

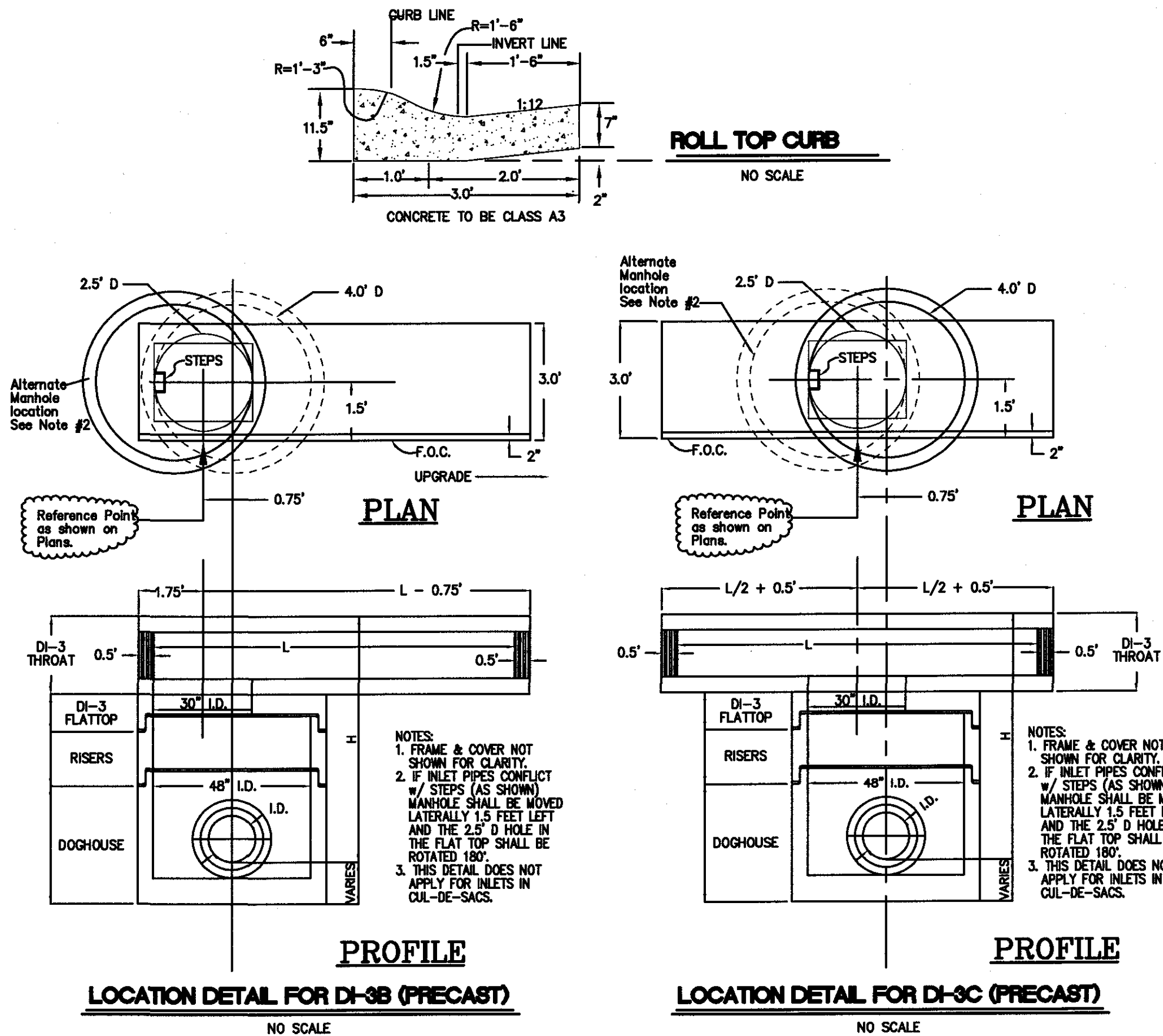
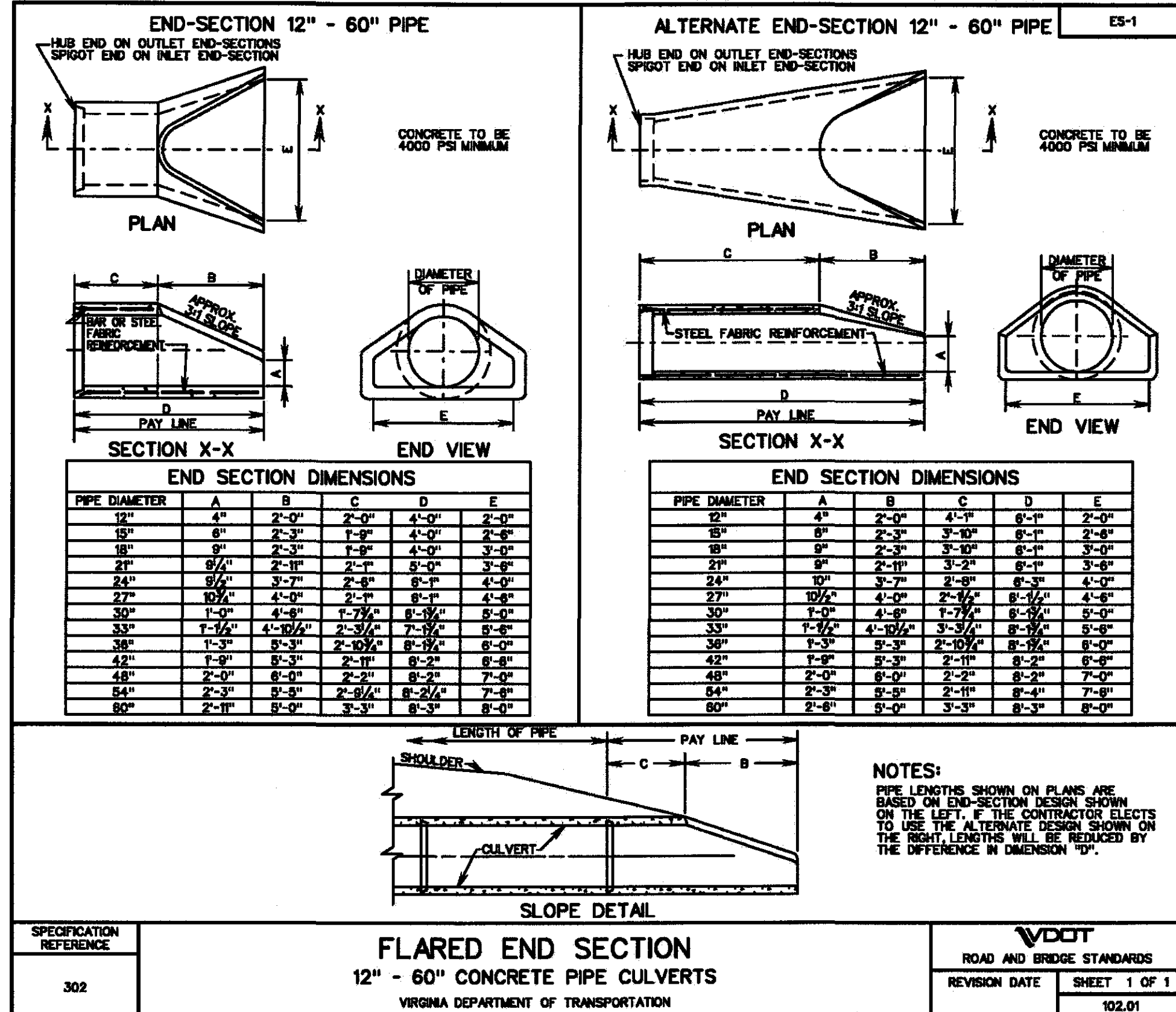
TYPICAL PRIVATE ROAD SECTION

PAVEMENT SPECIFICATIONS						
ROUTE NUMBER	FROM STATION TO STATION	ROAD WIDTH	R/W WIDTH	VPD	NUMBER OF CBR TEST REQUIRED	PAVEMENT SPECIFICATION
SOUTH RIDGE DRIVE	10+15.35 TO 10+29.44 (WITHIN EXIST. VDOT R/W)	VARIES	VARIES	< 400	1 AT EACH INT. AND 1/500 = 4 REQ'D	ASPH. CONCRETE SURFACE, TYPE SM-9.5A (1.5"), ASPH. CONCRETE BASE, TYPE BM-25.0A (3"), AGGREGATE SUBBASE, #21B (8")
SANDERSON RIDGE DRIVE						
SOUTH RIDGE DRIVE	ALL REMAINING WITHIN PRIVATE R/W	24' PAVEMENT WIDTH	40' PRIVATE	< 400		ASPH. CONCRETE SURFACE, TYPE SM-9.5A (2"), AGGREGATE SUBBASE, #21B (10")
SANDERSON RIDGE DRIVE						

NOTES:

- THE MATERIAL FOR THIS PROJECT SHALL HAVE A MINIMUM CBR VALUE OF 4.0 OR AS APPROVED BY THE MATERIALS ENGINEER.
- THE SIZE 21B AGGREGATE SHALL BE PRIME WITH APPROXIMATELY 0.35 GAL/SY OF RC-250 ASPHALT COVERED WITH 18 TO 18 LBS/SY OF SIZE 8-P AGGREGATE BEFORE PLACING THE SM-9.5A.
- THE SUB-BASE SHALL BE APPROVED BY THE DEPARTMENT PRIOR TO THE PLACEMENT OF THE BASE. BASE SHALL BE APPROVED BY THE DEPARTMENT FOR DEPTH, TEMPLATE, AND COMPACTION BEFORE SURFACE IS APPLIED. THE SURFACE LAYER SHALL BE APPROVED BY THE DEPARTMENT FOR DEPTH, TEMPLATE, AND COMPACTION. THE CONTRACTOR SHALL AUTHORIZE THE TESTING TO BE PERFORMED BY AN INDEPENDENT TESTING LAB FOR EACH LAYER OF THE PAVEMENT STRUCTURE. TEST RESULTS SHALL BE SUBMITTED TO THE DEPARTMENT FOR APPROVAL. ALL TEST METHODS AND FREQUENCY OF TESTING SHALL BE IN ACCORDANCE WITH VDOT'S ROAD AND BRIDGE SPECIFICATIONS AND THE VIRGINIA TEST METHODS MANUAL.
- EXISTING PAVEMENT IS TO BE SAW CUT AT ABUTTING EDGE WHERE NEW PAVEMENT IS TO MATCH. THE VERTICAL SAW CUT IS TO BE MADE THROUGH FULL PAVEMENT DEPTH. THE VERTICAL CUT SURFACE TO BE COATED WITH A TACK COAT OF BITUMINOUS MATERIAL, TYPE RC-250 OR APPROVED EQUAL.

2016 ROAD & BRIDGE STANDARDS



SITE AND ZONING TABULATIONS

THE PROPERTY SHOWN HEREON IS COMPRISED OF BOTETOURT COUNTY TAX PARCEL 107-1A AND 107-4.
DEVELOPER: HUNGATE-FIELDS LLC
8005 WHITTIER COURT
ROANOKE, VA 24019
(540) 309-0266

CURRENT ZONING: R-3 WITH SPECIAL EXCEPTION FOR PRIVATE ROADS
PROPOSED USE: SINGLE FAMILY DETACHED RESIDENTIAL, ZERO LOT LINE
TOTAL SITE ACREAGE: 15.9 ACRES +/-
MINIMUM LOT AREA REQUIRED: 9,000 SQUARE FEET
MAXIMUM DENSITY ALLOWED: 4.0 DWELLINGS PER ACRE
PROPOSED DENSITY: 2.3 PER ACRE
MAXIMUM LOT COVERAGE: 50%; MAXIMUM IMPERVIOUS SURFACE COVERAGE: 75%
PROPOSED MAXIMUM LOT COVERAGE: 30%; PROPOSED MAXIMUM IMPERVIOUS SURFACE COVERAGE: 40%
MINIMUM LOT WIDTH REQUIRED: 60 FEET AT MINIMUM FRONT YARD SETBACK LINE
MINIMUM FRONT YARD SETBACK: 25 FEET
MINIMUM SIDE YARD SETBACK: 20 FEET ON OPEN SIDE
MINIMUM REAR YARD SETBACK: 25 FEET
ACCESSORY BUILDINGS: NOT CLOSER THAN 5 FEET TO A SIDE OR REAR LOT LINE, NOT ALLOWED IN FRONT YARD
NOT MORE THAN 1 ACCESSORY BUILDING PERMITTED PER LOT
MAXIMUM HEIGHT OF BUILDINGS AND STRUCTURES: 35 FEET
MINIMUM OPEN SPACE REQUIRED: 10% OF GROSS ACREAGE OF TRACT (1.6 ACRES)
OPEN SPACE PROVIDED: 20.7% (3.29 ACRES)
MINIMUM PARKING REQUIRED: 2 PER DWELLING UNIT
PARKING PROVIDED: 2 CAR GARAGE ON EACH LOT

GENERAL NOTES

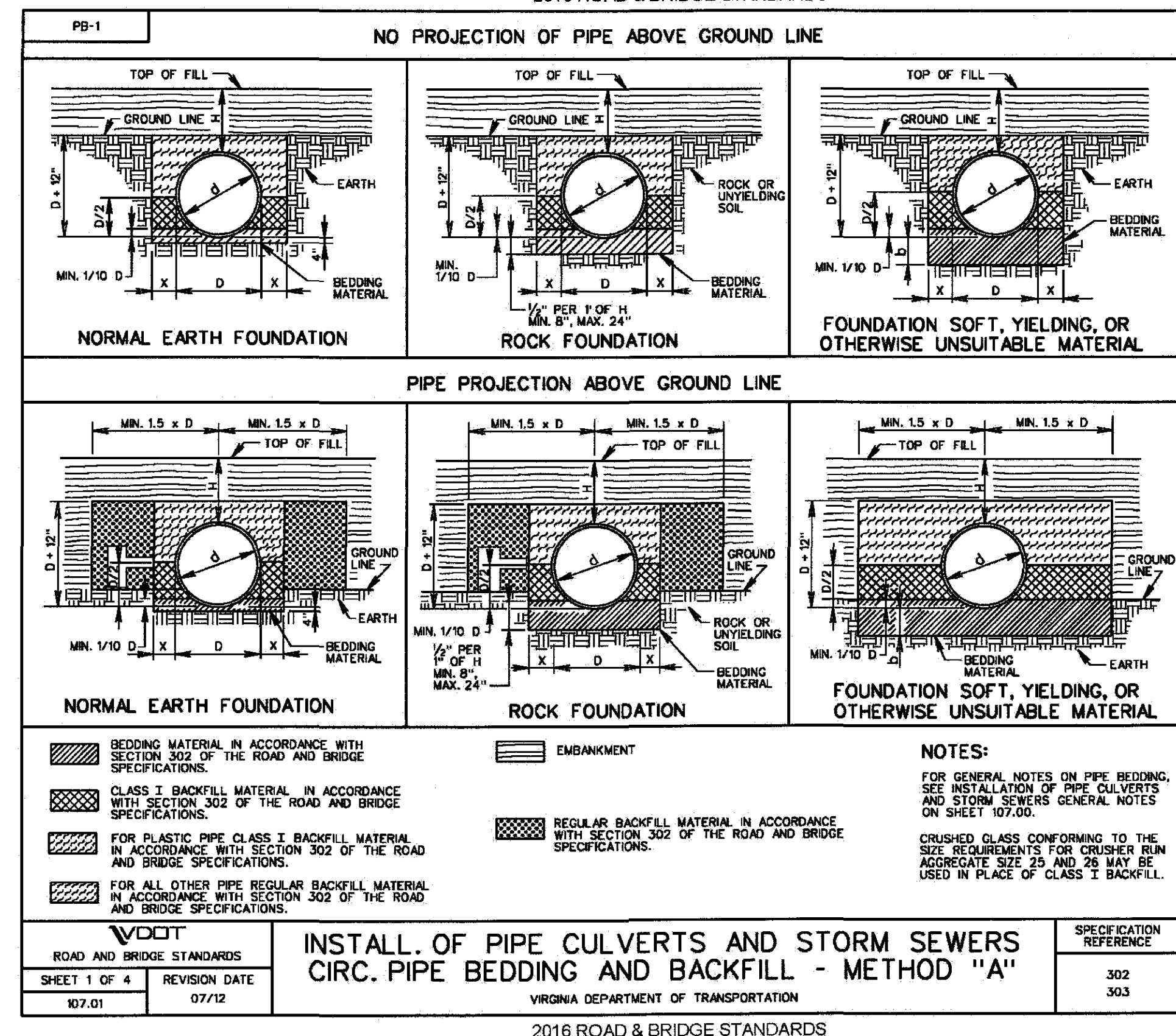
- THE BOUNDARY IS THE DIRECT RESULT OF A FIELD SURVEY BY LUMSDEN ASSOCIATES, P.C. DATED 2017.
- TOPOGRAPHY DATA BASED ON A FIELD SURVEY BY LUMSDEN ASSOCIATES, P.C. IN 2017.
- THIS PROJECT IS NOT LOCATED WITHIN THE LIMITS OF A 100 YEAR FLOOD BOUNDARY AS DESIGNATED BY FEMA. THIS OPINION IS BASED ON AN INSPECTION OF THE FLOOD INSURANCE RATE MAP, MAP NUMBER 5102300460C, DATED DECEMBER 17, 2010, AND HAS NOT BEEN VERIFIED BY ACTUAL FIELD ELEVATIONS.
- A TITLE REPORT WAS NOT FURNISHED FOR THIS PROJECT.
- ALL ROADS WITHIN THE DEVELOPMENT ARE PRIVATE AND WILL BE OWNED AND MAINTAINED BY A HOMEOWNER'S ASSOCIATION.
- PUBLIC WATER SERVICE SHALL BE PROVIDED BY AQUA VIRGINIA, INC.
- PUBLIC SANITARY SEWER SERVICE SHALL BE PROVIDED BY THE WESTERN VIRGINIA WATER AUTHORITY.
- TRASH COLLECTION WILL BE PROVIDED BY A PRIVATE WASTE DISPOSAL COMPANY. SERVICE WILL BE PROVIDED BY KESSLER GARBAGE SERVICES.
- SIGNAGE SHALL BE IN ACCORDANCE WITH THE BOTETOURT COUNTY ZONING ORDINANCE. SEPARATE REVIEW AND APPROVAL WILL BE REQUIRED FOR ANY SIGNS.
- SITE LIGHTING AS SHOWN ON SHEET 3 WILL BE PROVIDED BY AEP. LIGHTING SHOWN HEREON IS FOR REFERENCE ONLY. ALL DESIGN ELEMENTS, INCLUDING FOUNDATION, TO BE PERFORMED BY AEP OR OTHERS. LIGHTING SHALL BE ACQUITY LIGHTING'S AMERICAN REVOLUTION DELUXE 150 WATT METAL HALIDE FULL CUTOFF POST TOP LUMINAIRE. POLE HEIGHT WILL BE 14 FEET. TOTAL HEIGHT INCLUDING POLE AND LAMP WILL BE APPROXIMATELY 15.5 FEET.
- THE DEVELOPMENT SHOWN HEREON MAY RESULT IN AN ESTIMATED 14 SCHOOL AGE CHILDREN. THIS ESTIMATE IS BASED ON METHODOLOGY PROVIDED BY BOTETOURT COUNTY PLANNING DEPARTMENT OR 0.375 SCHOOL AGE CHILDREN PER DWELLING.
- NO CONSTRUCTION/FIELD REVISIONS ARE ALLOWED WITHOUT THE APPROVAL OF THE CONSULTING ENGINEER, THE VIRGINIA DEPARTMENT OF TRANSPORTATION, AND THE COUNTY OF BOTETOURT.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO CLEAN OUT THE EXISTING STORM SEWER SYSTEM WITHIN EXISTING DEVELOPMENTS SHOULD THESE SYSTEMS BECOME SILENT OR BLOCKED IN ANY WAY DUE TO THE CONSTRUCTION OF THIS PROPOSED DEVELOPMENT.

CONSTRUCTION NOTES

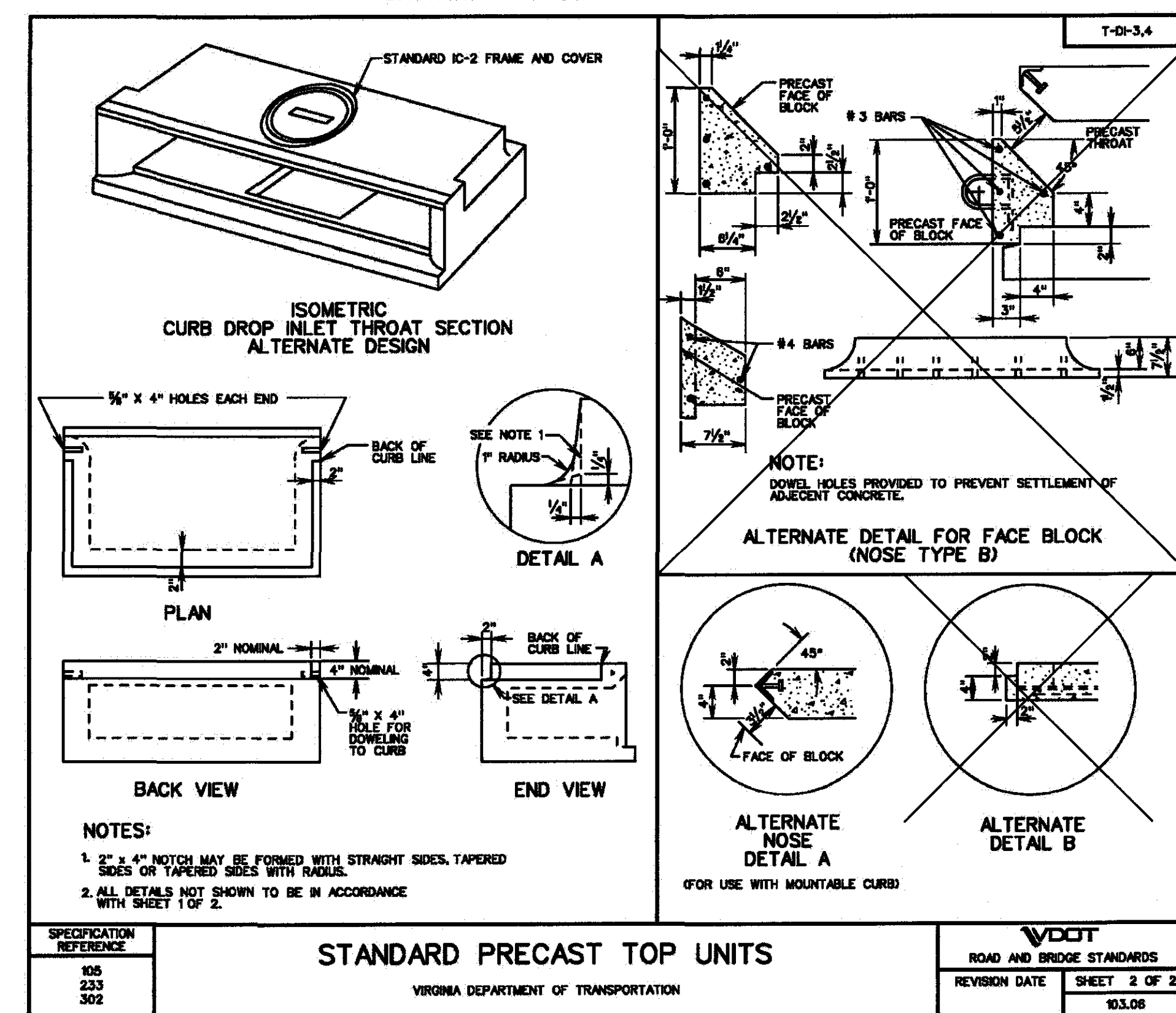
- ALL CONSTRUCTION SHALL CONFORM TO THE CURRENT EDITION OF VDOT'S ROAD AND BRIDGE STANDARDS.
- PRIOR TO THE COMMENCEMENT OF ANY DIGGING, ALTERATION, OR CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY, A PERMIT SHALL BE APPLIED FOR AND OBTAINED BY THE CONTRACTOR FROM THE VIRGINIA DEPARTMENT OF TRANSPORTATION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE COUNTY OF BOTETOURT, VDOT, AND THE ENGINEER OF ANY CHANGES OR CONDITIONS ATTACHED TO PERMITS OBTAINED FROM ANY AUTHORITY ISSUING PERMITS.
- NO SUBSOIL INVESTIGATIONS HAVE BEEN FURNISHED TO THE DESIGN ENGINEER.
- THE CONTRACTOR SHALL VISIT THE SITE AND VERIFY EXISTING CONDITIONS PRIOR TO STARTING CONSTRUCTION.
- THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL EXISTING UTILITIES PRIOR TO STARTING CONSTRUCTION. CALL MISS UTILITY AT 1-800-552-7001 AT LEAST THREE WORKING DAYS BEFORE ANY EXCAVATION.
- THE CONTRACTOR SHALL COORDINATE WITH THE UTILITY OWNER FOR ALL UTILITY ADJUSTMENTS/RELOCATIONS.
- THE CONTRACTOR SHALL PROVIDE A STORAGE CONTAINER FOR TEMPORARY STORAGE AND DISPOSAL OF LAND CLEARANCE DEBRIS AND BUILDING MATERIALS. ON-SITE BURIAL OF MATERIAL SHALL NOT BE PERMITTED.

GRADING NOTES

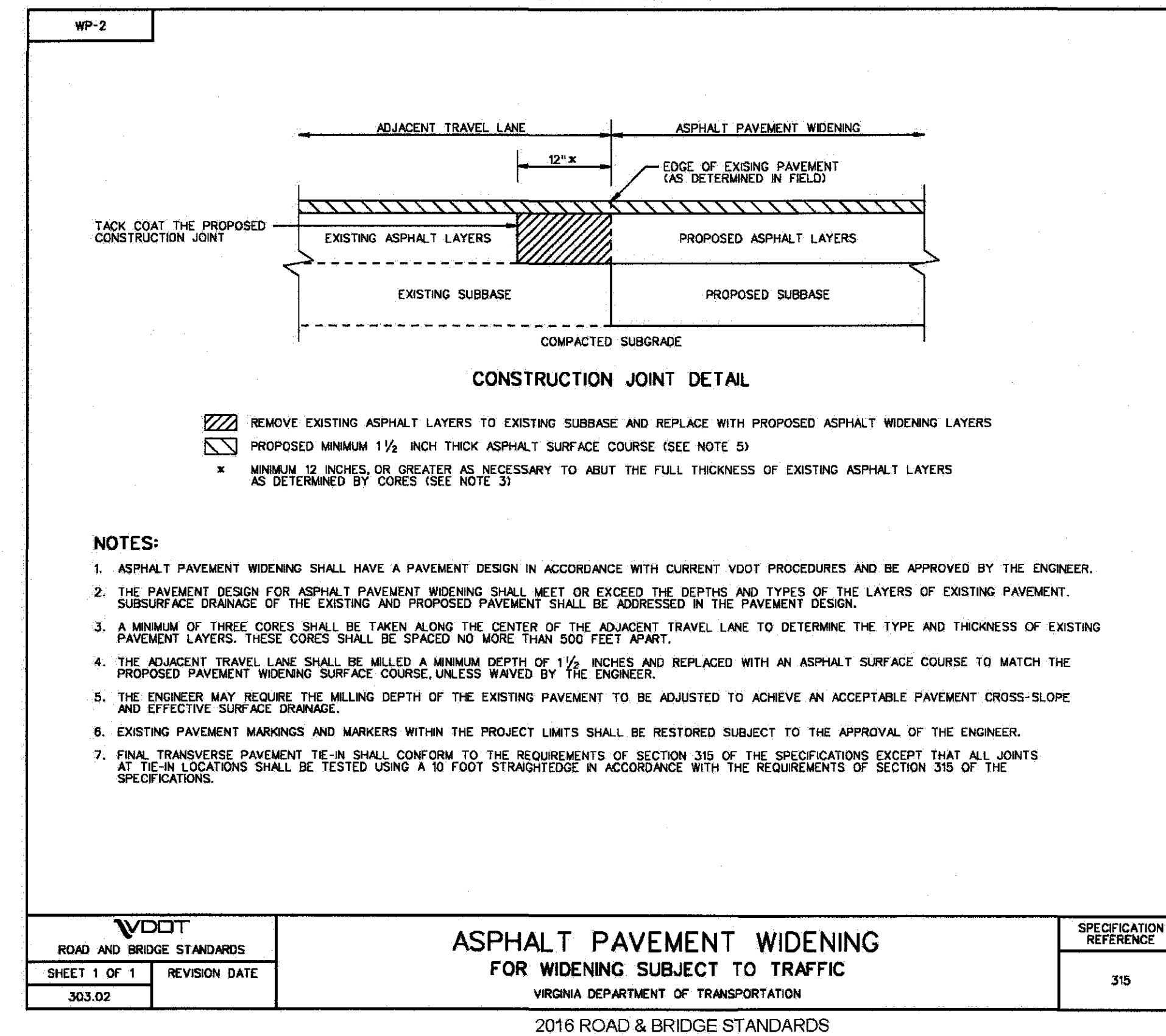
- AREAS TO BE GRADED SHALL BE CLEARED OF ALL VEGETATION, STRUCTURES, AND OTHER PHYSICAL FEATURES IN PREPARATION OF GRADING.
- TOPSOIL SHALL BE REMOVED FROM THE CLEARED AREA AND STOCKPILED FOR FUTURE USE.
- FILL MATERIAL SHALL BE FREE FROM ORGANIC MATTER AND ROCKS LARGER THAN 6 INCHES IN DIAMETER. FILL MATERIAL SHALL BE PLACED AND COMPACTED IN EIGHT (8) INCH LOOSE LIFTS AND COMPACTED TO AT LEAST NINETY-FIVE (95) PERCENT OF THE MATERIAL'S MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D698, STANDARD PROCTOR. MAINTAIN MOISTURE CONTENT OF FILL MATERIAL WITHIN THREE (3) PERCENT OF OPTIMUM TO ATTAIN REQUIRED COMPACTION DENSITY. A QUALIFIED GEOTECHNICAL ENGINEER, LICENSED IN THE STATE OF VIRGINIA, SHOULD BE CONSULTED CONCERNING SOIL STABILITY, SLOPE STABILIZATION, SOIL COMPACTION, TESTING, AND OTHER SOIL CHARACTERISTICS. LUMSDEN ASSOCIATES ASSUMES NO RESPONSIBILITY OR LIABILITY RELATING TO FAILURES RESULTING FROM SAME.
- NO SUBSURFACE SOILS INFORMATION HAS BEEN FURNISHED TO THE DESIGN ENGINEER (LUMSDEN ASSOCIATES, PC.). A QUALIFIED GEOTECHNICAL ENGINEER, LICENSED IN THE STATE OF VIRGINIA, SHOULD BE CONSULTED CONCERNING SOIL STABILITY, SLOPE STABILIZATION, SOIL COMPACTION, TESTING, AND OTHER SOIL CHARACTERISTICS. LUMSDEN ASSOCIATES ASSUMES NO RESPONSIBILITY OR LIABILITY RELATING TO FAILURES RESULTING FROM SAME.

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LUMSDEN ASSOCIATES, P.C.
ENGINEERS-SURVEYORS-PLANNERS
ROANOKE, VIRGINIA

COMMONWEALTH OF VIRGINIA
THOMAS C. DALE
Lic. No. 033002
7/23/17
PROFESSIONAL ENGINEER

NOTES AND
DETAILS

SANDERSON RIDGE
PREPARED FOR
HUNGATE-FIELDS, LLC
VALLEY MAGISTERIAL DISTRICT
THE COUNTY OF BOTETOURT, VIRGINIA

REVISIONS		DATE	DESCRIPTION
NO.	DATE		
1			
2			
3			
4			
5			
DATE: July 25, 2017			
SCALE: AS SHOWN			
COMMISSION NO: 2016-003			
SHEET 2 OF 14			