GENERAL SITE NOTES: 16'x8' ELEVATED A.E.P. PLATORM TO G.C. TO CONFIRM THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO ANY BE PROVIDED BY G.C. G.C. TO CONSTRUCTION OF PROPOSED IMPROVEMENTS. COORDINATE DESIGN WITH A.E.P. FERMINATION PT. OF PROPOSED S.W. FOR APPROVAL PRIOR TO ORDERING G.C. SHALL PROVIDE A SMOOTH & NO CONSTRUCTION/FIELD CHANGES WITHOUT THE APPROVAL OF THE CONSULTING OF MATERIALS AND INSTALLATION ex. 12" w.l G.C. SHALL TIE ALL ROOFLEADERS U.G. UNIFORM TRANSITION B/T THE EX. ENGINEERING AND CITY OF ROANOKE PLANNING, BUILDING, AND DEVELOPMENT & INTO STR. I. G.C. SHALL PROVIDE (ELEVATION 923) & PROPOSED CONC. SW. ex. railroad DEPARTMENT. G.C SHALL OBTAIN A RIGHT OF WAY PERMIT FROM THE CITY OF REFLECTING TOMORRO A BACKFLOW PREVENTOR PRIOR TO comm. facility ROANOKE PRIOR TO ANY WORK WITHIN THE CITY OF ROANOKE R.O.W. ENTERING MH I W/ACCESS FOR ex. cl railroad tracks www.balzer.cc FUTURE MAINTENANCE AS REQ'D GENERAL CONTRACTOR TO ENSURE POSITIVE DRAINAGE AWAY FROM THE VDOT ST'D CG-9D PROPOSED BUILDING. COMMERICIAL CONC. ENTRANCES **New River Valley** mh typ. 4. ANY PAVEMENT TO REMAIN THAT IS DISTURBED OR DESTROYED DURING THE Richmond - AEP STANDARD CONSTRUCTION PROCESS SHALL BE REPAIRED/REPLACED AS NECESSARY TO DUAL HEAD STREET LIGHT PRE-CONSTRUCTION CONDITIONS AT NO COST TO THE OWNER. Harrisonburg TO MATCH EX. STREET LIGHT ARIABLE WIDTH PRIVATE ON WILLIAMSON RD. S.W.M. MAINTENANCE 5. ALL BUILDING DIMENSIONS SHALL BE COORDINATED WITH THE ARCHITECTURAL (PROVIDED BY THE CITY OF RKE.) S & ACCESS ESMT. SITE DEVELOPMENT ENGINEERIN LAND USE PLANNING & ZONING LANDSCAPE ARCHITECTUR 6. G.C. SHALL PROVIDE A 3200 SERIES OR ABOVE KNOX BOX AT THE MAIN ENTRY LAND SURVEYING communications (MH TOP TO BE DOOR PER THE FIRE MARSHALL'S OFFICE AND A KNOX ELEVATOR/LOBBY BOX AT ARCHITECTURE THE PROPOSED ELEVATOR. CONTACT THE FIRE MARSHALL'S OFFICE AT STRUCTURAL ENGINEERING 540-853-2795 FOR ORDERING INFORMATION. SEE ARCHITECTURAL PLANS FOR TRANSPORTATION ENGINEERIN ADDITIONAL DETAILS ON SPECIFIC MOUNTING LOCATIONS, ETC. ENVIRONMENTAL & SOIL SCIENCE CONC. PVMT ENCLOSURE FOR DUMPSTER PROPOSED BUILDING ETLAND DELINEATIONS & STREAM EVALUATION W/GATES TO & UG. PARKING 7. G.C. SHALL SUBMIT A TRAFFIC CONTROL PLAN TO THE CITY OF ROANOKE PRIOR 4 STORY TO ANY CONSTRUCTION WITHIN THE RIGHT-OF-WAY. MATCH BLDG. ACCESS. TOP OF MH LID (appròx. 94,000 s.f.) AS REQ'D) ELEVATION=919.83' Balzer and Associates, Inc 8. G.C. TO PROVIDE ALL REQUIRED CONDUIT FOR EXTERIOR LIGHTING, ELECTRICAL 1208 Corporate Circle TELEPHONE, AND COMMUNICATIONS. VARIABLE WIDTH ST'D C.O.R. CONC. SW. TYP. Roanoke, VA 24018 9. G.C. SHALL COORDINATE CONCRETE FINISHING AROUND THE PROPOSED DOOR (SEE DETAIL) SIGNAGE LOCATIONS WITH THE ARCHITECTURAL PLANS. 540-772-9580 **PARKING GARAGE** MAX CROSS SLOPE W/I (POST MT'D) VIRGINIA HOLDING CORPORATION R.O.W. SHALL BE 2% FAX 540-772-8050 30"x30" STOP 10. THE SITE CONTRACTOR MUST COORDINATE THE TIMING AND INSTALLATION OF D.B. 1359, PG. 567 ALL UTILITIES AND MAKE ALL NECESSARY SCHEDULE ARANGEMENTS FOR TEMPORARY SIGN TYP. D.B. 1358, PG. 828 PROPOSED 20' OR PERMANENT UTILITIES PER THE PROJECT SCHEDULE. D.B. 1297, PG. 669 DRAINAGE ESMT. THO HTJAR T.M. #4013802 (SEE DEED B/T 11. ALL ROOFTOP OR GROUND MOUNTED MECHANICAL EQUIPMENT SHALL BE - 4'x4'TREE GRATE C.O.R. & DEVELOPER SCREENED FROM VIEW PER CITY OF ROANOKE ZONING ORDINANCE. THE TO BE PROVIDED FOR ADD. DETAILS) PERIMETER OF ALL GROUND-MOUNTED EQUIPMENT SHALL BE SCREENED FROM ANY CONC. PLAZA -SAW CUT EXISTING E.P. -(4 TOTAL) (TYP.) STREET FRONTAGE OR ADJACENT PROPERTY BY A FENCE OR SOLID WALL WITH 60% AT PROPERTY LINE ROVIDED BY LIVE-WORK UNITS VDOT ST' CG-12 -CHRISTOPHER P. BURNS 🗭 OR GREATER OPACITY. THE PERIMETER OF ALL ROOFTOP EQUIPMENT THAT WOULD NOTE: G.C. SHALL ENSURE CITY OF RKE. CURB RAMP TYP. OTHERWISE BE VISIBLE FROM ANY STREET FRONTAGE SHALL BE SCREENED BY A THAT THE BUILDING FOOTER COMMERCIAL Lic. No.047338 DOES NOT IMPACT THE FENCE OR SOLID WALL WITH 60% OR GREATER OPACITY AT LEAST 1/2 THE SPACE ex. firestone 4/6/2015 LANDSCAPE VERTICIAL HEIGHT OF THE EQUIPMENT FROM THE ADJACENT STREET, TO BE sign PROPOSED FIRE VAULT PRIOR wvwa id:11934 PLANTING AREA VERIFIED BY SUBMISSION OF A FIELD REVISION TO THE DEVELOPMENT PLAN OR TO ORDERING/CONSTRUCTING static:93 psi SEPARATE BUILDING PERMIT. THE VAULT VDOT STO CG-12 residual:77psi TERMINATION POINT OF NEW CURB RAMP TYP. FLOW:3,095 gpm CONC. S.W. CONSTRUCTION 10' F.Y.S. (MAX) 12. G.C. SHALL OBTAIN A SEPARATE SIGN PERMIT FOR ALL ON-SITE AND BUILDING at 20psi per W.V.W.A. SIGNAGE. IF A FLAGPOLE DISPLAY IS PROPOSED, NOTE THAT ONLY FLAGS TO BE ex. adjacent -DISPLAYED ARE NATIONAL, STATE, OR OTHER GOVERNMENTAL FLAGS AND INSIGNIAS. entrance typ. 13.THE DUMPSTER OR REFUSE CONTAINER STORAGE AREA MUST MEET ALL – ex. signal pole REQUIREMENTS SET FORTH IN TABLE 647-1 AND ARTICLE 4. SUPPLEMENTAL & arm w/3 REGULATION SECTION OF THE ZONING ORDINANCE. THE HEIGHT OF THE DUMPSTER G.C. SHALL ENSURE A SMOOTH overhead AFP STANDARD SCREENING MUST BE AT LEAST 12" ABOVE THE TOP OF THE DUMPSTER AND THE TRANSITION B/T EX. lights typ. DUAL HEAD STREET LIGHT OPACITY OF THE SCREENING A SOLID FENCE MATERIAL. SEE SHEET C9 FOR W.V.W.A ST'D WATER VAULT & PROPOSED CONSTRUCTION & arm & TO MATCH EX. STREET LIGHT DUMPSTER ENCLOSURE AND GATE DETAILS. 8" FIRE LINE / # W.M. / 4" WATER LAT. overhead light typ. BLDG MOUNTED P.I.V. & F.D.C. ON WILLIAMSON RD. 14. CONTRACTOR SHALL MAINTAIN TWO-WAY TRAFFIC AT ALL TIMES. STREET (PROVIDED BY THE CITY OF RKE.) (G.C. TO CONFIRM DEPTH OF CLOSURES ARE NOT ALLOWED UNLESS AUTHORIZED BY THE CITY TRAFFIC ENGINEER. EX. UTILITIES PRIOR TO VAULT 12"SAN 15. ALL EXTERIOR LIGHTING SHALL BE INSTALLED IN ACCORDANCE WITH THE **WILLIAMSON ROAD, S.E.** APPROVED LIGHTING PLAN AND CUT SHEETS. THE LIGHTING SHALL ALSO BE ex. 8" electrical & INSTALLED AND AIMED TO MEET ALL REQUIREMENTS SET FORTH IN SECTION 36.2 A CONSTRUCTION JOINT SHALL BE communications 70 R.O.W. CHURCH CHURCH DIVISION 2 OUTDOOR LIGHTING PROVIDED AT THE RIGHT OF WAY LINE VDOT ST'D CG-6 CURB TYP. (2) 8" G.V.'S & TEE BETWEEN PRIVATE AND PUBLIC G.C. TO PROVIDE ASPHALT 16. PROJECT STAGING AREA SHALL BE INDICATED TO THE CITY OF ROANOKE. IT IS - TRAFFIC SIGNAL (2) - POST MOUNTED SIDEWALK. SEE S.W. DETAIL FOR REPLACEMENT PER C.O.R. CURRENTLY ANTICIPATED TO BE LOCATED WITHIN THE PARKING SPACES ON THE (PROVIDED BY THE CITY OF ROANOKE) ex. street light -ADDITIONAL INFORMATION. R.O.W. EXCAVATION STD'S ADJACENT PARKING AREA. THE DEVELOPER/G.C. SHALL CONFIRM THE FINAL LOCATION TO THE CITY OF ROANOKE PRIOR TO ESTABLISHING THIS LOCATION. ASPHALT REPAIR PER -17. ALL ROOF LEADERS WILL BE INTERNAL TO THE BUILDING WITH THE EXECEPTION Zep m C.O.R. R.O.W. THE SUBJECT ROOF AREA THAT WILL DRAIN TO THE PROPOSED FILTERRA ROOF RESTORATION STD'S DRAIN STORMWATER QUALITY UNIT. THE OTHER INTERNAL ROOFDRAIN LEADERS WILL CONNECT DIRECTLY TO THE PROPOSED STORM SEWER TRUNK LINK AND DISCHARGE * WORK IN THE PUBLIC RIGHT OF WAY AREA SHALL * See Drawind BE PERFORMED PER THE CITY OF ROANOKE DIRECTLY TO THE EXISTING STORM SEWER STRUCTURE I. at right. -APPROX. 76"x48" ELLIPTICAL RIGHT OF WAY EXCAVATION & 18. NO OUTDOOR STORAGE IS PROPOSED AS PART OF THIS PROJECT AT THIS RESTORATION STD'S. G.C. SHALL OBTAIN A R.O.W. EXCAVATION PERMIT PRIOR TO ANY WORK WITHIN THE **∞** 8 0 0 0 0 PUBLIC RIGHT OF WAY concrete ON UTILITY NOTES: Locking Gasket Thrust Block WILLIAMS(206 WILLI . G.C. SHALL COORDINATE THE EXACT SANITARY SEWER, WATER, AND STORM Tapping Valve SEWER BUILDING TIE-IN LOCATIONS WITH THE ARCHITECTURAL PLANS. H₁0 Live 2. ALL UTILITY SERVICE LATERALS OR LINES, INCLUDING ELECTRIC, SHALL BE INSTALLED UNDERGROUND PER SECTION 36.2-610. WATER & SEWER CONNNECTIONS SHALL CONFORM TO WVWA UTILITY STANDARDS AND INTERNATIONAL BUILDING CODE. Existing H20 Line SITE CONSTRUCTION - GENERAL NOTES 3. G.C. SHALL VERIFY THE EXACT DEPTH OF THE EXISTING S.S. LATERAL VERTICAL ALL MATERIALS AND CONSTRUCTION WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH CURRENT CITY OF ROANOKE STANDARDS AND ELEVATION PRIOR TO ANY BUILDING, SANITARY, OR STORM CONSTRUCITON. SPECIFICATIONS. 4. THE G.C. SHALL COORDINATE TEMPORARY POWER FOR THE PROPOSED A RIGHT-OF-WAY EXCAVATION PERMIT MUST BE OBTAINED FROM THE CITY OF ROANOKE PRIOR TO BEGINNING ANY CONSTRUCTION WITHIN THE EXISTING CITY BUILDINGS. MAINTAINED RIGHT-OF-WAY (INCLUDING ACCESS) Water Info .: 5. THE G.C. IS RESPONSIBLE FOR PROVIDING AND INSTALLING ALL CONDUIT Pre-cast concrete MH: CSI Pipe: 8" National SDR-26 PVC THE CONTRACTOR SHALL VERIFY THE ELEVATIONS OF ALL POINTS OF CONNECTION OR PROPOSED WORK TO EXISTING CURBS, SANITARY LINES, WATER LINES, ETC., PRIOR TO CONSTRUCTION. CONTACT THE CONSULTING ENGINEER IF ANY DISCREPANCIES ARE FOUND. ASSOCIATED WITH REQUIRED UTILITIES FOR THE PROPOSED BUILDING AND ANY Commercial Meter Vault: CSI NECESSARY UTILITIES ON-SITE SUCH AS LIGHTING, ELECTRICAL, ETC. Hyo Valve: 8" AFC (Amer. Flow Control) Hyo Pipe: 8" Griffin CL 350 DIP Hyo Valve is a gate valve opening counterclockwise. DESIGNED UPON THE DISCOVERY OF SOILS THAT ARE UNSUITABLE FOR FOUNDATIONS, SUBGRADES, OR OTHER ROADWAY CONSTRUCTION PURPOSES, THE CONTRACTOR SHALL 6. THE PROPOSED BUILDING SHALL HAVE SPRINKLER SERVICE. G.C. SHALL BE RESPONSIBLE FOR PROVIDING A P.I.V., FIRE DEPARTMENT CONNECTION, KNOX IMMEDIATELY CONTACT A GEOTECHNICAL ENGINEER AND/OR THE CITY OF ROANOKE. THESE AREAS SHALL BE EXCAVATED BELOW PLAN GRADE AS DIRECTED BY CHECKED BY CPB BOXES, AND IN-GROUND WATER VAULT FOR THE DOMESTIC WATER METER, AND MH Frame & Cover - U.S. Foundry Watertight THE GEOTECHNICAL ENGINEER, BACKFILLED WITH SUITABLE MATERIAL AND COMPACTED IN ACCORDANCE WITH CURRENT VDOT SPECIFICATIONS. DOUBLE DETECTOR CHECK FOR THE FIRE SERVICE. 1/16/2015 ALL STORM SEWER DESIGN AND CONSTRUCTION TO BE IN ACCORDANCE WITH CITY OF ROANOKE AND VDOT STANDARDS AND SPECIFICATIONS. 1"=20' SCALE ALL ENTRANCES ARE TO BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH CURRENT CITY OF ROANOKE STANDARDS. **REVISIONS:** CONTRACTOR SHALL VERIFY LOCATION AND ELEVATION OF ALL UNDERGROUND UTILITIES SHOWN ON PLANS IN AREAS OF CONSTRUCTION PRIOR TO STARTING WORK CONTACT ENGINEER IMMEDIATELY IF LOCATION OR ELEVATION IS DIFFERENT FROM THAT SHOWN ON PLAN. IF THERE APPEARS TO BE A CONFLICT, AND/OR UPON 2/6/2015 DISCOVERY OF ANY UTILITY SHOWN ON THIS PLAN, CALL MISS UTILITY OF CENTRAL VIRGINIA AT 1-800-552-7001. THE DEVELOPER SHALL BE RESPONSIBLE 3/4/2015 FOR THE RELOCATION OF ANY UTILITY WITHIN EXISTING AND/OR PROPOSED RIGHT-OF-WAY REQUIRED BY THE DEVELOPMENT. 3/30/2015 4/3/2015 BUILDING CODE MODIFICATION NOTE: CASING SLEEVES OR CONDUIT MAY BE PROVIDED AS REQUIRED FOR THE LIGHT POLES. AS PART OF THIS PROJECT, A CODE MODIFICATION APPROVED THE INSTALLATION OF SANITARY SEWER, STORM SEWER, WATERLINES, AND GAS MAINS (INCLUDING SERVICE LATERALS AND/OR SLEEVES) AND OTHER UNDERGROUND WAS PROVIDED FOR THE EXISTING UNDERGROUND SCALE: 1" = 20'UTILITIES SHALL BE COMPLETED PRIOR TO PLACEMENT OF AGGREGATE BASE COURSE. CONCRETE PIPES TO REMAIN IN PLACE UNDER THE APR 17 2015 PROPOSED BUILDING INDICATED ON THE CIVIL SITE SIGHT DISTANCE SUMMARY CHART: A PRIME COAT SEAL BETWEEN THE AGGREGATE BASE AND BITUMINOUS CONCRETE WILL BE REQUIRED AT A RATE OF 0.30 GALLONS PER SQUARE YARD (REC-250 PLAN. SEE THE BUILDING PLANS FOR ADDITIONAL PRIME COAT) PER VDOT STANDARDS AND SPECIFICATIONS. INFORMATION RELATED TO THIS REQUEST AND SIGHT DIST. RIGHT(WEST)-PROVIDED/REQUIRED BUILDING SPECIFICS. SIGHT DIST. LEFT(EAST)-PROVIDED/REQUIRED ROAD NAME SPEED LIMIT THE SCHEDULING OF AGGREGATE BASE INSTALLATION AND SUBSEQUENT PAVING ACTIVITIES SHALL ACCOMMODATE FORECAST WEATHER CONDITIONS PER SECTION 315 APPROXIMATELY 150+ LF TO INTERSECTION & OF THE VDOT ROAD AND BRIDGE SPECIFICATIONS (LATEST EDITION). 500+ LF / 280 LF TAZEWELL AVE. 25 MPH 500+ LF TOTAL / 280 LF

Ac-Ruilt 21715 Substantial Completion

G.C. SHALL SUBMIT A TRAFFIC CONTROL PLAN TO THE CITY OF ROANOKE PRIOR TO ANY CONSTRUCTION WITHIN THE RIGHT-OF-WAY.

ALL VEGETATION AND ORGANIC MATERIAL IS TO BE REMOVED FROM THE RIGHT-OF-WAY LIMITS PRIOR TO CONDITIONING OF THE SUBGRADE.

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