

- 1.) SOURCE OF MERIDIAN/VIRGINIA STATE PLANE, SOUTH ZONE (NAD 83) BASED UPON: STATIC GPS SESSIONS PERFORMED BY DRAPER ADEN ASSOCIATES PERSONNEL.
- 2.) VERTICAL DATUM: NAVD 88 BASED UPON: STATIC GPS SESSIONS PERFORMED BY DRAPER ADEN ASSOCIATES PERSONNEL.
- 3.) THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE COMMITMENT OR TITLE REPORT AND ALL EASEMENTS AND ENCUMBRANCES THAT MIGHT BE DISCLOSED IN A TITLE SEARCH MAY NOT BE SHOWN.
- 4.) UTILITIES SHOWN ARE BASED UPON:

_SUE QUALITY LEVEL D, ASCE 38-02 - COMPILED RECORDS ONLY
 _SUE QUALITY LEVEL C, ASCE 38-02 - VISIBLE EVIDENCE IN CONJUNCTION WITH COMPILED RECORDS.
 _X SUE QUALITY LEVEL B, ASCE 38-02 - FIELD DESIGNATION OF UNDERGROUND UTILITIES PERFORMED BY MISS UTILITY, TICKET # A035601330 ; OTHER) AND VISIBLE EVIDENCE IN CONJUNCTION WITH COMPILED RECORDS.
 _TICKET # A035601330 ; OTHER) AND VISIBLE EVIDENCE IN CONJUNCTION WITH COMPILED RECORDS. (DAA ; OTHER) IN CONJUNCTION WITH FIELD DESIGNATION OF UNDERGROUND UTILITIES PERFORMED BY (DAA ; MISS UTILITY, TICKET # ; OTHER), VISIBLE EVIDENCE AND COMPILED RECORDS.
 _NO SUE WAS PERFORMED OR REQUESTED FOR THIS SURVEY. UTILITIES SHOWN HEREON ARE BASED ON FIELD OBSERVATION ONLY.

5.) THIS TOPOGRAPHIC AND BOUNDARY SURVEY WAS COMPLETED UNDER THE DIRECT AND RESPONSIBLE CHARGE OF LOREN W. KNIGHTING FROM AN ACTUAL GROUND SURVEY MADE UNDER MY SUPERVISION; THAT THE IMAGERY AND/OR ORIGINAL DATA WAS OBTAINED ON THE WEEK OF DECEMBER 7, 2020; AND THAT THIS PLAT AND/OR MAP MEETS MINIMUM ACCURACY STANDARDS UNLESS OTHERWISE NOTED.

7.) THIS SURVEY WAS PREPARED FOR SUBURBAN CAPITAL. DRAPER ADEN ASSOCIATES ASSUMES NO LIABILITY FOR REUSE OR MODIFICATION OF THIS DOCUMENT.

9.) DRAPER ADEN ASSOCIATES PROVIDES BENCHMARKS FOR THE CONSTRUCTION OF THE IMPROVEMENTS SHOWN ON THESE PLANS. ALL OTHER EXISTING ELEVATIONS ARE FOR REFERENCE TO EXISTING CONDITIONS ONLY. DO NOT USE

SPOT ELEVATIONS, FINISH FLOOR ELEVATIONS, ELEVATIONS ON MANHOLES, ELEVATIONS ON SURVEY NAILS, SURVEY HUBS, CONTROL POINTS (HORIZONTAL POINTS PROVIDED) OR ANY OTHER POINTS FOR CONSTRUCTION OTHER THAN THE PROVIDED BENCHMARKS. FAILURE TO UTILIZE AND VERIFY THE PROVIDED BENCHMARKS COULD RESULT IN DAMAGES AND ADDITIONAL COST THAT ARE THE CONTRACTOR'S RESPONSIBILITY.

10.) THE PROPERTY SHOWN HEREON IS LOCATED IN FLOOD ZONE(S) X BASED ON A SCALED LOCATION ON FIRM PANEL #5116C0153G EFFECTIVE DATE SEPT. 28, 2007. THIS FLOOD DETERMINATION IS NOT A RECOMMENDATION BY DRAPER ADEN ASSOCIATES TO NOT PURCHASE OR PURCHASE FLOOD INSURANCE COVERAGE AND DOES NOT IMPLY THAT THE REFERENCED PROPERTY WILL OR WILL NOT BE FREE FROM FLOOD DAMAGE.

11.) MATTERS PERTAINING TO ARCHEOLOGICAL OR HISTORIC FEATURES, WETLANDS OR FLOOD CONDITIONS, IF ANY, HAVE NOT BEEN ADDRESSED AS PART OF THIS SURVEY.

1 CURB INLET
TOP 1161.71
15" INV. IN 1158.41 SW
15" INV. OUT 1158.34 NE

2 STORM MANHOLE
TOP 1160.54
15" INV. IN 1157.51 SW
18" INV. OUT 1154.95 NE

3 CURB INLET
TOP 1155.47
18" INV. IN 1151.23 SW
18" INV. OUT 1150.99 NE

4 STORM MANHOLE
TOP 144.56
15" INV. IN 1140.12 SW
15" INV. OUT 1139.91 NW

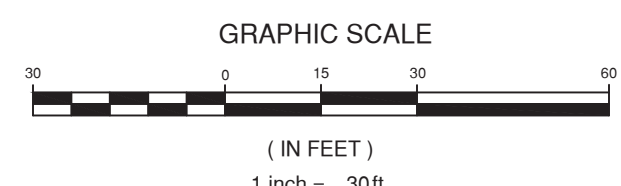
5 GRATE INLET
TOP 1161.12
18" INV. IN 1157.96 SW
18" INV. OUT 1157.93 NE

6 GRATE INLET
TOP 1157.46
18" INV. IN 1154.91 SW
8" INV. IN 1155.07 N
24" INV. OUT 1154.82 NE

(A) SANITARY MANHOLE
 TOP 1161.62
 8" INV. IN 1158.49 NW
 8" INV. IN 1156.95 NE
 8" INV. OUT 1156.90 SW

(B) SANITARY MANHOLE
TOP 1162.56
4" INV. IN 1159.69 NW
4" INV. IN 1158.35 NE
4" INV. IN 1158.11 NE
8" INV. OUT 1157.93 SW

FIRST WESLEYAN CHURCH ROANOKE, INC
TM 037-10.01-13.00-0000
INSTR. No. 201401094
ZONING: R-2



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- Raleigh, NC
- Fayetteville, NC
- Northern Virginia
- Virginia Beach, VA



EXISTING CONDITIONS

REVISIONS

DESIGNED BY:	KMJ
DRAWN BY:	DEP
CHECKED BY:	CAH
SCALE:	1"=30'
DATE:	MAY 24, 2021
PROJECT NUMBER:	20010271-010301

C200

**New Facility for
WOODSPRING
SUITES**

**3812 Peters Creek Road
Roanoke County, Virginia**

SHEET
4
OF
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