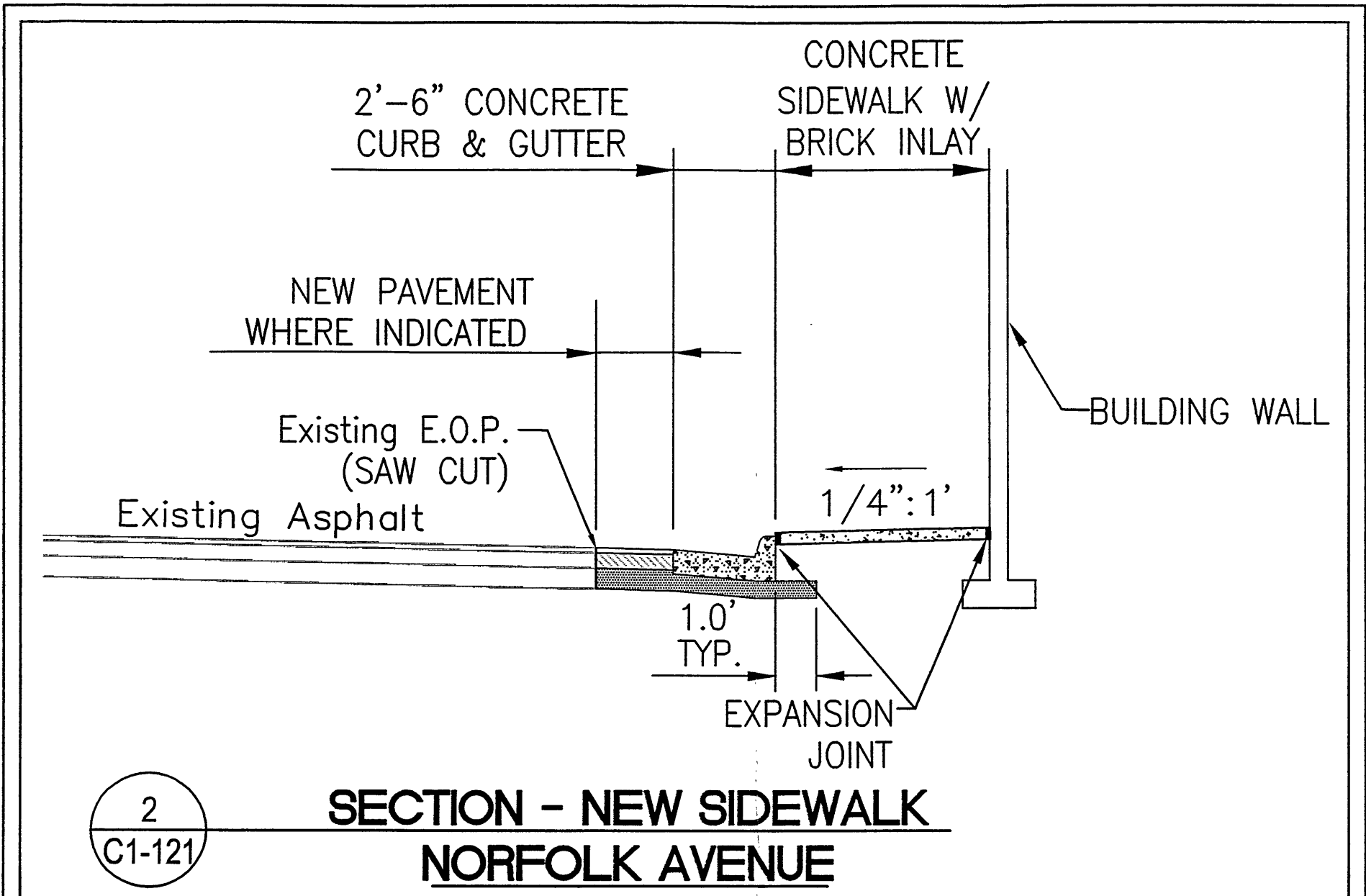
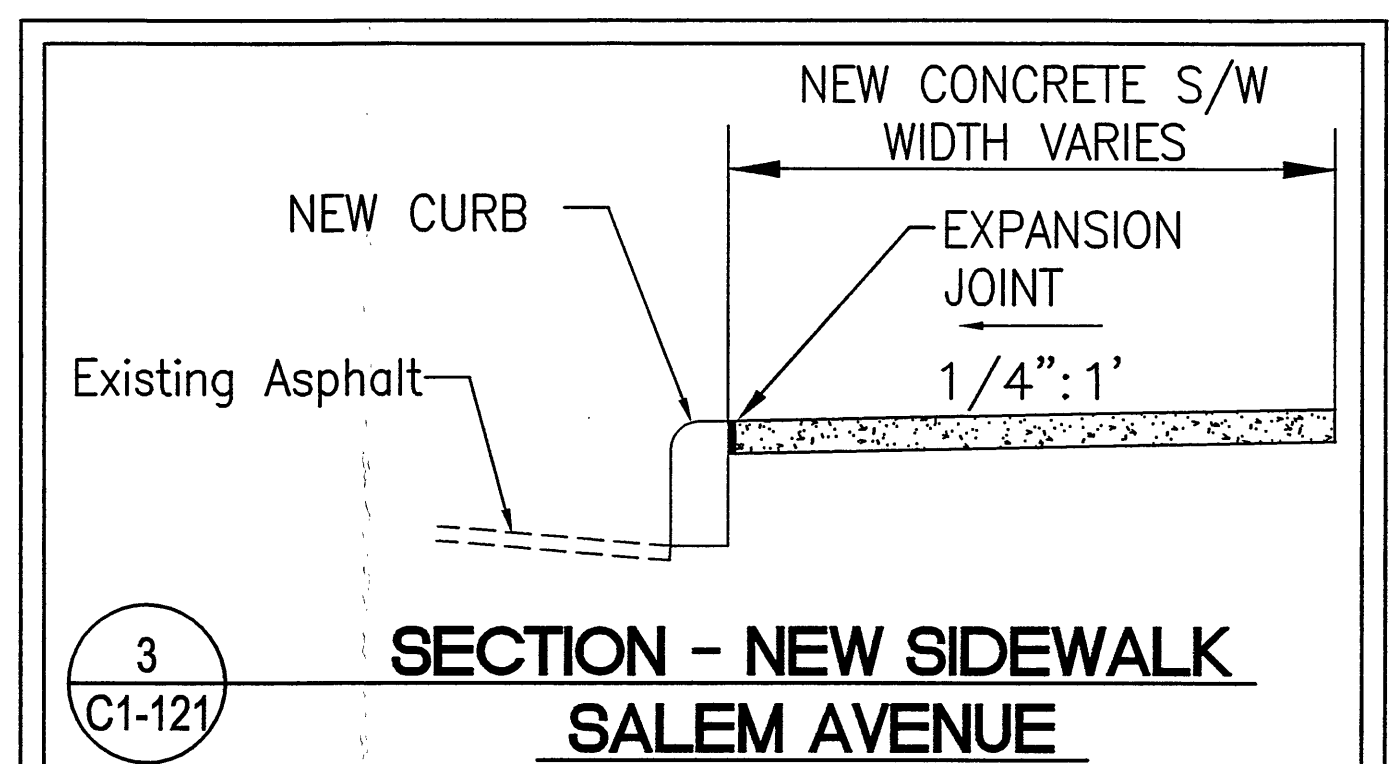
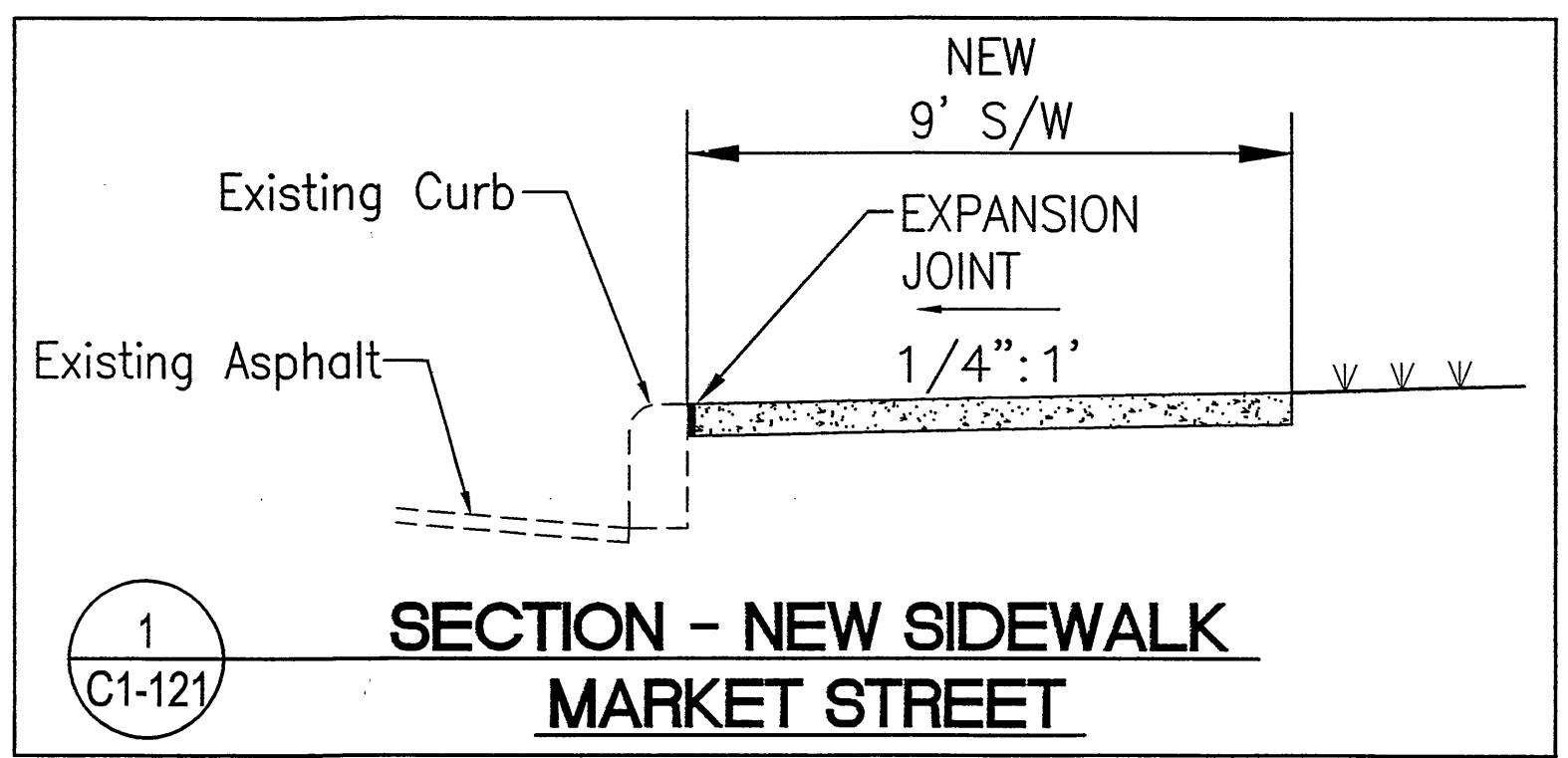


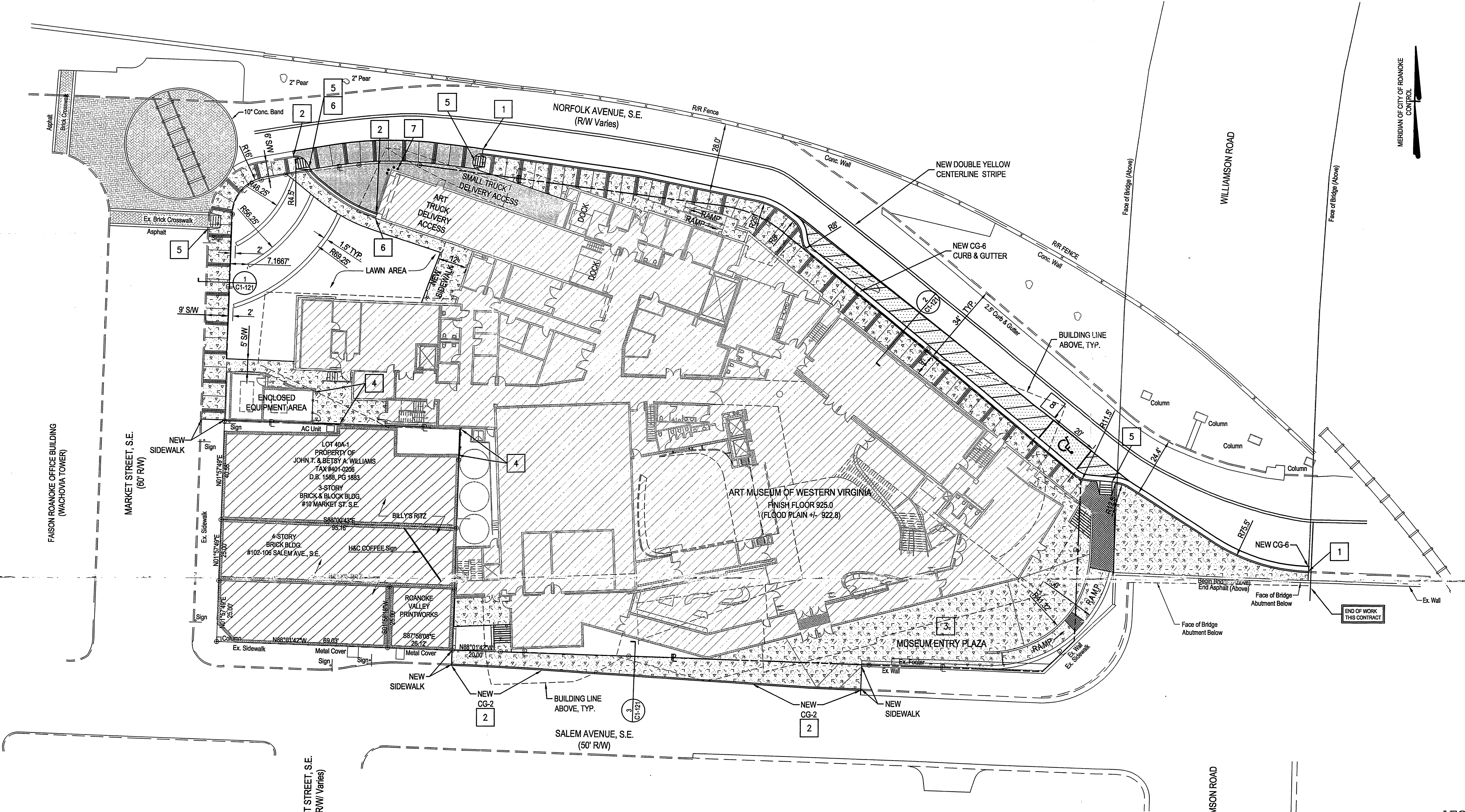
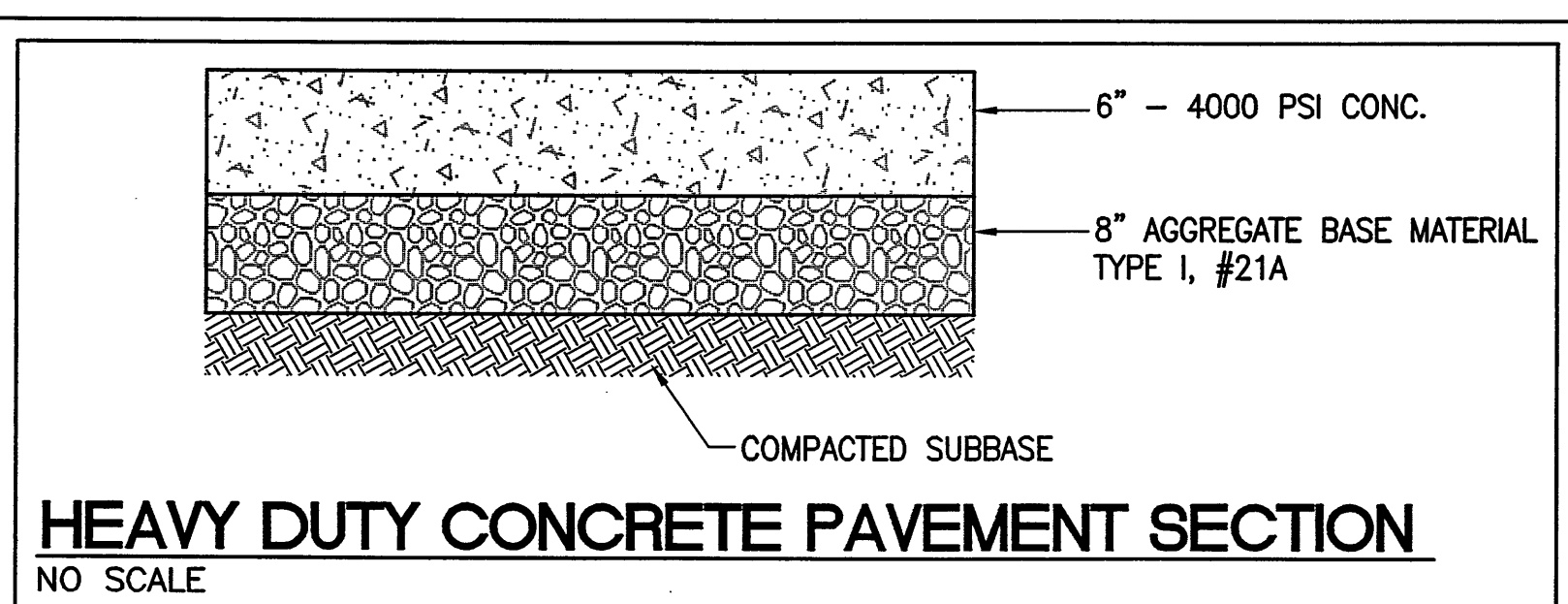
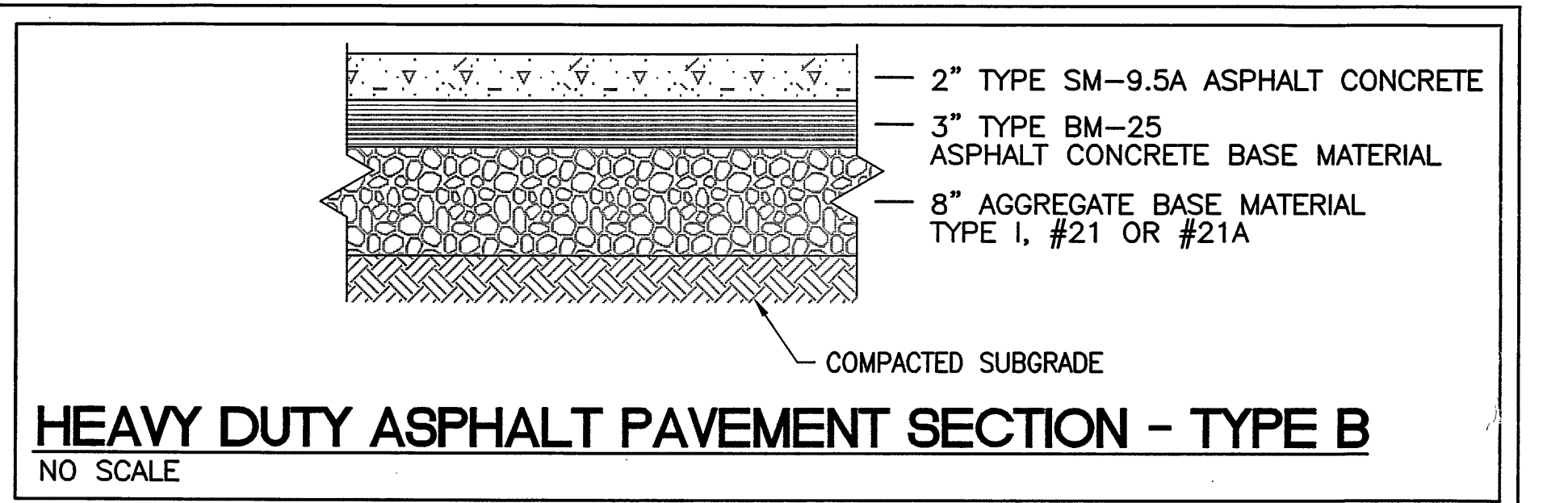
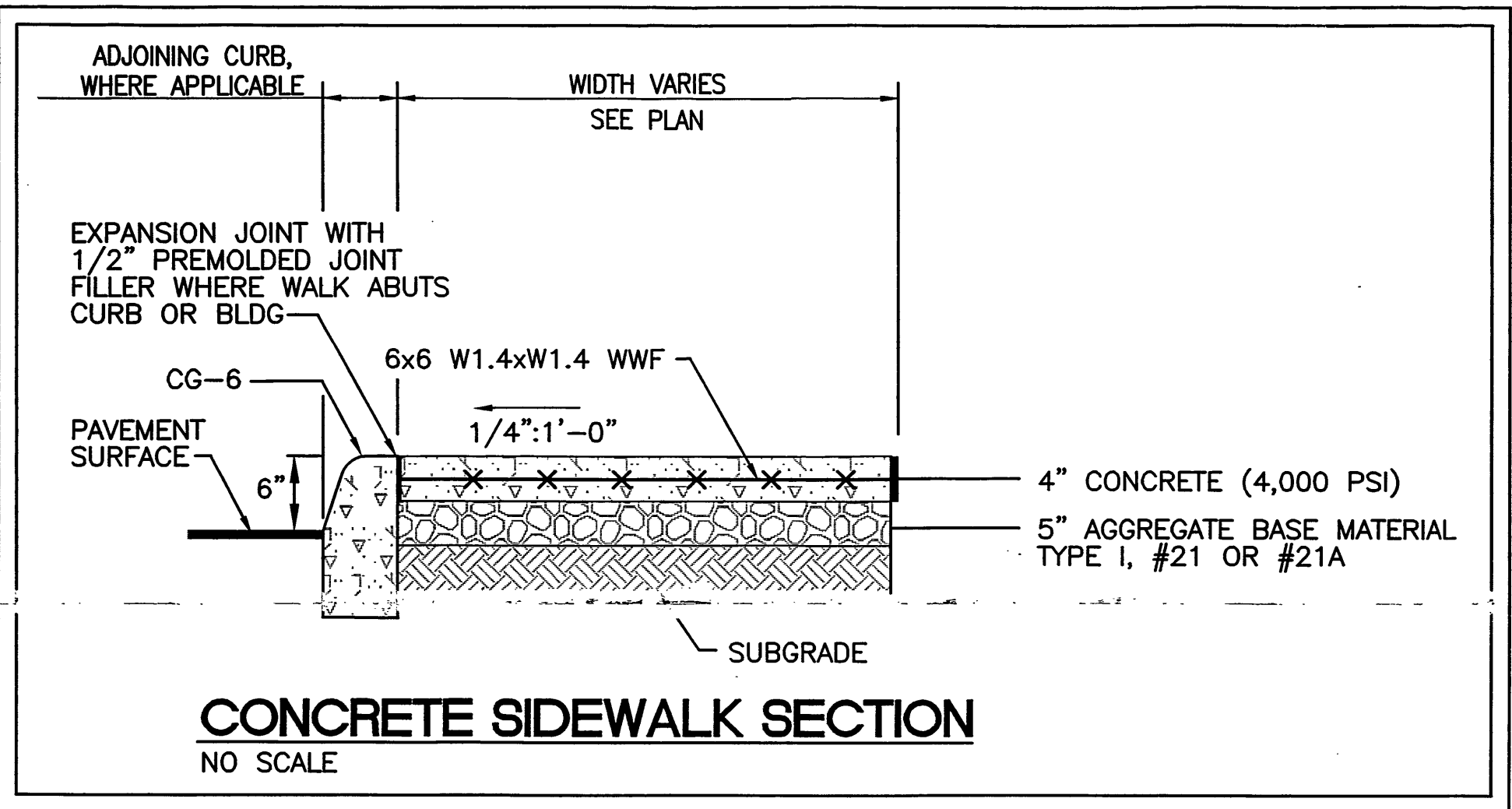
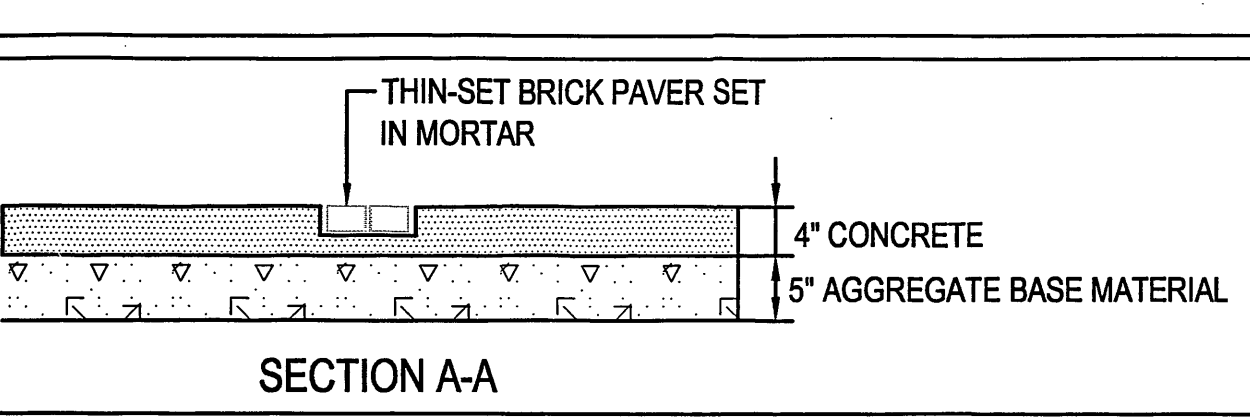
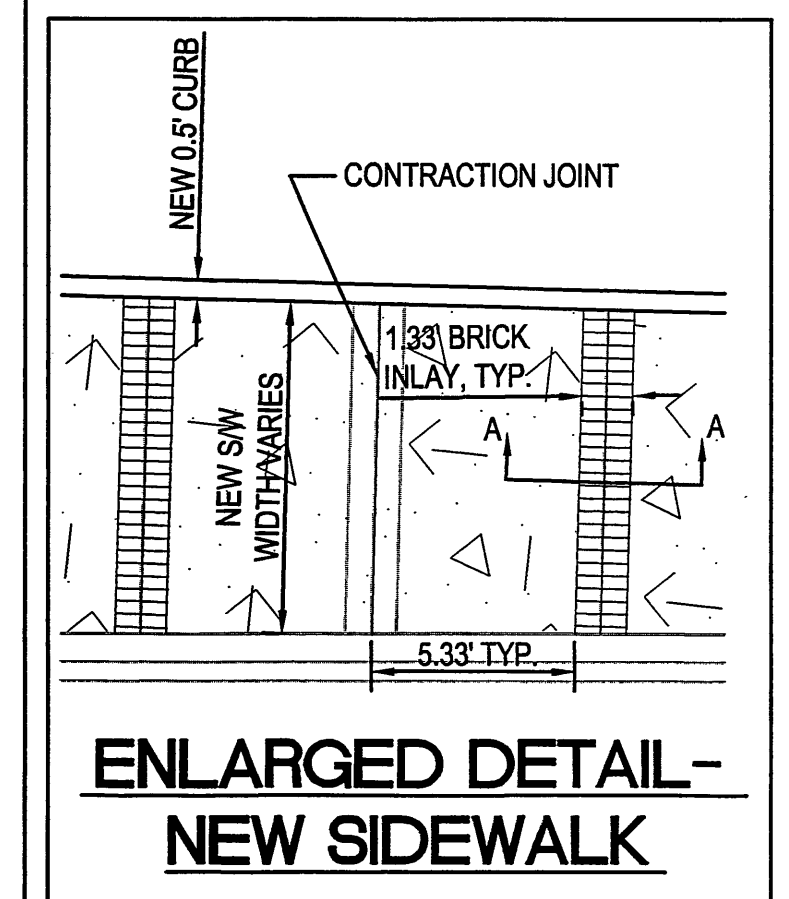
GENERAL NOTES:
 1. Standard commercial "Entrances" shall have a minimum curb radius (R) of 1 1/2 feet.
 2. Minimum Entrance width to be 12 feet.
 3. Where curb & gutter already exists both curb & gutter shall be removed. If proposed entrance falls within five (5) feet of an existing joint removal & reconstruction shall be to that joint. Any concrete removed or other than an existing joint shall be cut with a mechanical saw specifically manufactured for that purpose; this also shall apply to street pavement.
 4. Where sidewalk exists or is to be constructed across driveways the thickness thereof must correspond with the thickness of the entrance.
 5. Whenever "Entrances" exceed twenty-four (24) feet in width a 1/2" preformed expansion joint filler shall be installed through the center perpendicular to flow line.
 6. Finish "Entrances" shall have a "source vapor finish" running parallel to flow line.
 7. Curing shall be accomplished by the use of a liquid membrane seal consisting white pigment applied at the rate of one (1) gallon per square foot.
 8. All "Entrance Ways" shall be constructed according to City of Roanoke specifications and to the end grades approved by the City Engineering Department.
 9. Entrances exceeding 30 feet in width shall be approved by the City Manager.



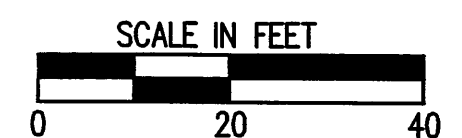
- KEYNOTES**
- BEGIN/END NEW CONCRETE CURB AND GUTTER, VDOT STANDARD CG-6.
 - BEGIN/END NEW CONCRETE CURB, VDOT STANDARD CG-2.
 - MUSEUM ENTRY PLAZA, SEE ENLARGED PLAN ON SHEET C1-1.24 AND A1-2.01.
 - NEW CHAIN LINK FENCE. SEE DETAIL ON SHEET C1-1.23.
 - HANDICAP ACCESSIBLE RAMP, VDOT STANDARD CG-12.
 - WALL WITH HANDRAIL. SEE ARCHITECTURAL PLANS FOR DETAILS.
 - BOLLARDS, TYPICAL OF FOUR.
 - 20' LONG HANDICAPPED ACCESSIBLE SPACE WITH SIGNS.

- GENERAL NOTES:**
- EXISTING TOPOGRAPHIC INFORMATION IS TAKEN FROM FIELD SURVEYS PERFORMED BY MATTERN & CRAIG, INC. JUNE 2002.
 - THE CONTRACTOR SHALL CONTACT "MISS UTILITY" (1-800-552-7001) 48 HOURS PRIOR TO WORKING IN THE VICINITY OF THE EXISTING UTILITIES.
 - UNLESS OTHERWISE NOTED ALL LINEAR DIMENSIONS ARE TO THE FACE OF CURB.
 - ON-SITE PAVEMENT SHALL BE TYPE B - HEAVY DUTY PAVEMENT EXCEPT WHERE OTHERWISE INDICATED.
 - UNLESS OTHERWISE NOTED ALL CURB RADI = 2'-6". ALL CURB RADI DIMENSIONS ARE TO THE BACK OF THE CURB.
 - REFER TO ARCHITECTURAL DRAWINGS FOR BUILDING LAYOUT AND DIMENSIONS.
 - ALL CONCRETE CURB (AND GUTTER) SHALL BE CONSTRUCTED IN ACCORDANCE WITH VDOT STANDARD CG-2 OR CG-6.
 - THE PROPOSED DEVELOPMENT CAUSES NO IMPACT ON EXISTING INFRASTRUCTURE CAPACITY WITHIN THE DISTRICT AND NO IMPACT ON COLLECTOR LINES IMMEDIATELY OUTSIDE THE DISTRICT.
 - ENTRANCES GREATER THAN 30' IN WIDTH SHALL BE PERMITTED BY WAIVER GRANTED BY CITY MANAGER.
- SITE TABULATIONS:**
 TOTAL SITE AREA = 0.90 ACRES
 BUILDING AREA = 98,198 S.F. (GROSS FLOOR AREA)
 SITE ADDRESS: 110 SALEM AVENUE, S.E.
 TAX# 4010205
 TAX# 4010210
 ZONING: H-1, HISTORIC DISTRICT
 BUILDING HEIGHT: MAXIMUM=60, ACTUAL=VARIES, NOT TO EXCEED 60'
 ADJACENT ZONING: H-1
 ADJACENT LAND USE: RESTAURANT AND RETAIL
 CURRENT LAND USE: VACANT AND PARKING
 PROPOSED LAND USE: MUSEUM, THEATER, AND RESTAURANT
 PARKING: NO MINIMUM REQUIREMENTS
- YARD REQUIREMENTS:**
 -FRONT: NONE
 -SIDE: NONE
 -REAR: NONE

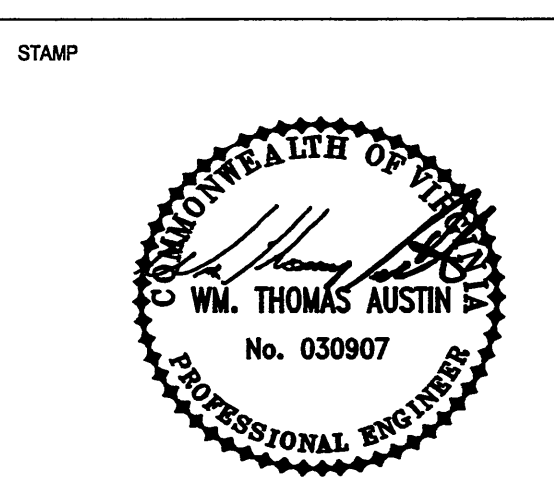
OFFICE OF THE CITY ENGINEER - ROANOKE, VIRGINIA
 APPROVED: [Signature]
 STANDARD CITY OF ROANOKE COMMERCIAL ENTRANCE
 SHEET 6 OF 9
 TTTTVA # 09



- LEGEND**
- HEAVY DUTY ASPHALT PAVEMENT - TYPE B (SEE DETAIL THIS SHEET)
 - HEAVY DUTY CONCRETE PAVEMENT (SEE DETAIL THIS SHEET)
 - CONCRETE SIDEWALK (SEE DETAIL THIS SHEET)
 - CONCRETE SIDEWALK WITH BRICK PAVEMENT INLAY (SEE ENLARGED DETAIL THIS SHEET)



- Landscaping:** Whitehill Group, 315 King George Avenue, Roanoke, VA 24016, 540.982.0040, gene@whitehillgroup.com
- Acoustics, AV, Security, Communications:** Newcomb & Boyd, 303 Peachtree Center Ave., NE, Suite 525, Atlanta, GA 30303-1277, 404.730.8400, tferguson@newcomb-boyd.com
- Electrical:** Koehner, Schira & Cochran Consulting Engineers, 111 N. Jackson St., Suite 121, Glendale, CA 91206-4317, 818.240.5630, hdsahl@kscgen.com
- Structural:** Desimone Consulting Engineers PLLC, 180 Sansome St., Suite 1600, San Francisco, CA 94104, 415.398.5740, droorde@de-simone.com
- Mechanical / Plumbing:** Mechanical / Plumbing IBE Consulting Engineers, Inc., 14130 Riverside Drive, Suite 201, Sherman Oaks, CA 91423, 818.377.8220, john.gautney@ibeca.net
- Associate Architect:** Rodriguez Madoux Motley Architects, 28 Church Avenue, Roanoke, VA 24011, 540.344.1212, goupka@rmm.net
- Civil:** Mattern & Craig, 701 First St. S.W., Roanoke, VA 24016, 540.348.8942, wtustin@matternandcraig.com
- Specifications:** Technical Resource Consultants, 1780 West Summy Ave., Peoria, AZ 85381, 928.418.2725, paulsimonsen@trc.com
- Food Service:** Web Design, 130 S. Prospect Ave., Tusin, CA 92780, 914.358.1882, jweb@webdesignonline.com
- Lighting:** LAM Partners, 84 Sherman Street, Cambridge, MA 02140, jenniferp@lampartners.com



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Art Museum of Western Virginia
 100 Salem Avenue SE, Roanoke, Virginia 24011

PROJECT: KEY PLAN

NO.	ISSUE	DATE	NO.	ISSUE	DATE
1	ADDENDUM #1 (TO 60% DD)	10/25/04			
2	100% DD	12/21/04			
3	SITE WORK/FOUNDATIONS	07/08/05			
4	GMP ISSUE	07/29/05			
5	GMP-RU PERMIT APPLICATION	11/18/05			

DRAWING TITLE: SITE PLAN

DATE: 08/31/04
 PROJECT NO: 0104
 SCALE: 1" = 20'

DRAWN BY: CVZ
 REVIEWED BY: WTA

DRAWING NUMBER: C1-1.21