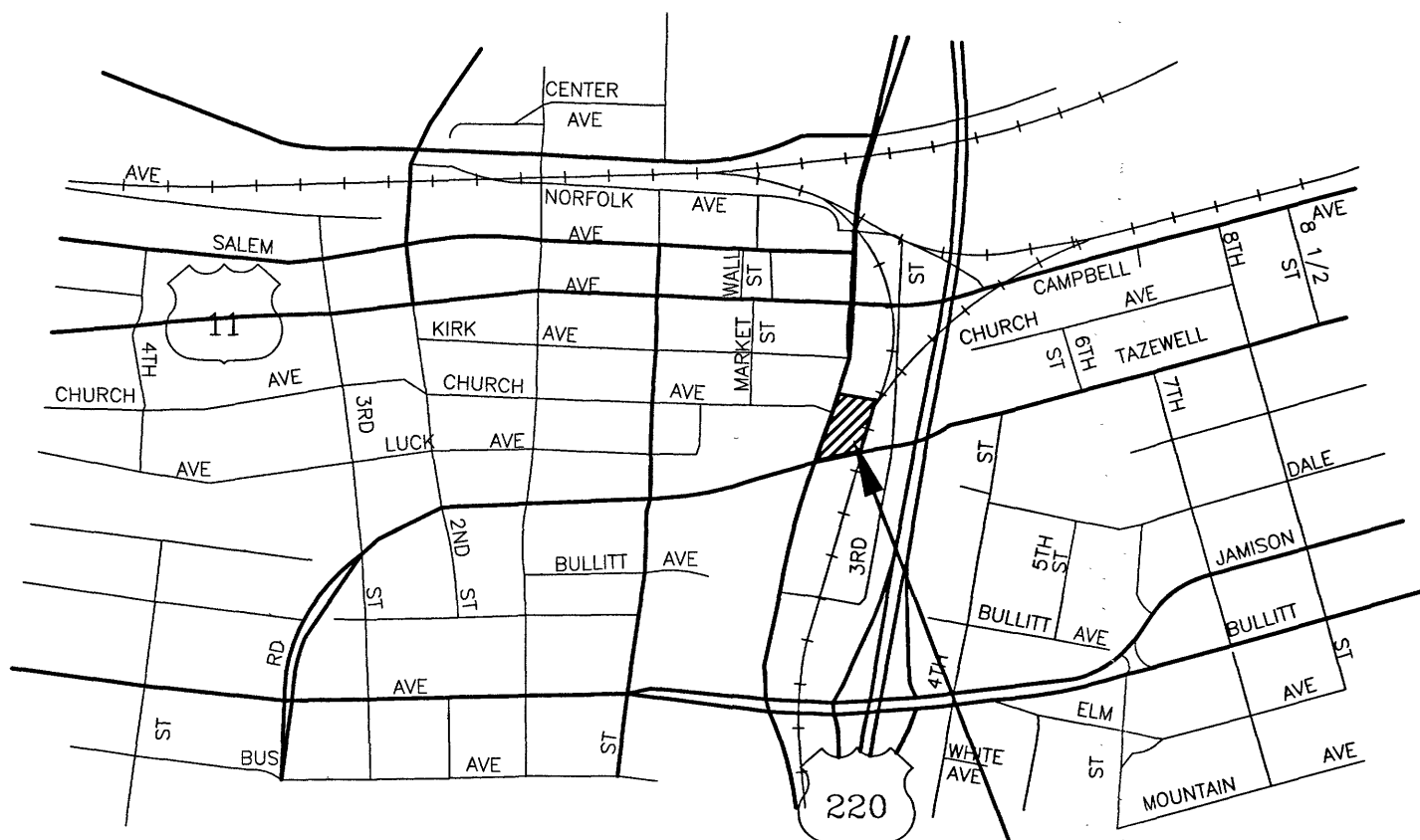


## VICINITY MAP

NTS



## LEGEND

	CONCRETE		BLDG. TO BE REMOVED		PVMT. (T.B.R.)		CG-6 (WET)
	ASPHALT PAVING		HEAVY DUTY ASPHALT PAVING		PVMT TO BE MILLED		CG-6 (DRY)

	EX. INTRMDT. CONTOUR		PROP. INTRMDT. CONTOUR
	EX. INDEX CONTOUR		PROP. INDEX CONTOUR
	EX. SPOT ELEVATION		PROP. SPOT ELEVATION
	EX. WATER LINE		PROP. WATER LINE
	EX. SANITARY SEWER		PROP. SANITARY SEWER
	EX. STORM PIPE		PROP. STORM PIPE
	EX. EDGE OF PAVEMENT		PROP. EDGE OF PAVEMENT
	EX. BUILDING		PROP. BUILDING
	EX. CONCRETE		PROP. CONCRETE
	EX. PAVEMENT		PROP. ASPHALT PAVEMENT (STANDARD/HEAVY DUTY)
	EX. GRAVEL		PROP. GRAVEL
	PAVEMENT REPLACEMENT		PROP. PAVERS
	EX. POWER POLE		PROP. POWER POLE
	EX. SANITARY SEWER MANHOLE		PROP. SANITARY SEWER MANHOLE
	EX. STORM SEWER MANHOLE		SIGN
	CLEANOUT		WATER METER
	EX. LIGHT POLE		PROP. GATE VALVE
	WATER LINE REDUCER		BLOW-OFF VALVE
	EX. TELEPHONE		BENCHMARK
	EX. GAS LINE		PROP. GAS LINE
	EX. OVERHEAD CABLE		PROP. OVERHEAD CABLE
	EX. FENCE		PROP. UNDERGRND POWER LINE
	EX. TREE LINE		PROP. FENCE
	ADJOINING PROPERTY LINE		PROP. TREE LINE
	EXISTING ROAD MONUMENTS		SITE PROPERTY LINE
	FLOODPLAIN LINE		INLET PROTECTION

## ABBREVIATIONS

AHFH	ARROW HEAD TOP OF FIRE HYDRANT	EW	EXIST	ENDWALL	RR	RAILROAD
APPROX	APPROXIMATE	FDN	EXISTING	FOUNDATION	RYS	REAR YARD SETBACK
ASPH	ASPHALT	FF	FINISH FLOOR	FINISH FLOOR	SAN	SANITARY
BC	BOTTOM OF CURB	FG	FINISH GRADE	FINISH GRADE	SBL	SOUTH BOUND LANE
BIT	BITUMINOUS	GBE	GRADE BREAK ELEVATION	GRADE BREAK ELEVATION	SD	STORM DRAIN
BLDG	BUILDING	GBS	GRADE BREAK STATION	GRADE BREAK STATION	SECT	SECTION
BLK	BLACK	HOA	HOMEOWNERS ASSOCIATION	HOMEOWNERS ASSOCIATION	SE	SLOPE EASEMENT
BW	BENCHMARK	HPT	HIGH POINT	HIGH POINT	SS	SANITARY SEWER
BVCE	BEGIN VERT. CURVE STA.	HSO	HEADLIGHT SIGHT DISTANCE	HEADLIGHT SIGHT DISTANCE	SSE	SANITARY SEWER EASEMENT
BVCS	BEGIN VERT. CURVE ELEV.	INTX	INTERSECTION	INTERSECTION	STA	STATION
BW	BOTTOM OF WALL	INV	INVERT	INVERT	STD	STANDARD
CB	CINDER BLOCK	IP	IRON PIN	IRON PIN	STO	STORAGE
C&G	CURB & GUTTER	LT	LEFT	LEFT	SYS	SIDE YARD SETBACK
CMP	CORRUGATED METAL PIPE	LVC	LENGTH OF VERTICAL CURVE	LENGTH OF VERTICAL CURVE	TBR	TO BE REMOVED
CONC	CONCRETE	MH	MANHOLE	MANHOLE	TC	TOP OF CURB
COR	CORNER	MIN	MINIMUM	MINIMUM	TEL	TELEPHONE
DBL	DOUBLE	MBL	MINIMUM BUILDING LINE	MINIMUM BUILDING LINE	TRANS	TRANSFORMER
DEFL	DEFLECTION	MON	MONUMENT	MONUMENT	TW	TOP OF WALL
DI	DROP INLET	NBL	NORTH BOUND LANE	NORTH BOUND LANE	TYP	TYPICAL
DIA	DIAMETER	PROP	PROPOSED	PROPOSED	VDOT	VIRGINIA DEPARTMENT OF TRANSPORTATION
DE	DRAINAGE EASEMENT	PUE	PUBLIC UTILITY EASEMENT	PUBLIC UTILITY EASEMENT	VERT	VERTICAL
ELEC	ELECTRIC	PVMT	PAVEMENT	PAVEMENT	VSD	VERTICAL SIGHT DISTANCE
ELEV	ELEVATION	R	RADIUS	RADIUS	WBL	WEST BOUND LANE
ENTR	ENTRANCE	RT	RIGHT	RIGHT	YD	YARD
EP	EDGE OF PAVEMENT	R.O.W.	RIGHT OF WAY	RIGHT OF WAY		
EVCE	END VERT. CURVE STA.	REQD	REQUIRED	REQUIRED		
EVCS	END VERT. CURVE ELEV.	RR	RAILROAD	RAILROAD		

## WILLIAMSON &amp; TAZEWEILL

206 WILLIAMSON ROAD, S.E.

## SHEET INDEX

C1	COVER SHEET
C2	EXISTING CONDITIONS & DEMOLITION PLAN
C3	LAYOUT & UTILITY PLAN
C3a	STRUCTURAL FOOTING EXHIBIT PLAN
C4	GRADING PLAN
C5	E.S.C. PLAN
C6	E.S.C. NOTES & DETAILS
C7	NOTES, SOILS & PROFILES
C8	LANDSCAPE PLAN
C9	DETAILS A
C10	DETAILS B
C11	DETAILS C
C12	FOUNDATION PLAN EXHIBIT
A0.1	SCHEMATIC EXTERIOR LIGHTING PLAN

## WESTERN VIRGINIA WATER AUTHORITY NOTES:

AVAILABILITY No.: 14-390

## GENERAL NOTES:

A PRE-CONSTRUCTION MEETING SHALL BE SCHEDULED WITH THE WESTERN VIRGINIA WATER AUTHORITY TO BE HELD AT LEAST ONE (1) DAY PRIOR TO ANY CONSTRUCTION OF THE APPROVED WATER AND SANITARY SEWER FACILITIES.

A MINIMUM COVER OF THREE (3) FEET IS REQUIRED OVER PROPOSED LINES.

ALL SANITARY SEWER AND WATER CONNECTIONS TO EXISTING LINES SHALL BE COORDINATED WITH AND PERFORMED BY THE WESTERN VIRGINIA WATER AUTHORITY.

CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND UNCOVERING VALVE VAULTS, MANHOLES, ETC. AFTER PAVING AND ADJUSTING TO FINAL GRADE IF NECESSARY.

ALL EXISTING UTILITIES MAY NOT BE SHOWN OR MAY NOT BE SHOWN IN THE EXACT LOCATION. THE CONTRACTOR SHALL COMPLY WITH THE STATE WATER WORKS REGULATIONS, SECTION 12.05.03, WHERE LINES CROSS.

ALL TRENCHES IN EXISTING OR FUTURE HIGHWAY RIGHT-OF-WAYS SHALL BE COMPACTED ACCORDING TO CITY OF ROANOKE STANDARDS.

LINES SHALL BE STAKED PRIOR TO CONSTRUCTION.

CONTRACTOR SHALL REFER TO THE WESTERN VIRGINIA WATER AUTHORITY STANDARD WATER AND SEWER REGULATIONS FOR CONSTRUCTION DETAILS AND INSTALLATION METHODS AS REQUIRED TO COMPLETE THE PROPOSED UTILITY FACILITIES AS INDICATED BY THESE DRAWINGS.

FIELD CORRECTIONS SHALL BE APPROVED BY THE WVWA ENGINEERING DIVISION PRIOR TO SUCH CONSTRUCTION.

THE CONTRACTOR SHALL PROVIDE THE WESTERN VIRGINIA WATER AUTHORITY WITH CORRECT AS-BUILT PLANS PRIOR TO SUBSTANTIAL COMPLETION OF ANY NEW PUBLIC EXTENSIONS.

## WATER NOTES:

WATER MAINS SHALL BE MINIMUM CLASS 350 DUCTILE IRON IN ACCORDANCE TO AWWA C151 OR DR-14 PVC IN ACCORDANCE WITH AWWA C-900.

WATER LATERALS FROM THE METER TO THE BUILDING SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE INTERNATIONAL BUILDING CODE.

THE CONSTRUCTION OF THE PROPOSED PUBLIC WATER MAIN AND ALL COMMERCIAL SERVICES SHALL BE IN COMPLIANCE WITH THE CURRENT WESTERN VIRGINIA WATER AUTHORITY REGULATIONS. REFER TO THESE REGULATIONS FOR COMPLETE DETAILS AND INSTALLATION METHODS.

## SEWER NOTES:

COMMERCIAL SANITARY SEWER LATERAL SHALL BE MINIMUM 6" PIPE INSTALLED AT SLOPES AS SHOWN ON THE PLAN.

THE LATERALS AND REQUIRED FITTINGS LOCATED WITHIN A PUBLIC RIGHT-OF-WAY OR PUBLIC EASEMENT SHALL BE OF THE SAME TYPE OF MATERIAL AS THE MAINLINE SEWER PIPE.

THE CONSTRUCTION OF THE PROPOSED PUBLIC SEWER MAIN AND ALL COMMERCIAL SERVICES SHALL BE IN COMPLIANCE WITH THE CURRENT WESTERN VIRGINIA WATER AUTHORITY REGULATIONS. REFER TO THESE REGULATIONS FOR COMPLETE DETAILS AND INSTALLATION METHODS.

ALL SANITARY SEWER PIPING SHALL BE PVC (POLYVINYL CHLORIDE) MANUFACTURED IN ACCORDANCE WITH ASTM DESIGNATION 3034-77 (SDR 35) UNLESS OTHERWISE NOTED ON THE PLANS/PROFILES.

ALL MANHOLE FRAMES AND COVERS SHALL BE WATERTIGHT AND ALL COVERS SHALL BE BOLT-DOWN MANHOLE COVERS (SEE DETAIL S-05 AND S-06) WHERE APPLICABLE.

STANDARD CITY OF ROANOKE CONSTRUCTION  
PROCEDURE REQUIREMENTS:

## NOTICE TO ALL LANDOWNERS, DEVELOPERS, AND CONTRACTORS:

FAILURE TO COMPLY WITH THE CONSTRUCTION PROCEDURE REQUIREMENTS LISTED BELOW MAY RESULT IN THE COSTLY REMOVAL OF STRUCTURES, TIME DELAYS, OR THE ISSUANCE OF A STOP WORK ORDER.

**RIGHT-OF-WAY EXCAVATION PERMIT:** PRIOR TO THE COMMENCEMENT OF ANY DIGGING, ALTERATION, OR CONSTRUCTION WITHIN THE PUBLIC RIGHT-OF-WAY (STREETS, ALLEYS, PUBLIC EASEMENTS), A RIGHT-OF-WAY EXCAVATION PERMIT SHALL BE APPLIED FOR AND OBTAINED BY THE CONTRACTOR FROM THE CITY OF ROANOKE.

**LAND DISTURBANCE PERMIT:** AN APPROVED EROSION AND SEDIMENT CONTROL PLAN FOR ANY BORROW/FILL SITES ASSOCIATED WITH THE PROJECT MUST BE SUBMITTED PRIOR TO THE ISSUANCE OF A LAND DISTURBANCE PERMIT.

**PLANS AND PERMITS:** A COPY OF THE PLANS AS APPROVED BY THE CITY OF ROANOKE (SIGNED BY THE PROPER CITY OFFICIALS) AND ALL PERMITS ISSUED BY THE CITY SHALL BE MADE AVAILABLE AT THE CONSTRUCTION SITE AT ALL TIMES OF ONGOING CONSTRUCTION.

**LOCATION OF UTILITIES:** THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION.

**CONSTRUCTION ENTRANCE:** THE CONTRACTOR SHALL INSTALL AN ADEQUATE CONSTRUCTION ENTRANCE FOR ALL CONSTRUCTION RELATED EGRESS FROM THE SITE. SIZE AND COMPOSITION OF THE CONSTRUCTION ENTRANCE SHALL BE AS SHOWN ON THE PLANS.

**STREETS TO REMAIN CLEAN:** IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO INSURE THAT THE PUBLIC STREET ADJACENT TO THE CONSTRUCTION ENTRANCE REMAINS FREE OF MUD, DIRT, DUST, AND/OR ANY TYPE OF CONSTRUCTION MATERIALS OR LITTER AT ALL TIMES.

**BARRICADES/DITCHES:** THE CONTRACTOR SHALL MAINTAIN THE INTEGRITY OF ALL EXCAVATED DITCHES AND SHALL FURNISH AND ENSURE THAT ALL BARRICADES PROPER AND NECESSARY FOR THE SAFETY OF THE PUBLIC ARE IN PLACE.

**SEWER AND PAVEMENT REPLACEMENT:** CONSTRUCTION OF SANITARY SEWERS AND THE REPLACEMENT OF PAVEMENT SHALL BE IN ACCORDANCE WITH APPROVED STANDARDS AND SPECIFICATIONS OF THE CITY OF ROANOKE AND THE WESTERN VIRGINIA WATER AUTHORITY.

**APPROVED PLANS/CONSTRUCTION CHANGES:** ANY CHANGE OR VARIATION FROM CONSTRUCTION DESIGN AS SHOWN ON THE OFFICIALLY APPROVED PLANS SHALL BE APPROVED BY THE EROSION AND SEDIMENT CONTROL AGENT PRIOR TO SAID CHANGES OR VARIATION IN CONSTRUCTION BEING MADE.

**FINAL ACCEPTANCE/CITY:** THE OWNER OR DEVELOPER SHALL FURNISH THE CITY OF ROANOKE'S PLANNING BUILDING AND DEVELOPMENT DEPARTMENT WITH A FIELD SURVEYED FINAL CORRECT SET OF AS-BUILT PLANS OF THE NEWLY CONSTRUCTED STORM DRAIN AND/OR STORMWATER MANAGEMENT FACILITIES PRIOR TO FINAL ACCEPTANCE AND ISSUANCE OF A CERTIFICATE OF OCCUPANCY BY THE CITY. AS-BUILT PLANS SHALL BE PROVIDED IN THE STATE PLANE VIRGINIA SOUTH COORDINATE SYSTEM, NAD 1983, FIPS 4502 FEET, US SURVEY FEET, DATUM NA 83, IN THE FORM OF 1 PAPER COPY AND 1 DIGITAL AUTOCAD FILE.

## SITE INFORMATION:

OWNER: CITY OF ROANOKE  
P.O. BOX 1451  
ROANOKE, VA 24011

DEVELOPER: TAZEWEILL DEVELOPMENT, LLC  
631 CAMPBELL AVENUE, SUITE 1  
ROANOKE, VA 24013

TAX PARCEL NO.:

4013803

EXISTING USE:

existing parking area

PROPOSED USE:

OFFICE - GENERAL AND PROFESSIONAL (1ST FLOOR)  
RETAIL SALES ESTABLISHMENT (1ST FLOOR)  
LIVE-WORK UNITS (1ST FLOOR)  
MULTIFAMILY DWELLING (2ND, 3RD, 4TH FLOORS)

ZONING:

D - DOWNTOWN

SITE AREA:

0.77 ACRES

DISTURBED AREA:

0.89 ACRES

WATER/SEWER:

PUBLIC

BUILDING AREA/NO. OF STORIES:

(approx. 94,000 S.F. - FINISHED S.F.) - 4 STORY

MINIMUM PARKING REQUIRED:

NO MIN. REQUIREMENTS IN DOWNTOWN DISTRICT  
approx. 5,500 S.F. - COMMERCIAL  
1 SPACE PER 300 S.F. (NET) = 14 PARKING SPACES  
83 units - RESIDENTIAL  
1.5 SPACES PER DWELLING UNIT = 125 PARKING SPACES

MAXIMUM PARKING ALLOWED:

140% OF REQ'D MINIMUM = 175 PARKING SPACES

PARKING PROVIDED:

48 SPACES CONTAINED WITHIN THE PRIVATE PARKING AREA

SETBACKS:

FRONT: 0' MINIMUM / 10' MAXIMUM  
SIDE: 0'  
REAR: 0'

MAX. FLOOR AREA RATIO ALLOWED/PROVIDED:

15.0/2.80

IMPERVIOUS SURFACE RATIO ALLOWED/PROVIDED:

100%/ 90%

MAXIMUM BUILDING HEIGHT ALLOWED/PROPOSED:

NO MAX/ 50'

GROUND FLOOR TRANSPARENCY MIN. REQ'D/PROPOSED:

50%/ 90%

UPPER FLOOR TRANSPARENCY MIN. REQ'D/PROPOSED:

20%/ 49%

## CITY OF ROANOKE &amp; UTILITY CONTACTS:

CITY OF ROANOKE DEVELOPMENT REVIEW COORDINATOR - DANIELLE BISHOP (540) 853-1325

ROANOKE GAS COMPANY - DON JONES (540) 777-3851

VERIZON - STEVEN CRONMEYER (540) 563-2261

AMERICAN ELECTRIC POWER - KEITH FREEMAN (540) 427-3643

WESTERN VIRGINIA WATER AUTHORITY - CHRIS CAREY (540) 853-5637



8" AFC valve.  
Water Pipe = 8" Griffin  
Class 350 DIP

## ENGINEERS NOTES:

BALZER AND ASSOCIATES, INC. ASSUMES NO RESPONSIBILITY FOR ADEQUACY OF PLANS OR FOR INFORMATION ON PLANS UNTIL SUCH PLANS HAVE BEEN APPROVED BY THE REQUIRED PUBLIC AGENCIES.

ANY WORK COMMENCED ON A PROJECT PRIOR TO PLAN APPROVAL IS AT SOLE RISK OF THE DEVELOPER.

BALZER AND ASSOCIATES, INC. WILL NOT BE RESPONSIBLE FOR THE CONTRACTORS FAILURE TO CARRY OUT THE WORK IN ACCORDANCE WITH THE PLANS OR WILL NOT BE RESPONSIBLE FOR ACTS OR OMISSIONS OF THE CONTRACTOR, SUBCONTRACTORS, OR THEIR AGENTS OR EMPLOYEES, OR OF ANY OTHER PERSONS PERFORMING PORTIONS OF THE WORK.

SOURCE OF TOPOGRAPHIC MAPPING IS FIELD SURVEY PERFORMED BY BALZER AND ASSOCIATES, INC., DATED DECEMBER 2014.

COMPREHENSIVE  
SITE PLAN #:  
CP150002

City of Roanoke  
Planning Building and Development

DEVELOPMENT PLAN APPROVED

Agent, Planning Commission *[Signature]* Date *4/17/15*

Development Engineer *[Signature]* Date *4/17/15*

Zoning Administrator *[Signature]* Date *4/17/15*

Any changes to this approved plan must be coordinated with the Agent to the Planning Commission and revisions approved prior to construction.

CITY OF ROANOKE APPROVAL BLOCK

**BALZER AND ASSOCIATES, INC.**  
REFLECTING TOMORROW  
www.balzer.cc

Roanoke  
New River Valley  
Richmond  
Staunton  
Harrisonburg

RESIDENTIAL LAND DEVELOPMENT ENGINEERING  
SITE DEVELOPMENT ENGINEERING  
LAND USE PLANNING & ZONING  
LANDSCAPE ARCHITECTURE  
LAND SURVEYING  
ARCHITECTURE  
STRUCTURAL ENGINEERING  
TRANSPORTATION ENGINEERING  
ENVIRONMENTAL & SOIL SCIENCE  
WETLAND DELINEATIONS & STREAM EVALUATIONS

**Balzer and Associates, Inc.**  
1208 Corporate Circle  
Roanoke, VA 24018  
540-772-9580  
FAX 540-772-8050

**RECEIVED**  
APR 08 2015  
CITY OF ROANOKE  
BUILDING & DEVELOPMENT

**WILLIAMSON & TAZEWEILL**  
206 WILLIAMSON ROAD S.E.  
COVER SHEET

CITY OF ROANOKE, VIRGINIA

DRAWN BY *BTC*  
DESIGNED BY *BTC*  
CHECKED BY *CPB*  
DATE *1/16/2015*  
SCALE *1"=20'*

REVISIONS:  
2/6/2015  
3/4/2015  
3/30/2015  
4/3/2015  
4/6/2015

SHEET NO.  
**C1**

JOB NO. R1400077.00

As-Built 8.17.15 Substantial Completion K. Winslow