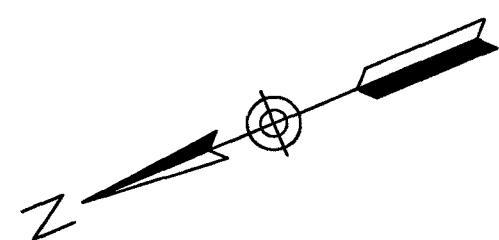


## GENERAL SITE NOTES:

- G.C. TO CONFIRM THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO ANY CONSTRUCTION OF PROPOSED IMPROVEMENTS.
- NO CONSTRUCTION/FIELD CHANGES WITHOUT THE APPROVAL OF THE CONSULTING ENGINEERING AND CITY OF ROANOKE PLANNING, BUILDING, AND DEVELOPMENT DEPARTMENT. G.C. SHALL OBTAIN A RIGHT OF WAY PERMIT FROM THE CITY OF ROANOKE PRIOR TO ANY WORK WITHIN THE CITY OF ROANOKE R.O.W.
- GENERAL CONTRACTOR TO ENSURE POSITIVE DRAINAGE AWAY FROM THE PROPOSED BUILDING.
- ANY PAVEMENT TO REMAIN THAT IS DISTURBED OR DESTROYED DURING THE CONSTRUCTION PROCESS SHALL BE REPAIRED/REPLACED AS NECESSARY TO PRE-CONSTRUCTION CONDITIONS AT NO COST TO THE OWNER.
- ALL BUILDING DIMENSIONS SHALL BE COORDINATED WITH THE ARCHITECTURAL PLANS.
- G.C. SHALL PROVIDE A 3200 SERIES OR ABOVE KNOX BOX AT THE MAIN ENTRY DOOR PER THE FIRE MARSHALL'S OFFICE AND A KNOX ELEVATOR/LOBBY BOX AT THE PROPOSED ELEVATOR. CONTACT THE FIRE MARSHALL'S OFFICE AT 540-853-2795 FOR ORDERING INFORMATION. SEE ARCHITECTURAL PLANS FOR ADDITIONAL DETAILS ON SPECIFIC MOUNTING LOCATIONS, ETC.
- G.C. SHALL SUBMIT A TRAFFIC CONTROL PLAN TO THE CITY OF ROANOKE PRIOR TO ANY CONSTRUCTION WITHIN THE RIGHT-OF-WAY.
- G.C. TO PROVIDE ALL REQUIRED CONDUIT FOR EXTERIOR LIGHTING, ELECTRICAL, TELEPHONE, AND COMMUNICATIONS.
- G.C. SHALL COORDINATE CONCRETE FINISHING AROUND THE PROPOSED DOOR LOCATIONS WITH THE ARCHITECTURAL PLANS.
- THE SITE CONTRACTOR MUST COORDINATE THE TIMING AND INSTALLATION OF ALL UTILITIES AND MAKE ALL NECESSARY SCHEDULE ARRANGEMENTS FOR TEMPORARY OR PERMANENT UTILITIES PER THE PROJECT SCHEDULE.
- ALL ROOFTOP OR GROUND MOUNTED MECHANICAL EQUIPMENT SHALL BE SCREENED FROM VIEW PER CITY OF ROANOKE ZONING ORDINANCE. THE PERIMETER OF ALL GROUND-MOUNTED EQUIPMENT SHALL BE SCREENED FROM ANY STREET FRONTAGE OR ADJACENT PROPERTY BY A FENCE OR SOLID WALL WITH 60% OR GREATER OPACITY. THE PERIMETER OF ALL ROOFTOP EQUIPMENT THAT WOULD OTHERWISE BE VISIBLE FROM ANY STREET FRONTAGE SHALL BE SCREENED BY A FENCE OR SOLID WALL WITH 60% OR GREATER OPACITY AT LEAST 1/2 THE VERTICAL HEIGHT OF THE EQUIPMENT FROM THE ADJACENT STREET. TO BE VERIFIED BY SUBMISSION OF A FIELD REVISION TO THE DEVELOPMENT PLAN OR SEPARATE BUILDING PERMIT.
- G.C. SHALL OBTAIN A SEPARATE SIGN PERMIT FOR ALL ON-SITE AND BUILDING SIGNAGE. IF A FLAGPOLE DISPLAY IS PROPOSED, NOTE THAT ONLY FLAGS TO BE DISPLAYED ARE NATIONAL, STATE, OR OTHER GOVERNMENTAL FLAGS AND INSIGNIAS.
- THE DUMPSTER OR REFUSE CONTAINER STORAGE AREA MUST MEET ALL REQUIREMENTS SET FORTH IN TABLE 647-1 AND ARTICLE 4. SUPPLEMENTAL REGULATION SECTION OF THE ZONING ORDINANCE. THE HEIGHT OF THE DUMPSTER SCREENING MUST BE AT LEAST 12' ABOVE THE TOP OF THE DUMPSTER AND THE OPACITY OF THE SCREENING A SOLID FENCE MATERIAL. SEE SHEET C9 FOR DUMPSTER ENCLOSURE AND GATE DETAILS.
- CONTRACTOR SHALL MAINTAIN TWO-WAY TRAFFIC AT ALL TIMES. STREET CLOSURES ARE NOT ALLOWED UNLESS AUTHORIZED BY THE CITY TRAFFIC ENGINEER.
- ALL EXTERIOR LIGHTING SHALL BE INSTALLED IN ACCORDANCE WITH THE APPROVED LIGHTING PLAN AND CUT SHEETS. THE LIGHTING SHALL ALSO BE INSTALLED AND AIMED TO MEET ALL REQUIREMENTS SET FORTH IN SECTION 36.2 DIVISION 2 OUTDOOR LIGHTING.
- PROJECT STAGING AREA SHALL BE INDICATED TO THE CITY OF ROANOKE. IT IS CURRENTLY ANTICIPATED TO BE LOCATED WITHIN THE PARKING SPACES ON THE ADJACENT PARKING AREA. THE DEVELOPER/G.C. SHALL CONFIRM THE FINAL LOCATION TO THE CITY OF ROANOKE PRIOR TO ESTABLISHING THIS LOCATION.
- ALL ROOF LEADERS WILL BE INTERNAL TO THE BUILDING WITH THE EXCEPTION THE SUBJECT ROOF AREA THAT WILL DRAIN TO THE PROPOSED FILTERRA ROOF DRAIN STORMWATER QUALITY UNIT. THE OTHER INTERNAL ROOFDRAIN LEADERS WILL CONNECT DIRECTLY TO THE PROPOSED STORM SEWER TRUNK LINK AND DISCHARGE DIRECTLY TO THE EXISTING STORM SEWER STRUCTURE I.
- NO OUTDOOR STORAGE IS PROPOSED AS PART OF THIS PROJECT AT THIS TIME.

## UTILITY NOTES:

- G.C. SHALL COORDINATE THE EXACT SANITARY SEWER, WATER, AND STORM SEWER BUILDING TIE-IN LOCATIONS WITH THE ARCHITECTURAL PLANS.
- ALL UTILITY SERVICE LATERALS OR LINES, INCLUDING ELECTRIC, SHALL BE INSTALLED UNDERGROUND PER SECTION 36.2-610. WATER & SEWER CONNECTIONS SHALL CONFORM TO WVA UTILITY STANDARDS AND INTERNATIONAL BUILDING CODE.
- G.C. SHALL VERIFY THE EXACT DEPTH OF THE EXISTING S.S. LATERAL VERTICAL ELEVATION PRIOR TO ANY BUILDING, SANITARY, OR STORM CONSTRUCTION.
- THE G.C. SHALL COORDINATE TEMPORARY POWER FOR THE PROPOSED BUILDINGS.
- THE G.C. IS RESPONSIBLE FOR PROVIDING AND INSTALLING ALL CONDUIT ASSOCIATED WITH REQUIRED UTILITIES FOR THE PROPOSED BUILDING AND ANY NECESSARY UTILITIES ON-SITE SUCH AS LIGHTING, ELECTRICAL, ETC.
- THE PROPOSED BUILDING SHALL HAVE SPRINKLER SERVICE. G.C. SHALL BE RESPONSIBLE FOR PROVIDING A P.I.V., FIRE DEPARTMENT CONNECTION, KNOX BOXES, AND IN-GROUND WATER VAULT FOR THE DOMESTIC WATER METER, AND DOUBLE DETECTOR CHECK FOR THE FIRE SERVICE.



SCALE: 1" = 20'

## SIGHT DISTANCE SUMMARY CHART:

ROAD NAME	SPEED LIMIT	SIGHT DIST. LEFT(EAST)-PROVIDED/REQUIRED	SIGHT DIST. RIGHT(WEST)-PROVIDED/REQUIRED
TAZEWELL AVE.	25 MPH	500+ LF / 280 LF	APPROXIMATELY 150+ LF TO INTERSECTION & 500+ LF TOTAL / 280 LF

## Water Info.:

Commercial Meter Vault: CSI  
H<sub>2</sub>O Valve: 8" AFC (Amer. Flow Control)  
H<sub>2</sub>O Pipe: 8" Griffin CL350 DIP

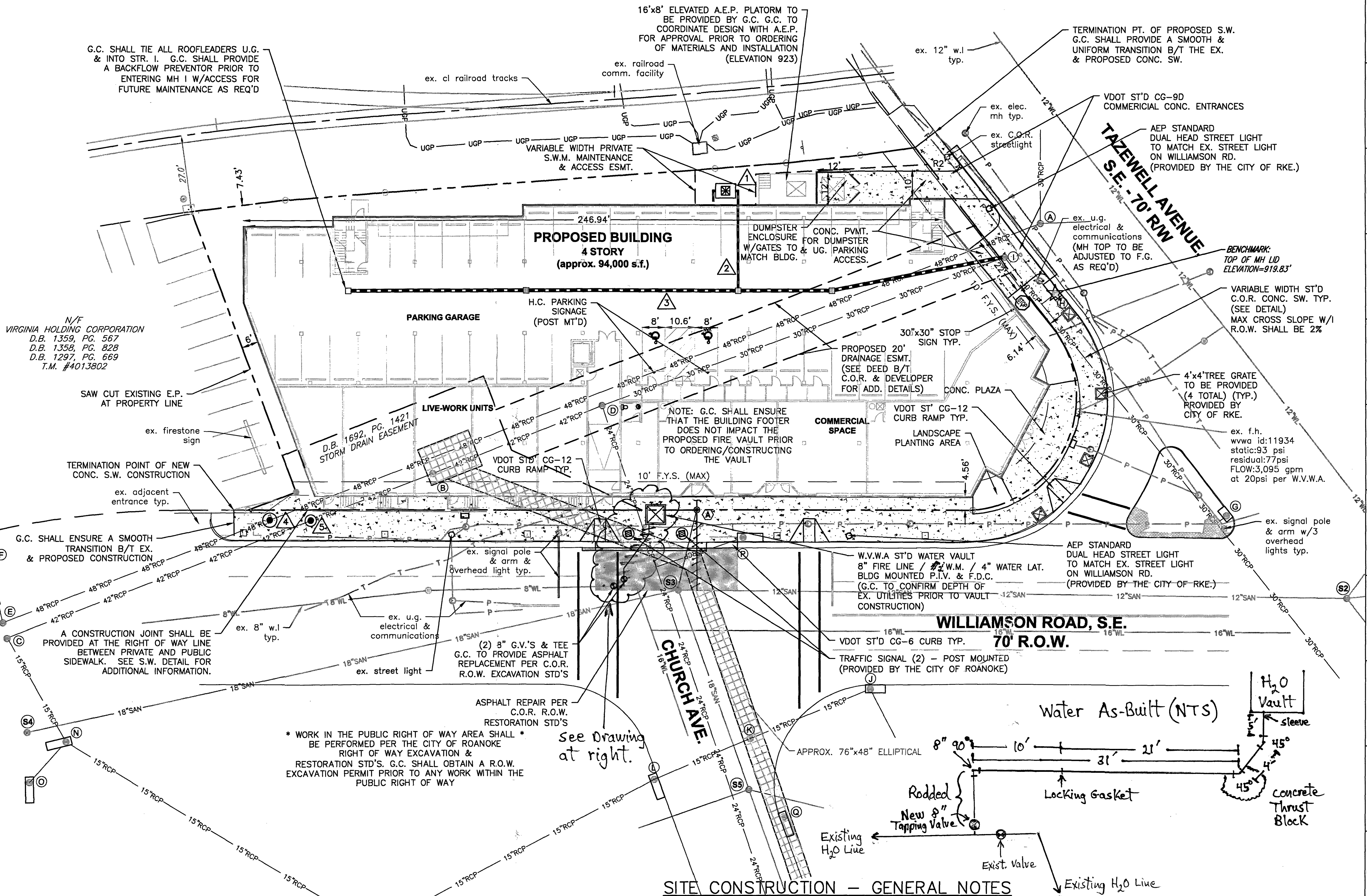
H<sub>2</sub>O Valve is a gate valve  
opening counterclockwise.

## Sewer Info:

Pre-cast concrete MH: CSI  
Pipe: 8" National SDR-26 PVC  
MH Frame & Cover: U.S. Foundry Watertight

## BUILDING CODE MODIFICATION NOTE:

AS PART OF THIS PROJECT, A CODE MODIFICATION WAS PROVIDED FOR THE EXISTING UNDERGROUND CONCRETE PIPES TO REMAIN IN PLACE UNDER THE PROPOSED BUILDING INDICATED ON THE CIVIL SITE PLAN. SEE THE BUILDING PLANS FOR ADDITIONAL INFORMATION RELATED TO THIS REQUEST AND BUILDING SPECIFICS.



## SITE CONSTRUCTION - GENERAL NOTES

ALL MATERIALS AND CONSTRUCTION WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH CURRENT CITY OF ROANOKE STANDARDS AND SPECIFICATIONS.

A RIGHT-OF-WAY EXCAVATION PERMIT MUST BE OBTAINED FROM THE CITY OF ROANOKE PRIOR TO BEGINNING ANY CONSTRUCTION WITHIN THE EXISTING CITY MAINTAINED RIGHT-OF-WAY (INCLUDING ACCESS).

THE CONTRACTOR SHALL VERIFY THE ELEVATIONS OF ALL POINTS OF CONNECTION OR PROPOSED WORK TO EXISTING CURBS, SANITARY LINES, WATER LINES, ETC., PRIOR TO CONSTRUCTION. CONTACT THE CONSULTING ENGINEER IF ANY DISCREPANCIES ARE FOUND.

UPON THE DISCOVERY OF SOILS THAT ARE UNSUITABLE FOR FOUNDATIONS, SUBGRADES, OR OTHER ROADWAY CONSTRUCTION PURPOSES, THE CONTRACTOR SHALL IMMEDIATELY CONTACT A GEOTECHNICAL ENGINEER AND/OR THE CITY OF ROANOKE. THESE AREAS SHALL BE EXCAVATED BELOW PLAN GRADE AS DIRECTED BY THE GEOTECHNICAL ENGINEER, BACKFILLED WITH SUITABLE MATERIAL AND COMPACTED IN ACCORDANCE WITH CURRENT VDOT SPECIFICATIONS.

ALL STORM SEWER DESIGN AND CONSTRUCTION TO BE IN ACCORDANCE WITH CITY OF ROANOKE AND VDOT STANDARDS AND SPECIFICATIONS.

ALL ENTRANCES ARE TO BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH CURRENT CITY OF ROANOKE STANDARDS.

CONTRACTOR SHALL VERIFY LOCATION AND ELEVATION OF ALL UNDERGROUND UTILITIES SHOWN ON PLANS IN AREAS OF CONSTRUCTION PRIOR TO STARTING WORK. CONTACT ENGINEER IMMEDIATELY IF LOCATION OR ELEVATION IS DIFFERENT FROM THAT SHOWN ON PLAN. IF THERE APPEARS TO BE A CONFLICT, AND/OR UPON DISCOVERY OF ANY UTILITY SHOWN ON THIS PLAN, CALL MISS UTILITY OF CENTRAL VIRGINIA AT 1-800-552-7001. THE DEVELOPER SHALL BE RESPONSIBLE FOR THE RELOCATION OF ANY UTILITY WITHIN EXISTING AND/OR PROPOSED RIGHT-OF-WAY REQUIRED BY THE DEVELOPMENT.

CASING SLEEVES OR CONDUIT MAY BE PROVIDED AS REQUIRED FOR THE LIGHT POLES.

THE INSTALLATION OF SANITARY SEWER, STORM SEWER, WATERLINES, AND GAS MAINS (INCLUDING SERVICE LATERALS AND/OR SLEEVES) AND OTHER UNDERGROUND UTILITIES SHALL BE COMPLETED PRIOR TO PLACEMENT OF AGGREGATE BASE COURSE.

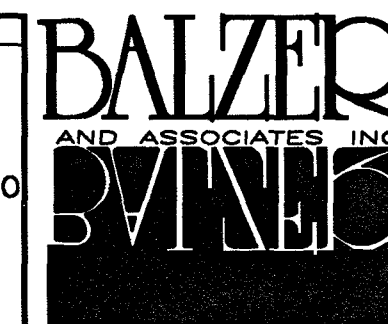
A PRIME COAT SEAL BETWEEN THE AGGREGATE BASE AND BITUMINOUS CONCRETE WILL BE REQUIRED AT A RATE OF 0.30 GALLONS PER SQUARE YARD (REC-250 PRIME COAT) PER VDOT STANDARDS AND SPECIFICATIONS.

THE SCHEDULING OF AGGREGATE BASE INSTALLATION AND SUBSEQUENT PAVING ACTIVITIES SHALL ACCOMMODATE FORECAST WEATHER CONDITIONS PER SECTION 315 OF THE VDOT ROAD AND BRIDGE SPECIFICATIONS (LATEST EDITION).

ALL VEGETATION AND ORGANIC MATERIAL IS TO BE REMOVED FROM THE RIGHT-OF-WAY LIMITS PRIOR TO CONDITIONING OF THE SUBGRADE.

G.C. SHALL SUBMIT A TRAFFIC CONTROL PLAN TO THE CITY OF ROANOKE PRIOR TO ANY CONSTRUCTION WITHIN THE RIGHT-OF-WAY.

As-Built 8/17/15 Substantial Completion K Winslow



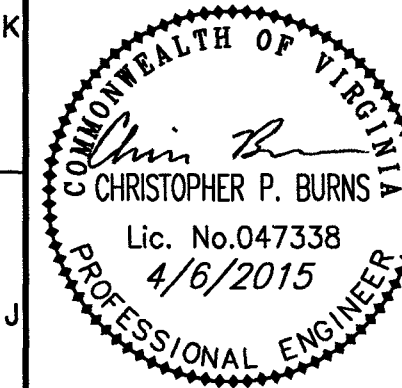
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Balzer and Associates, Inc.

1208 Corporate Circle  
Roanoke, VA 24018  
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FAX 540-772-8050



WILLIAMSON & TAZEWELL  
206 WILLIAMSON ROAD S.E.

## LAYOUT PLAN

CITY OF ROANOKE, VIRGINIA

DRAWN BY BTC

DESIGNED BY BTC

CHECKED BY CPB

DATE 1/16/2015

SCALE 1"=20'

## REVISIONS:

2/6/2015  
3/4/2015  
3/30/2015  
4/3/2015

APPROVED  
APR 17 2015

SHEET NO.

C3

JOB NO. R1400077.00