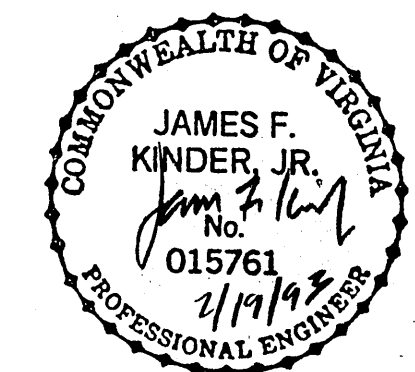
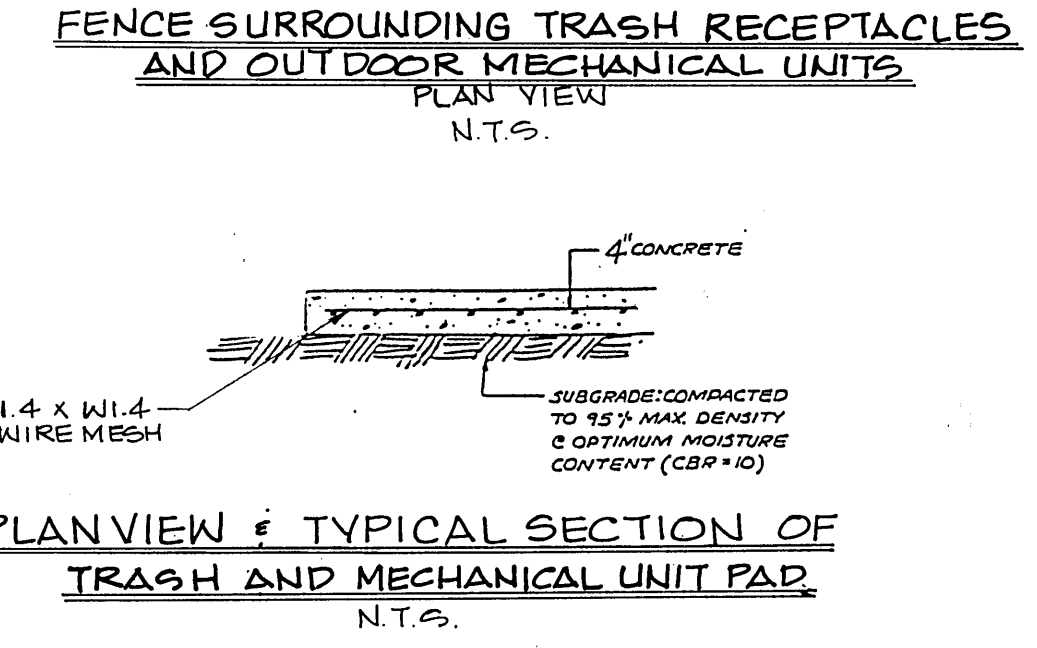
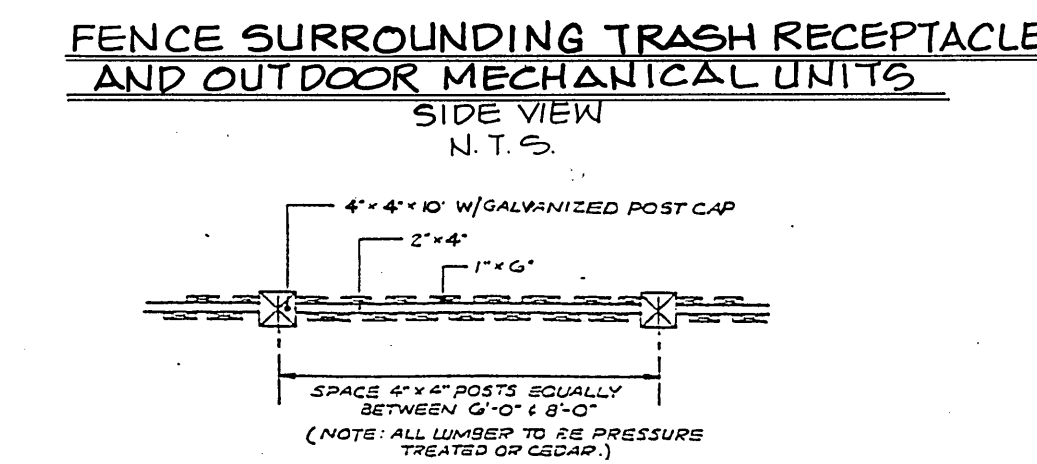
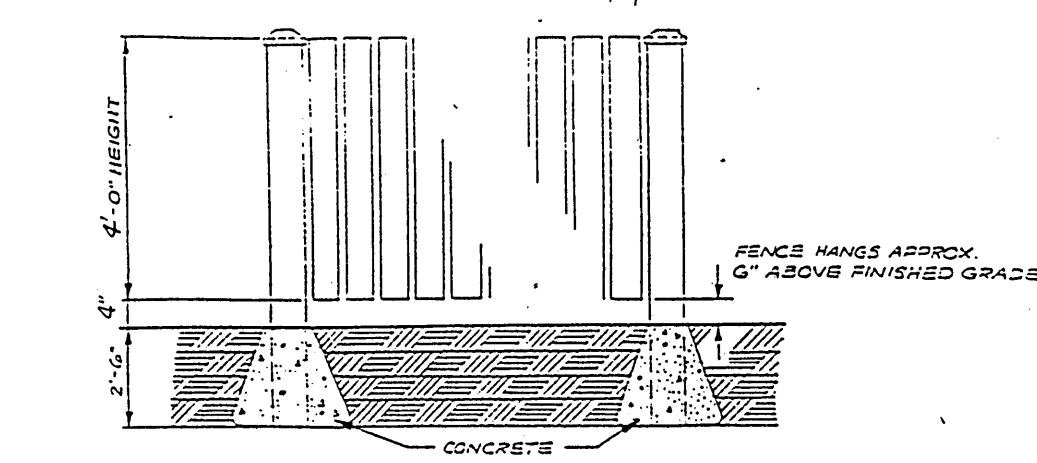
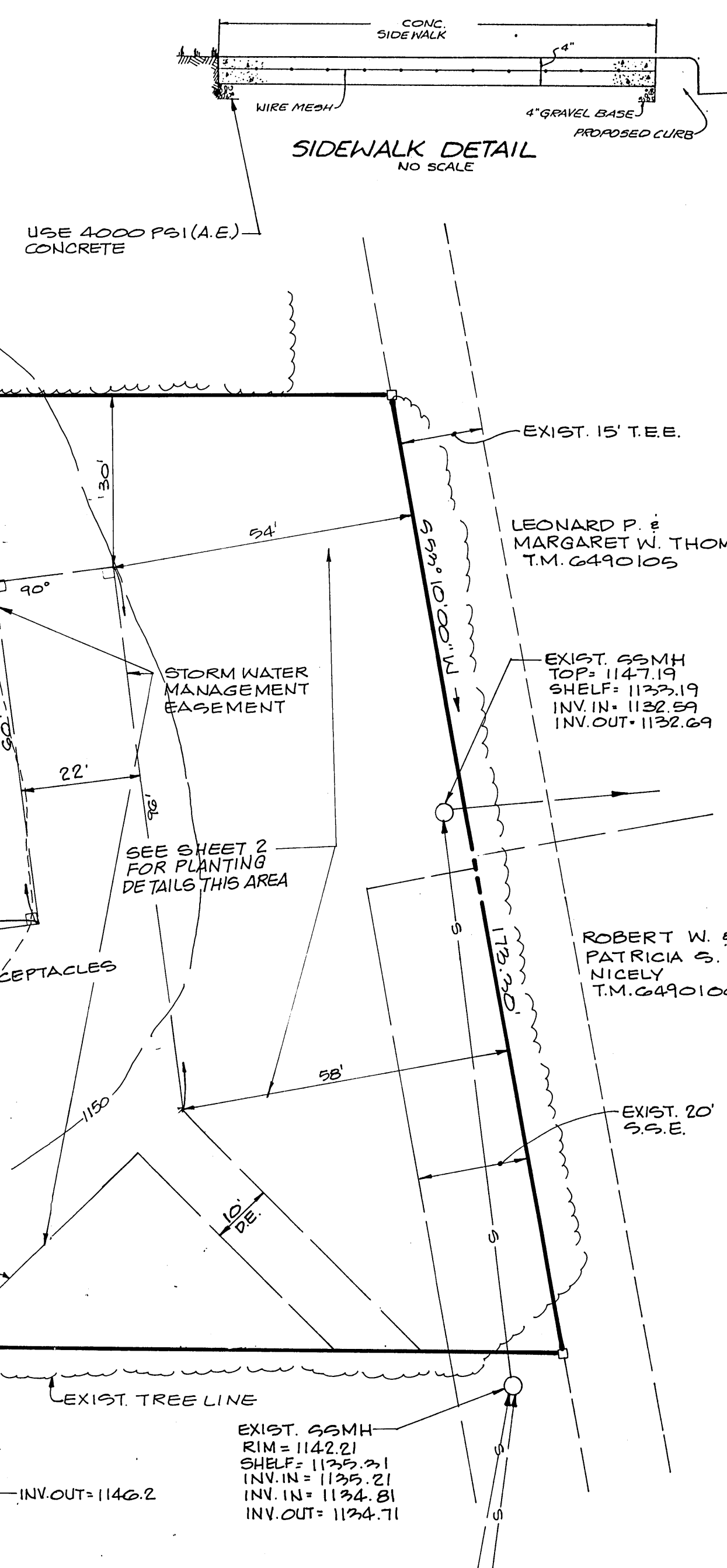
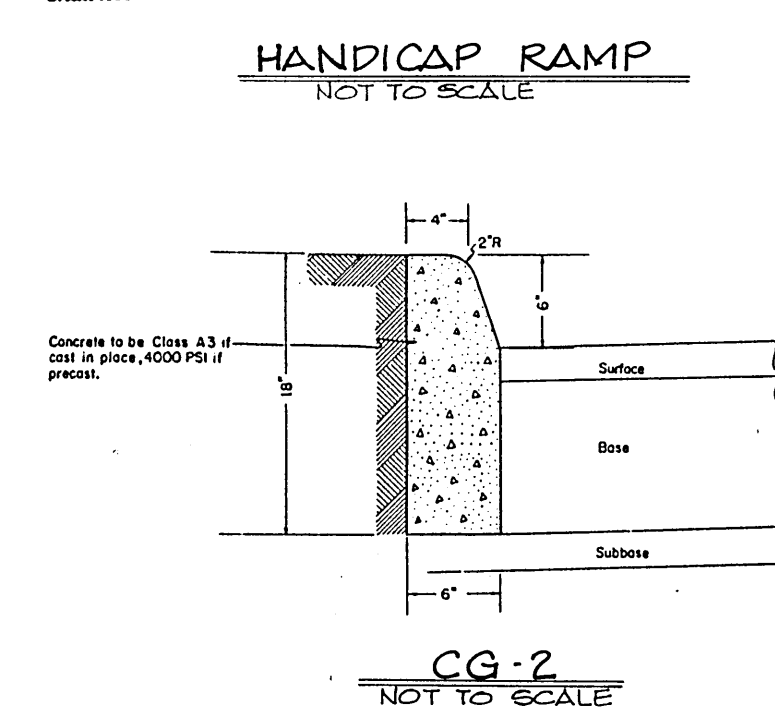
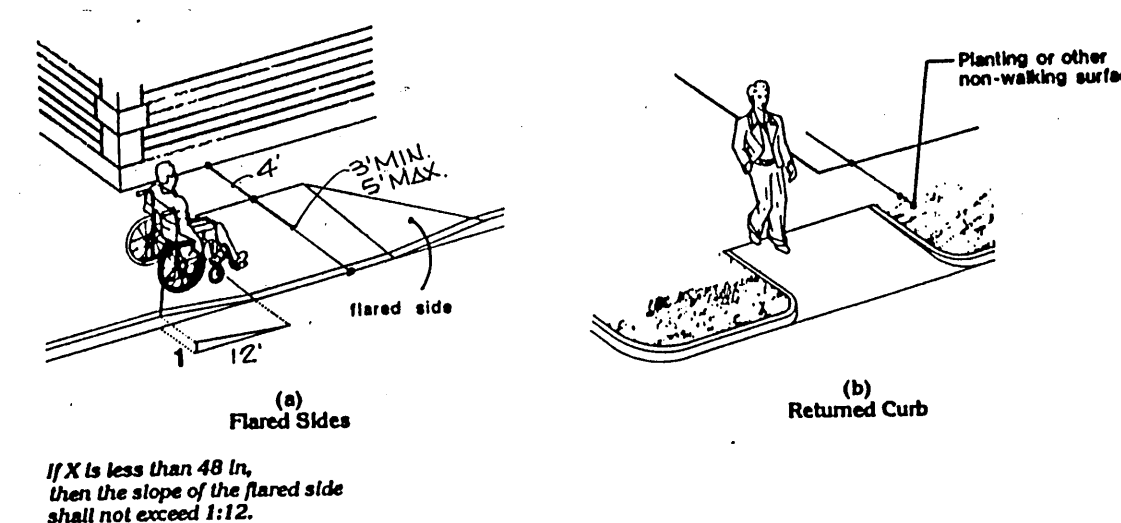
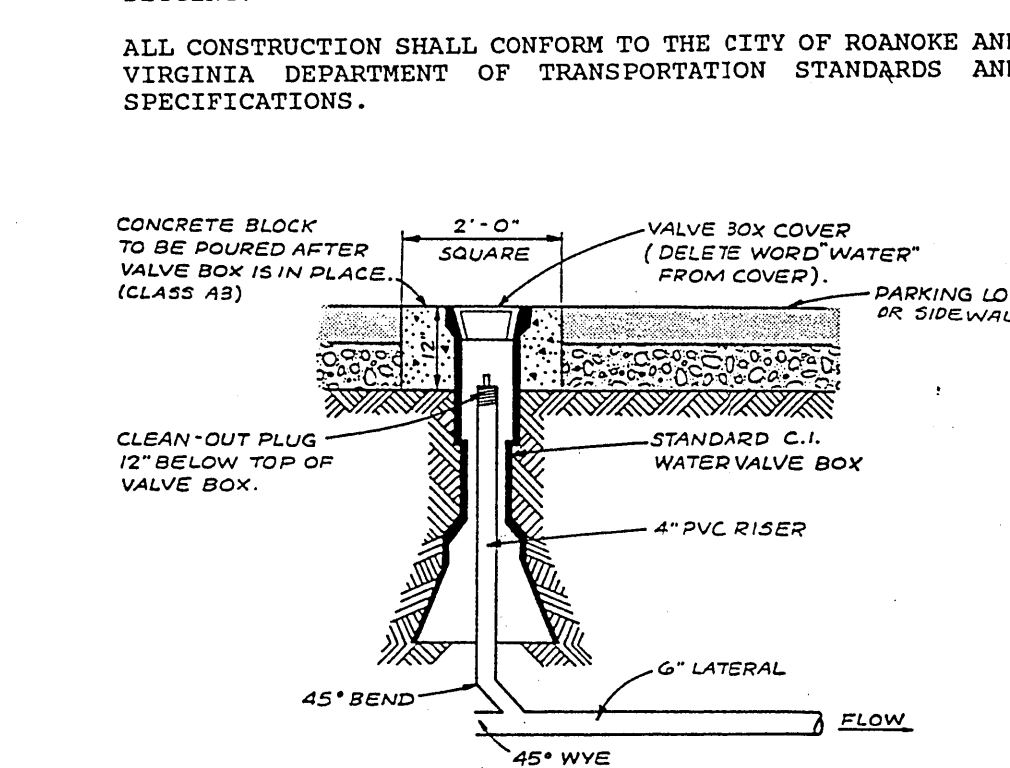
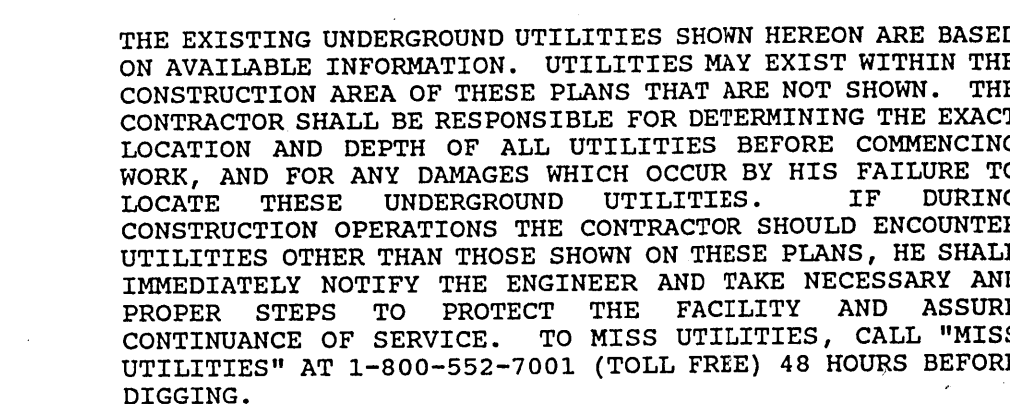
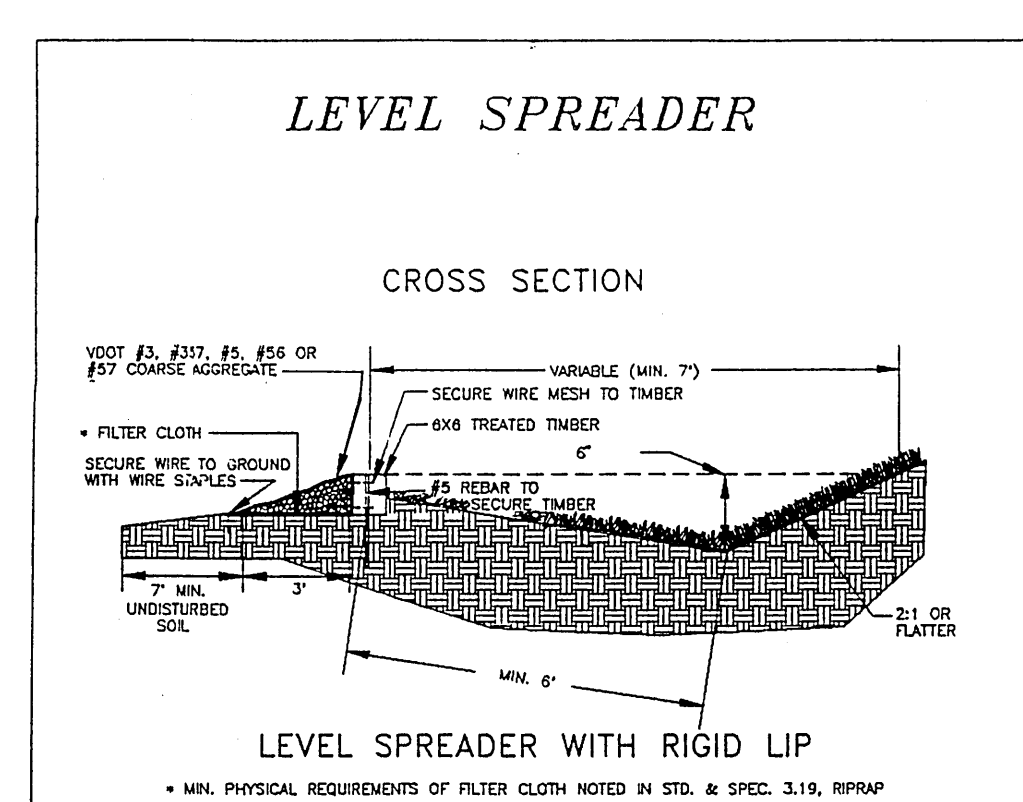


1. CITY INSPECTIONS: TO ENSURE THE COORDINATION OF TIMELY AND PROPER INSPECTIONS, A PRECONSTRUCTION CONFERENCE SHALL BE INITIATED BY THE CONTRACTOR WITH THE CITY BUILDING DEPARTMENT. 7 DAYS/48-72 HOURS TO ARRANGE A CONFERENCE AT LEAST THREE (3) DAYS PRIOR TO ANTICIPATED CONSTRUCTION
2. STREET OPENING PERMIT: PRIOR TO THE COMMENCEMENT OF ANY SIGING, ALTERATIONS, OR CONSTRUCTION WITHIN THE PUBLIC RIGHT-OF-WAY (STREETS, ALLEYS, PUBLIC EASEMENTS) A STREET OPENING PERMIT SHALL BE APPLIED FOR AND OBTAINED BY THE CONTRACTOR FROM THE CITY OF ROANOKE
3. PLANS AND PERMITS: A COPY OF THE PLANS APPROVED BY THE CITY (SENDER BY THE PROJECT CITY OFFICIALS) AND ALL PERMITS ISSUED BY THE CITY SHALL BE AVAILABLE AT THE CONSTRUCTION SITE AT ALL TIMES OF ONGOING CONSTRUCTION.
4. LOCATION OF UTILITIES: THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL EXISTING UTILITIES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION.
5. CONSTRUCTION ENTRANCE: THE CONTRACTOR SHALL INSTALL AN ADEQUATE CONSTRUCTION ENTRANCE FOR ALL CONSTRUCTION-RELATED TRAFFIC FROM THE SITE. THE SIZE AND LOCATION OF CONSTRUCTION ENTRANCE SHALL BE DETERMINED BY THE CITY SITE PLAN INSPECTOR.
6. STREETS TO REMAIN CLEAN: IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO INSURE THAT THE PUBLIC STREET ADJACENT TO THE CONSTRUCTION ENTRANCE REMAINS FREE OF MUD, DIRT, DUST, AND/OR ANY TYPE OF CONSTRUCTION MATERIALS OR LITTER AT ALL TIMES.
7. BARRICADES/DITCHES: THE CONTRACTOR SHALL MAINTAIN THE INTEGRITY OF ALL EXCAVATED DITCHES AND SHALL FURNISH AND ENSURE THAT ALL BARRICADES PRIOR AND NECESSARY FOR THE SAFETY OF THE PUBLIC ARE IN PLACE.
8. SEWER AND PAVEMENT REPLACEMENT: CONSTRUCTION OF SANITARY SEWERS AND THE REPLACEMENT OF PAVEMENT SHALL BE IN ACCORDANCE WITH APPROVED STANDARDS AND SPECIFICATIONS OF THE CITY OF ROANOKE.
9. APPROVED PLANS/CONSTRUCTIONS CHANGES: ANY CHANGE OR VARIATION FROM CONSTRUCTION DESIGN AS SHOWN ON THE OFFICIALLY APPROVED PLANS SHALL BE APPROVED BY THE CITY ENGINEER PRIOR TO SAID CHANGES OR VARIATIONS IN CONSTRUCTION BEING MADE.
10. FINAL ACCEPTANCE/CITY: THE DEVELOPER OR CONTRACTOR SHALL FURNISH THE CITY OF ROANOKE ENGINEERING DEPARTMENT WITH A FINAL CORRECT SET OF AS-BUILT PLANS PRIOR TO FINAL ACCEPTANCE BY THE CITY.

1. INSPECTIONS SHALL BE COORDINATED WITH ROANOKE CITY BY THE CONTRACTOR.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS.
3. THE PROPERTY LOCATED HEREON IS LOCATED ON TAX MAP 6499005.
4. ALL UNSUITABLE MATERIAL AND DEBRIS WITHIN THE CONSTRUCTION AREA CO THESE PLANS SHALL BE REMOVED AND DISPOSED OF IN A MANNER APPROVED BY ROANOKE CITY AND THE STATE OF VIRGINIA.
5. THE CONTRACTOR SHALL CONSULT WITH THE OWNER REGARDING ANY LANDSCAPING AROUND THE BUILDING. EXISTING TREES AND VEGETATION TO REMAIN WHERE INDICATED ON THE PLAN. PROPOSED SCREENING PINES SHALL BE PLANTED AS SPECIFIED ON THE PLANS.
6. WATER AND SEWER CONNECTIONS TO BUILDING SHALL FOLLOW ROANOKE CITY ORDINANCES. TAPPING FEES SHALL BE PAID BY THE DEVELOPER AND ACTUAL TAPPING SHALL BE PERFORMED BY ROANOKE CITY. UTILIZE EXISTING SERVICES WHERE POSSIBLE. FIELD VERIFY LOCATIONS.
7. THE CONTRACTOR SHALL VERIFY/DETERMINE THE EXACT LOCATION OF THE SEPTIC SYSTEM AND DRAINFIELD AND REMOVE IT COMPLETELY. THE CONTRACTOR SHALL ALSO INCREASE AND OVER-EXCAVATE THE AREA AS NECESSARY TO ENSURE REMOVAL OF ALL UNSUITABLE MATERIAL. AREAS OVER-EXCAVATED SHALL BE BROUGHT TO REQUIRED GRADE BY PLACING TOPSOIL IN LIFTS AND INCREASED AREA CONTRACTOR TO MAXIMUM DENSITY. IF UNCERTAINTY EXISTS TO THE STRUCTURAL INTEGRITY OF THE SOIL AFTER OVER-EXCAVATION, THE CONTRACTOR SHALL CONSULT WITH THE OWNER AND HIRE A GEOTECHNICAL ENGINEER TO VERIFY SUFFICIENCY OF SOIL BEARING CAPACITIES BEFORE PLACING CONTROLLED FILL.
8. REFER TO THE ARCHITECTURAL PLANS FOR SPECIFICATIONS AND DETAILS PERTAINING TO ELECTRICAL, MECHANICAL AND PLUMBING SYSTEMS.
9. REFER TO ARCHITECTURAL PLANS FOR EXTERIOR LIGHTING DETAILS, SPECIFICATIONS AND LOCATIONS. ALLOWABLE EXTERIOR LIGHTING INTENSITIES PER CITY OF ROANOKE.
10. TEMPORARY TOILET FACILITIES MUST BE PLACED ON THE SITE PRIOR TO BEGINNING WORK. ONE TEMPORARY TOILET PER THIRTY WORKERS/ EXISTING FACILITIES ARE NOT FUNCTIONAL.

TAX MAP NUMBER: 6490805
ZONED: C-1 CONDITIONAL (SEE PROFFERS)
USE: OFFICE
SETBACK: 30'
SIDE YARD: 12'
REAR YARD: 25'
HEIGHT: 35'
MAXIMUM LOT COVERAGE: 50% - 0.65 ACRE
LOT COVERAGE PROVIDED: 10% - 0.13 ACRE
LANDSCAPING: PER PROFFERS
PARKING (OFFICE) REQUIRED:
1 SPACE REQUIRED PER 300 S.F. N.F.A.
G.F.A. = 5,496 S.F.
N.F.A. = 4,396 S.F. (0.8 x 5,496)
4,396 ÷ 300 = 15 SPACES
PARKING PROVIDED: 24 SPACES + 2 HANDICAP SPACES
LOADING SPACES REQUIRED: 1 SPACE
RECIPIENT PARKING PROVIDED: 1 SPACE
RECIPIENT PARKING LANDSCAPING: 5% OF 7,440 S.F. TOTAL = 372 S.F.
RECIPIENT PARKING LANDSCAPING: 5,466 S.F.



- PLANNERS
- ARCHITECTS
- ENGINEERS
- SURVEYORS

**1208 Corporate Circle
Roanoke, Virginia 24018
Phone: 703/772-9580
FAX: 703/772-8050**

**501 Branchway Road
Suite 100
Richmond, Virginia 23236
Phone: 804/794-0571
FAX: 804/794-2635**

**1514 East Parham Road
Richmond, Virginia 23228
Phone: 804/262-6046
FAX: 804/264-3037**

**SITE DIMENSIONAL AND
NOTATION PLAN
WHITESCARVER-RODES
& ASSOCIATES, INC.
OFFICE BUILDING
CITY OF ROANOKE, VIRGINIA**

DRAWN BY DRB
DESIGNED BY JDE
CHECKED BY JFK/JDE
DATE FEB. 12, 1993

REVISIONS

- ① 3-16-93
PER CITY & CLIENT
- ② 4-16-93 REV.
PER CITY COMMENTS.
- ③ 4/22/93 REV.
PER CITY COMMENTS

SCALE: 1" = 20'

SHEET NO.

JOB NO. 93023