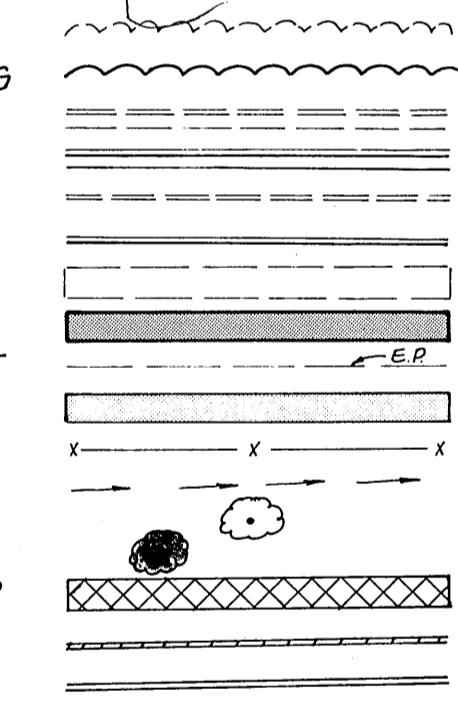
TOPOGRAPHY & ESC

EXIST. CONTOUR
PROP. CONTOUR
ESC DETAIL SYMBOL
GRASS DITCH
MESH LINED DITCH
PAVED DITCH
DRAINAGE DIVIDE



MISCELLANEOUS

EXIST. TREELINE
PROP. LIMITS OF CLEARING
EXIST. CURB & GUTTER
PROP. CURB & GUTTER
EXIST. CURB
PROP. CURB
EXIST. STRUCTURES
PROP. STRUCTURES
EXIST. EDGE OF PAVEMENT
PROP. PAVEMENT
FENCE
FLOW ARROWS
TREES TO BE REMOVED
TREES TO BE SAVED
EXIST. PAVEMENT TO BE REMOVED
PROPOSED CG-2 CURB
PROPOSED ASPHALT CURB



THE EXISTING UNDERGROUND UTILITIES SHOWN HEREON ARE BASED ON AVAILABLE INFORMATION. UTILITIES MAY EXIST WITHIN THE CONSTRUCTION AREA OF THESE PLANS THAT ARE NOT SHOWN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION AND DEPTH OF ALL UTILITIES BEFORE COMMENCING WORK, AND FOR ANY DAMAGES WHICH OCCUR BY HIS FAILURE TO LOCATE THESE UNDERGROUND UTILITIES. IF DURING CONSTRUCTION OPERATIONS THE CONTRACTOR SHOULD ENCOUNTER UTILITIES OTHER THAN THOSE SHOWN ON THESE PLANS, HE SHALL IMMEDIATELY NOTIFY THE ENGINEER AND TAKE NECESSARY AND PROPER STEPS TO PROTECT THE FACILITY AND ASSURE CONTINUANCE OF SERVICE. TO MISS UTILITIES, CALL "MISS UTILITIES" AT 1-800-552-7001 (TOLL FREE) 48 HOURS BEFORE DIGGING.

ALL CONSTRUCTION SHALL CONFORM TO THE CITY OF ROANOKE AND VIRGINIA DEPARTMENT OF TRANSPORTATION STANDARDS AND SPECIFICATIONS.

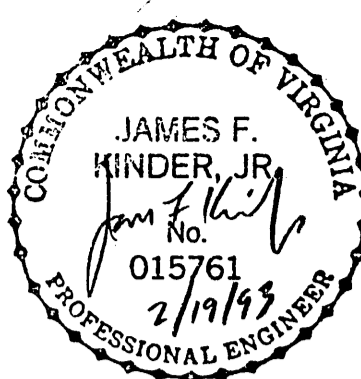
INDEX

SHEET 1 TITLE SHEET
SHEET 2 GRADING, ESC & UTILITY PLAN
SHEET 3 SITE DIMENSIONAL & NOTATION PLAN

APPROVED:

CITY ENGINEER, CITY OF ROANOKE _____ DATE _____

AGENT, CITY OF ROANOKE PLANNING COMMISSION _____ DATE _____



• PLANNERS • ARCHITECTS
• ENGINEERS • SURVEYORS

1208 Corporate Circle
Roanoke, Virginia 24018
Phone: 703/772-9580
FAX: 703/772-8050

501 Branchway Road
Suite 100
Richmond, Virginia 23236
Phone: 804/794-0571
FAX: 804/794-2635

1514 East Parham Road
Richmond, Virginia 23228
Phone: 804/262-6046
FAX: 804/264-3037

TITLE SHEET
WHITESCARVER-RODES
& ASSOCIATES, INC.
OFFICE BUILDING
CITY OF ROANOKE, VIRGINIA

DRAWN BY DRB
DESIGNED BY JDE
CHECKED BY JFK/JDE
DATE: FEB 12, 1993

REVISIONS
① 3-16-93
PER CITY ENGINEER
② 4-16-93 REV.
PER CITY COMMENTS
③ 4-22-93 REV.
PER CITY COMMENTS

SCALE NO SCALE
SHEET NO.

1 of 3

JOB NO.

93023

C93-010