

CURVE TABLE						
NAME	ANGLE	RADIUS	LENGTH	BEARING	CHORD	TANGENT
C-1	55°36'19"	25.00	24.26	N 50°42'39" E	23.32	13.18
C-2	275°23'09"	50.00	240.32	N 19°23'56" W	67.31	45.51
C-3	75°05'43"	50.00	65.53	N 60°27'21" E	60.94	38.43
C-4	58°09'31"	50.00	49.01	S 53°55'02" E	47.07	26.67
C-5	58°37'31"	50.00	51.16	N 03°28'29" E	48.96	28.07
C-6	85°30'23"	50.00	74.62	N 75°32'27" E	67.88	46.22
C-7	39°46'50"	25.00	17.36	S 81°35'47" E	17.01	9.05
C-8	69°55'35"	302.50	369.18	N 38°39'01" E	346.70	211.52
C-9	17°15'06"	302.50	91.08	N 62°59'15" E	90.74	45.89
C-10	18°42'44"	302.50	98.79	N 45°00'21" E	98.35	49.84
C-11	18°28'11"	302.50	97.51	N 26°24'54" E	97.09	49.18
C-12	15°29'35"	302.50	81.80	N 09°26'01" E	81.55	41.15
C-13	53°43'48"	25.00	23.44	S 25°10'41" E	22.59	12.66
C-14	276°00'04"	50.00	240.86	N 85°57'28" E	66.91	45.02
C-15	42°55'07"	50.00	37.45	S 30°35'01" E	36.58	19.65
C-16	58°44'09"	50.00	51.26	N 20°14'37" E	49.04	28.14
C-17	58°36'18"	50.00	51.14	N 78°54'51" E	48.94	28.06
C-18	66°19'28"	50.00	57.88	S 38°37'16" E	54.70	32.67
C-19	49°25'02"	50.00	43.12	N 19°14'59" E	41.80	23.01
C-20	43°47'32"	25.00	19.11	N 22°03'44" E	18.65	10.05
C-21	71°26'50"	352.50	439.56	N 35°53'23" E	411.63	253.52
C-22	16°08'28"	352.50	99.31	N 63°32'34" E	98.98	49.98
C-23	15°24'39"	352.50	94.81	N 47°45'58" E	94.53	47.69
C-24	15°48'04"	352.50	97.21	N 32°09'38" E	96.91	48.92
C-25	15°58'26"	352.50	98.28	N 16°16'23" E	97.96	49.46
C-26	08°07'12"	352.50	49.96	N 04°13'34" E	49.91	25.02

LEGEND
M.B.L. - MINIMUM BUILDING LINE
P.U.E. - PUBLIC UTILITY EASEMENT
S.S.E. - SANITARY SEWER EASEMENT
W.L.E. - WATER LINE EASEMENT
D.E. - DRAINAGE EASEMENT

KNOW ALL MEN BY THESE PRESENTS, TO WIT:

THAT JAMES H. BUCKLAND & VIRGINIA H. BUCKLAND ARE THE FEE SIMPLE OWNERS AND PROPRIETORS OF THE LAND SHOWN HEREON TO BE SUBDIVIDED, KNOWN AS "WINDEMERE" BOUNDED BY CORNERS 1 TO 10, TO 1, INCLUSIVE, WHICH COMPRISES A PORTION OF THE LAND CONVEYED TO SAID OWNERS, JAMES H. BUCKLAND & VIRGINIA H. BUCKLAND BY DEED DATED OCTOBER 3, 1982, RECORDED IN THE CLERK'S OFFICE OF THE CIRCUIT COURT OF ROANOKE COUNTY, VIRGINIA IN DEED BOOK 700, PAGE 212.

THE SAID OWNERS CERTIFY THAT THEY HAVE SUBDIVIDED THIS LAND, AS SHOWN HEREON, ENTIRELY WITH THEIR OWN FREE WILL AND CONSENT AND PURSUANT TO AND IN COMPLIANCE WITH THE VIRGINIA CODE OF 1950, AS AMENDED TO DATE, AND FURTHER PURSUANT TO AND IN COMPLIANCE WITH THE COUNTY OF ROANOKE LAND SUBDIVISION ORDINANCES.

THE SAID OWNERS BY VIRTUE OF THE RECORDATION OF THIS PLAT, DEDICATE IN FEE SIMPLE TO THE COUNTY OF ROANOKE ALL OF THE LAND EMBRACED WITHIN THE STREETS OF THIS SUBDIVISION AND ALL OF THE EASEMENTS ARE HEREBY DEDICATED FOR PUBLIC USE.

THE SAID OWNERS DO AS A CONDITION PRECEDENT TO THE APPROVAL OF THIS PLAT AND SUBDIVISION AND THE ACCEPTANCE OF THE DEDICATION OF THE STREETS, SHOWN HEREON, BY THE BOARD OF SUPERVISORS OF ROANOKE COUNTY, VIRGINIA, ON ITS OWN BEHALF AND FOR AND ON ACCOUNT OF ITS HEIRS, SUCCESSORS, DEVISEES AND ASSIGNS, SPECIFICALLY RELEASES THE COUNTY OF ROANOKE AND THE VIRGINIA DEPARTMENT OF HIGHWAYS FROM ANY AND ALL CLAIM OR CLAIMS FOR DAMAGES WHICH SUCH OWNERS, ITS HEIRS, SUCCESSORS, DEVISEES AND ASSIGNS MAY OR MIGHT HAVE AGAINST THE COUNTY OR THE VIRGINIA DEPARTMENT OF HIGHWAYS BY REASON OF ESTABLISHING PROPER GRADE LINES ON AND ALONG SUCH STREETS AS SHOWN ON THIS PLAT OF THE LAND SUBDIVIDED (OR CHANGED STREETS MAY BE AGREED UPON IN THE FUTURE) AND BY REASON OF DOING NECESSARY GRADING, CUTTING OR FILLING FOR THE PURPOSE OF PLACING SUCH STREETS UPON THE PROPER GRADE AS MAY, FROM TIME TO TIME, BE ESTABLISHED BY SAID COUNTY OR VIRGINIA DEPARTMENT OF HIGHWAYS, AND SAID COUNTY OR VIRGINIA DEPARTMENT OF HIGHWAYS SHALL NOT BE REQUIRED TO CONSTRUCT ANY RETAINING WALL OR WALLS ALONG THE STREETS AND PROPERTY LINES THEREOF, OR MAINTAIN ANY EASEMENTS AS SHOWN HEREON.

IN WITNESS WHEREOF ARE HEREBY PLACED THE FOLLOWING SIGNATURES AND SEAL ON THIS 28th DAY of July 1988.

JAMES H. BUCKLAND & VIRGINIA H. BUCKLAND, OWNERS

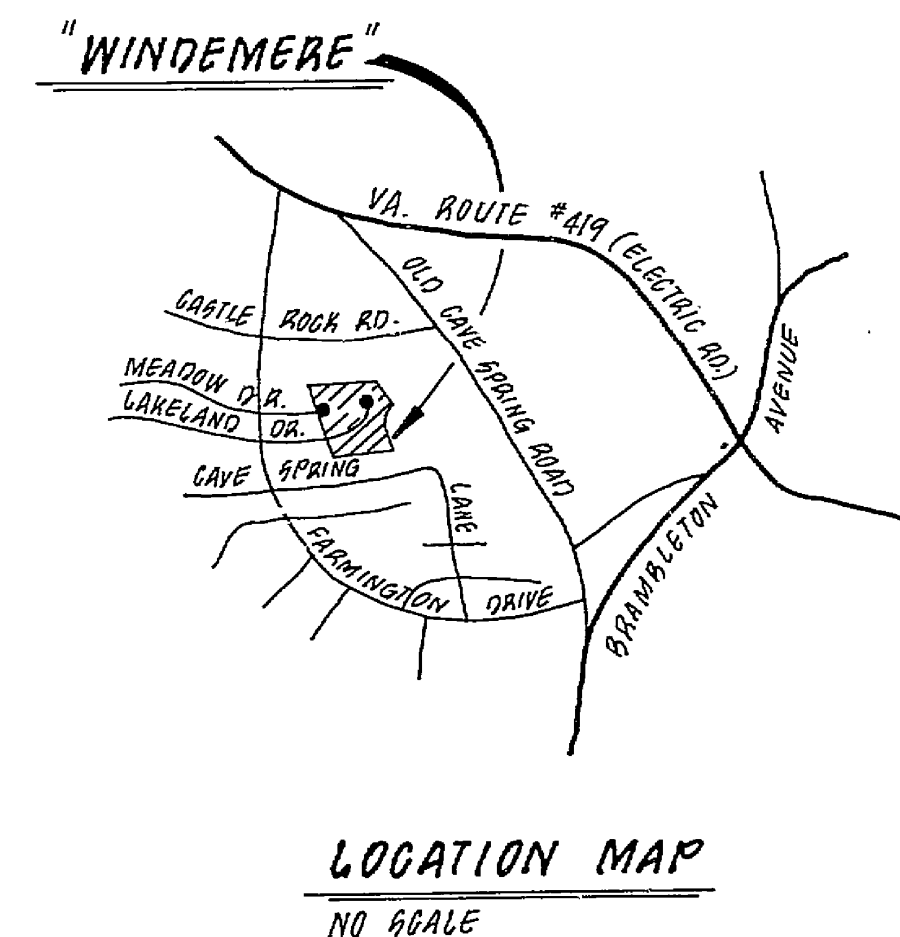
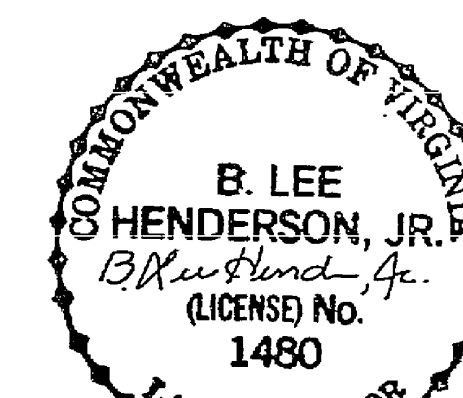
BY: James H. Buckland BY: Virginia H. Buckland
JAMES H. BUCKLAND, OWNER VIRGINIA H. BUCKLAND, OWNER

STATE OF VIRGINIA
County of Roanoke

James H. Buckland A NOTARY PUBLIC IN AND FOR THE AFORESAID County AND STATE DO HEREBY CERTIFY THAT JAMES H. BUCKLAND & VIRGINIA H. BUCKLAND, OWNERS, WHOSE NAMES ARE SIGNED TO THE FOREGOING WRITING DATED July 28, 1988, HAVE PERSONALLY APPEARED BEFORE ME IN MY AFORESAID County AND STATE AND ACKNOWLEDGED THE SAME ON July 29, 1988.

MY COMMISSION EXPIRES March 24, 1991.
James H. Buckland
NOTARY PUBLIC

BOUNDARY COORDINATES		
ORIGIN OF COORDINATES ASSUMED		
CORNER	NORTH	EAST
1	6234.502	4588.889
2	6379.087	4555.237
3	6482.926	5051.285
4	6482.229	5195.483
5	6330.235	5298.583
6	6190.000	5273.000
7	6042.233	5298.404
8	5842.412	5395.128
9	5831.351	5221.330
10	5759.607	4831.068
TOTAL ACREAGE = 9.517		



APPROVED: James H. Buckland 29 July 1988
AGENT, ROANOKE COUNTY PLANNING COMMISSION DATE

IN THE CLERK'S OFFICE OF THE CIRCUIT COURT OF ROANOKE COUNTY, VIRGINIA THIS PLAT WITH THE CERTIFICATE OF ACKNOWLEDGEMENT THERETO ANNEXED IS ADMITTED TO RECORD ON AUGUST 1, 1988, AT 10:35 O'CLOCK A.M.

TESTEE: ELIZABETH W. STOKES, CLERK

Marsha B. Conner
DEPUTY CLERK

- NOTES:
1. NO DWELLING SHALL HAVE A MINIMUM LOW FLOOR ELEVATION LESS THAN 1090.0.
 2. EACH DWELLING MUST BE EQUIPPED WITH AN ADJUSTABLE PRESSURE REDUCING VALVE.
 3. IRON PINS SET AT ALL CORNERS, P.C.'S AND P.T.'S UNLESS SHOWN OTHERWISE.
 4. ROANOKE COUNTY TAX NO. 76.20-5-1.
 5. THIS PLAT WAS BASED ON A CURRENT FIELD BOUNDARY SURVEY.
 6. A PORTION OF THIS PROPERTY AS SHOWN, FALLS WITHIN THE FLOOD INSURANCE RATE MAP ONE HUNDRED YEAR FLOOD PLAIN COMMUNITY PANEL NO. 510190 0100 B.
 7. SEE RESTRICTIONS RECORDED IN D.B. 1289, PG. 1612.

PLAT OF

"WINDEMERE"

PROPERTY OF
JAMES H. BUCKLAND
AND
VIRGINIA H. BUCKLAND

SITUATED IN
WINDSOR HILLS MAGISTERIAL DISTRICT
ROANOKE COUNTY, VIRGINIA

SCALE: 1" = 80' DATE: 28 JULY 1988

BUFORD T. LUMSDEN & ASSOCIATES, P.C.
ENGINEERS - SURVEYORS
ROANOKE, VIRGINIA

76.20

*86-314