

## LAYOUT & UTILITY NOTES:

1. G.C. TO CONFIRM THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO ANY CONSTRUCTION OF PROPOSED IMPROVEMENTS.
2. NO CONSTRUCTION/FIELD CHANGES WITHOUT THE APPROVAL OF THE CONSULTING ENGINEERING AND CITY OF ROANOKE PLANNING, BUILDING, AND DEVELOPMENT DEPARTMENT.
3. GENERAL CONTRACTOR TO ENSURE POSITIVE DRAINAGE AWAY FROM ALL BUILDINGS.
4. G.C. SHALL OBTAIN A RIGHT OF WAY PERMIT FROM THE CITY OF ROANOKE PRIOR TO ANY WORK WITHIN THE CITY OF ROANOKE R.O.W.
5. ALL BUILDING DIMENSIONS SHALL BE COORDINATED WITH THE ARCHITECTURAL PLANS.
6. G.C. SHALL COORDINATE THE EXACT SANITARY SEWER AND DOMESTIC WATER LATERAL BUILDING TIE IN LOCATIONS WITH THE ARCHITECTURAL PLANS.
7. ALL UTILITY SERVICE LATERALS OR LINES, INCLUDING ELECTRIC, SHALL BE INSTALLED UNDERGROUND. WATER & SEWER CONNECTIONS SHALL CONFORM TO WVWA UTILITY STANDARDS AND INTERNATIONAL BUILDING CODE.
8. THE G.C. SHALL COORDINATE TEMPORARY POWER FOR THE PROPOSED BUILDINGS.
9. THE G.C. IS RESPONSIBLE FOR PROVIDING AND INSTALLING ALL CONDUIT ASSOCIATED WITH REQUIRED UTILITIES FOR THE PROPOSED BUILDING AND ANY NECESSARY UTILITIES ON-SITE SUCH AS LIGHTING, ELECTRICAL, ETC.
10. G.C. IS RESPONSIBLE FOR PROVIDING ALL REQUIRED TRAFFIC CONTROL DURING ANY & ALL WORK WITHIN THE CITY OF ROANOKE RIGHT OF WAY.

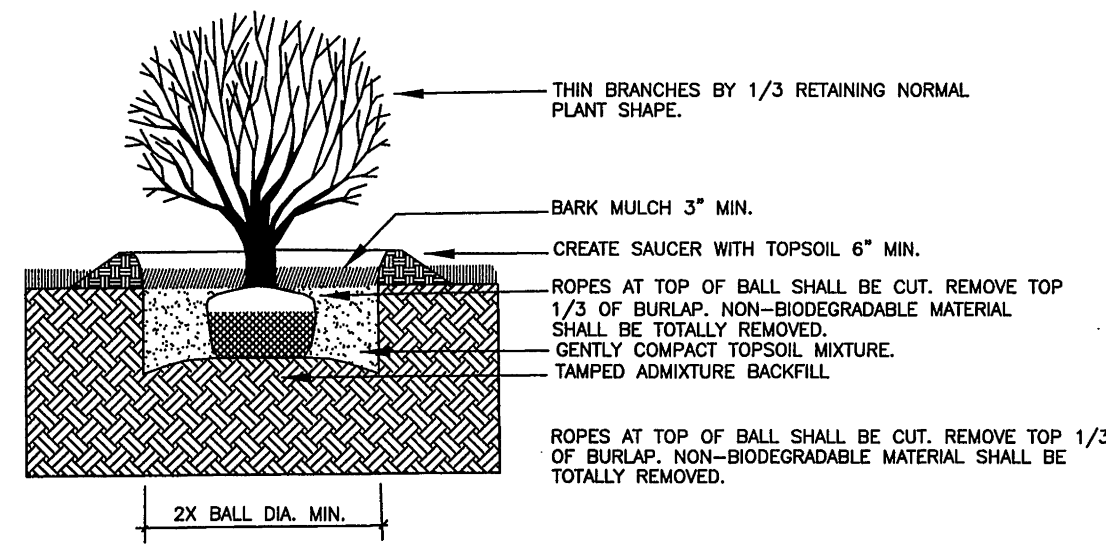
## LANDSCAPING SUMMARY:

- LOT 1:**  
CANOPY REQUIREMENTS:  
LOT AREA: 7,401 S.F.  
20%=1,480 S.F. REQUIRED  
1,510 S.F. PROVIDED
- FACADE SHRUBS:** .39 LF TOTAL  
10 SHRUBS REQUIRED  
10 SHRUBS PROVIDED
- LOT 2:**  
CANOPY REQUIREMENTS:  
LOT AREA: 7,013 S.F.  
20%=1,402 S.F. REQUIRED  
1,510 S.F. PROVIDED
- FACADE SHRUBS:** .36 LF TOTAL  
9 SHRUBS REQUIRED  
9 SHRUBS PROVIDED
- LOT 3:**  
CANOPY REQUIREMENTS:  
LOT AREA: 7,013 S.F.  
20%=1,402 S.F. REQUIRED  
1,510 S.F. PROVIDED
- FACADE SHRUBS:** .39 LF TOTAL  
10 SHRUBS REQUIRED  
10 SHRUBS PROVIDED

## LANDSCAPE MATERIAL SCHEDULE:

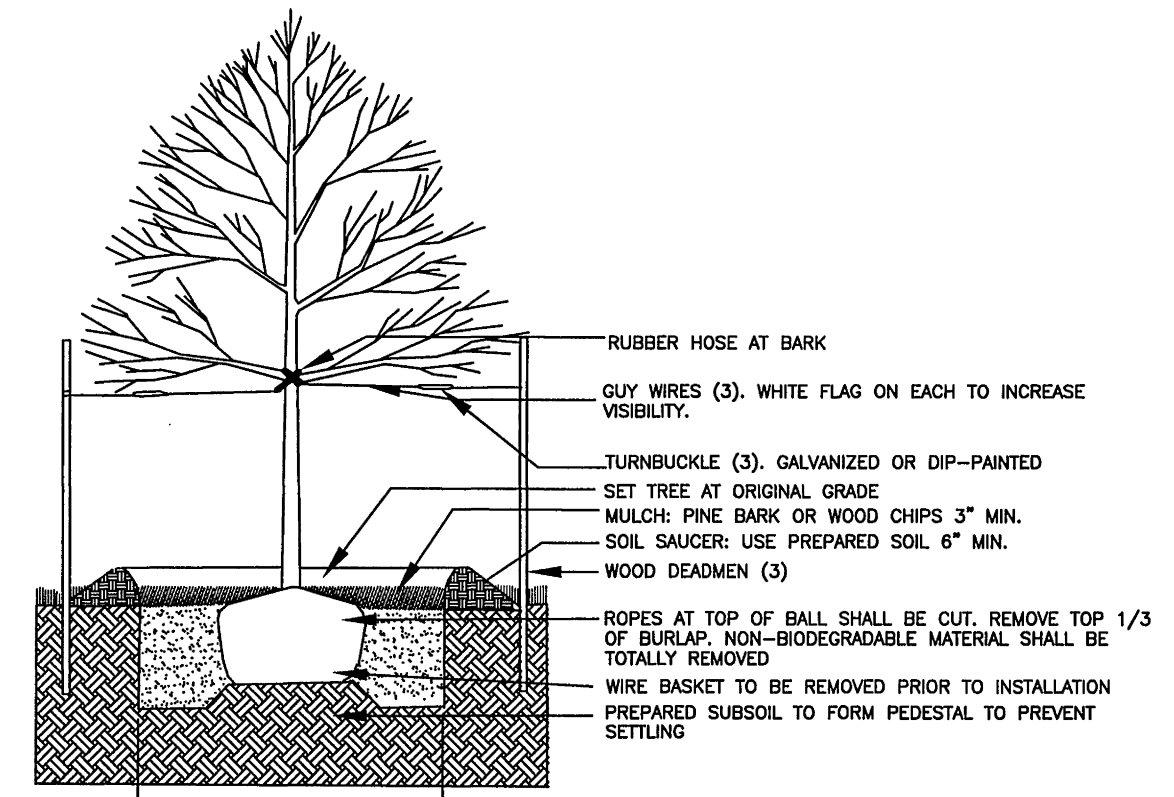
		LOT 1	LOT 2	LOT 3
	ACER RUBRUM 'OCTOBER GLORY' RED MAPLE (314 S.F.-CANOPY) (MIN. 2" CALIPER FOR YARD) MIN. 2.5" CALIPER FOR BIORETENTION AREA	4	4	4
	BETULA NIGRA RIVER BIRCH (254 S.F. OF CANOPY) MIN. 2" CALIPER AT PLANTING	1	1	1
	ILEX CRENATA 'COMPACTA' COMPACT JAPANESE HOLLY MIN. 18" AT PLANTING	10	9	10
	EUCONYMUS ALATUS WINGED EUONYMUS MIN. 36" AT PLANTING	4	4	4
	ILEX VERTICILLATA WINTERBERRY MIN. 36" AT PLANTING	5	5	5
	<b>TOTAL CANOPY</b>	<b>1,510 S.F.</b>	<b>1,510 S.F.</b>	<b>1,510 S.F.</b>

\* SEE LANDSCAPING REQUIREMENTS FOR BIORETENTION AREAS ON SHEET C06\*



## SHRUB PLANTING DETAIL

NO SCALE



## DEC. TREE PLANTING DETAIL

NO SCALE

## CONSTRUCTION SITE PLAN GENERAL NOTES

### CONSTRUCTION METHODS

1. ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH THE CURRENT VIRGINIA DEPARTMENT OF TRANSPORTATION ROAD AND BRIDGE SPECIFICATIONS, VIRGINIA DEPARTMENT OF TRANSPORTATION ROAD AND BRIDGE STANDARDS, AND LOCAL JURISDICTIONAL STANDARDS AND SPECIFICATIONS, WHERE APPLICABLE.
2. THE LOCATION OF EXISTING UTILITIES AS SHOWN IS APPROXIMATE. THE CONTRACTOR SHALL VERIFY THE LOCATION OF EXISTING UTILITIES PRIOR TO ANY CONSTRUCTION WORK AND NOTIFY ENGINEER IMMEDIATELY IF LOCATIONS DIFFER FROM PLANS.
3. THE CONTRACTOR SHALL NOTIFY 'MISS UTILITY' AT 1-800-552-7001 OR 811 PRIOR TO ANY CONSTRUCTION WORK IN THIS AREA.

#### UNDERGROUND UTILITIES

1. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING LINE AND GRADE FOR ALL DRY UTILITIES PRIOR TO THE START OF CONSTRUCTION.
2. THE CONTRACTOR IS RESPONSIBLE FOR REVIEWING DRY UTILITY LINES AND GRADES AGAINST ALL PROPOSED UTILITIES SHOWN ON THE PLANS. POTENTIAL CONFLICTS SHALL BE REPORTED TO THE ENGINEER AS SOON AS POSSIBLE.
3. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING TELEPHONE, CABLE, FIBER OPTIC, AND ELECTRICAL SERVICES TO THE PROJECT. CONTACT UTILITY PROVIDERS AS SOON AS POSSIBLE TO BEGIN COORDINATION.
4. THE CONTRACTOR SHALL REVIEW SITE AND BUILDING DRAWINGS TO VERIFY COORDINATION OF UTILITY INVERTS. ANY DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT AND ENGINEER PRIOR TO INSTALLATION.

#### ROOF DRAINS AND DOWN SPOUTS

1. ALL DOWNSPOUTS NOT CONNECTED TO STORM SEWER SHALL BE FURNISHED WITH SPLASH BLOCKS.
2. ALL DOWN SPOUTS SHALL BE FURNISHED WITH A DOWNSPOUT/ROOFDRAIN TRANSITION BOOT. STUBBING OF DOWNSPOUT INTO ROOF DRAIN LATERAL WITHOUT A SUITABLE BOOT TRANSITION IS NOT PERMITTED.
3. ALL ROOF DRAIN LATERALS SHALL BE INSTALLED IN ACCORDANCE WITH THE PREVAILING LOCAL JURISDICTIONAL PLUMBING CODE OR THE INTERNATIONAL PLUMBING CODE, WHICHEVER IS MORE STRINGENT.
4. MINIMUM ALLOWABLE SLOPE FOR 4-INCH ROOF DRAIN LATERAL IS 2.08%.
5. MINIMUM ALLOWABLE SLOPE FOR 6-INCH ROOF DRAIN LATERAL IS 1.04%.
6. ROOF DRAIN LATERALS SHALL BE 6-INCH DIAMETER (SMOOTH-WALLED), UNLESS NOTED OTHERWISE ON THE PLANS.

#### TELEPHONE, FIBER OPTIC, CABLE, AND GAS LINE SERVICES

1. CONTRACTOR SHALL HAVE 'MISS UTILITY' MARK EXISTING UTILITY LINES PRIOR TO START OF CONSTRUCTION AND AS NECESSARY THROUGHOUT CONSTRUCTION.
2. CONTRACTOR SHALL REVIEW PLANS TO VERIFY EXISTING LOCATIONS MARKED IN THE FIELD MATCH THOSE SHOWN ON THE PLANS.
3. CONTRACTOR SHALL NOTIFY ENGINEER OF ANY POTENTIAL DISCREPANCIES PRIOR TO THE START OF CONSTRUCTION.
4. CONTRACTOR SHALL POT-HOLE EXISTING UTILITIES AT CRITICAL CROSSING LOCATIONS PRIOR TO THE START OF CONSTRUCTION AND PROVIDE ENGINEER WITH LINE AND GRADE INFORMATION.

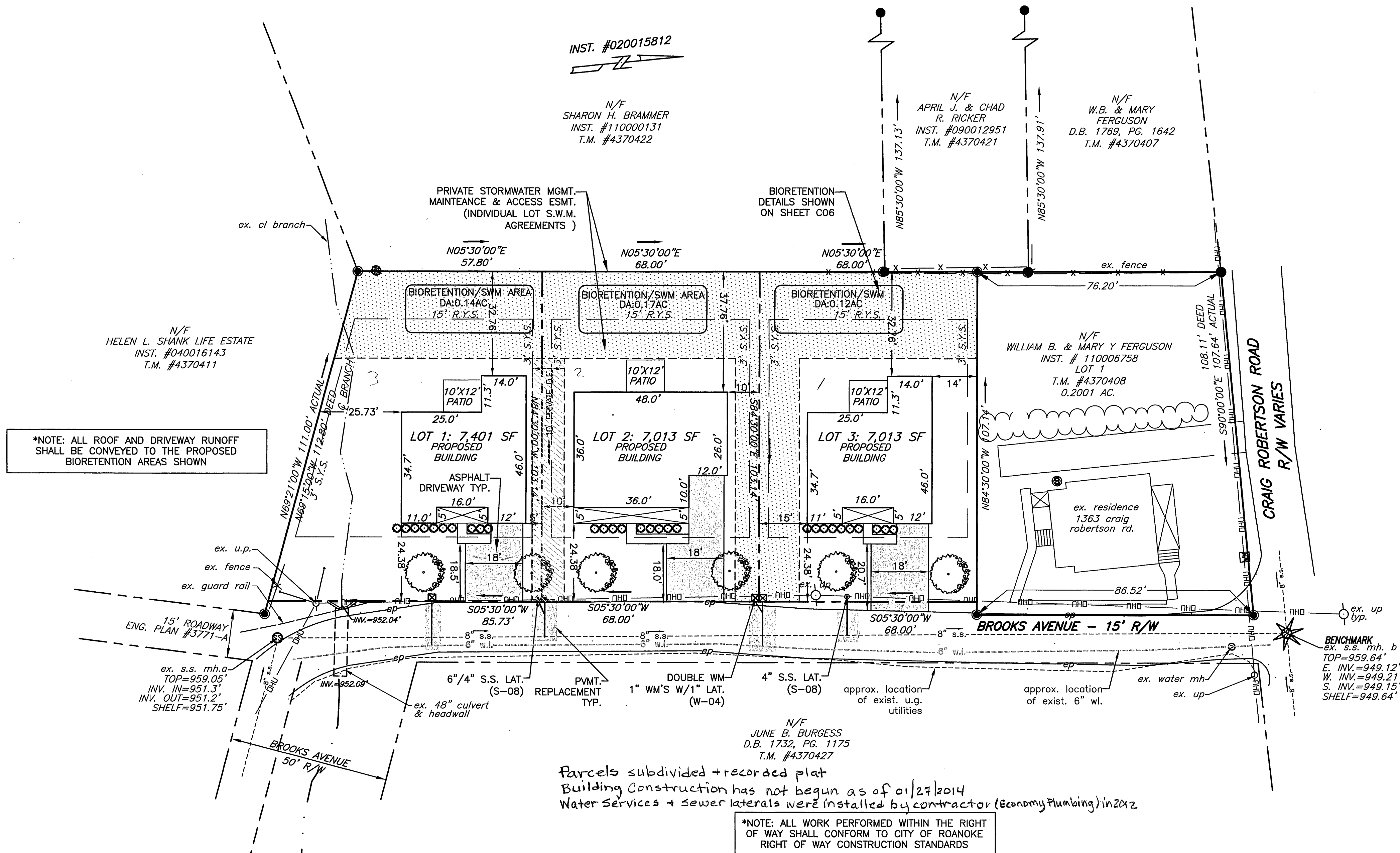
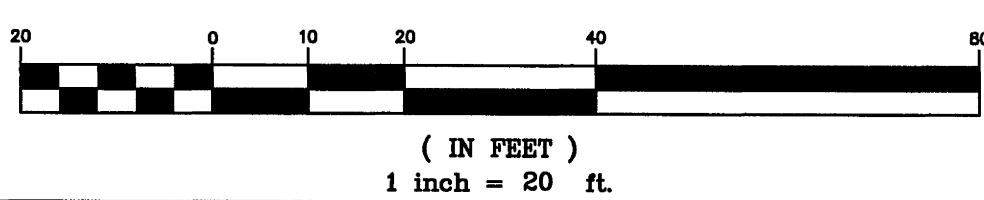
#### BUILDING DOORS AND GRADES

1. A MINIMUM 5'X5' PAD SHALL BE INSTALLED AT ALL BUILDING DOOR LOCATIONS (MAXIMUM 2% SLOPE IN ANY DIRECTION). COMPLY WITH ADA DOOR CLEARANCE REQUIREMENTS FOR PAD POSITIONING OUTSIDE OF THE DOOR.
2. FINISHED GRADE SHALL BE 6-INCHES BELOW FINISHED FLOOR ELEVATION ALONG ALL BUILDING WALLS, IN AREAS WHERE PERVIOUS SURFACES ARE PROVIDED, UNLESS OTHERWISE NOTED. FINISHED GRADE FOR AREAS TO BE MULCHED SHALL BE AT TOP OF MULCH. FINISHED GRADE FOR AREAS TO RECEIVE SOD SHALL BE TO TOP OF SOD.
3. ALL PERVIOUS SURFACES SHALL BE INSTALLED WITH A MINIMUM OF 2% SLOPE AWAY FROM THE BUILDING (FOR A MINIMUM OF 10-FEET), TO PROVIDE FOR POSITIVE DRAINAGE.
4. CONTRACTOR SHALL COORDINATE LOCATION OF WEEP HOLES ALONG ALL BUILDING WALLS AND VERIFY REQUIRED SEPARATION BETWEEN WEEP HOLES AND FINISHED GRADES.
5. CONTRACTOR SHALL REVIEW GRADING ALONG BUILDINGS WITH STOREFRONTS TO VERIFY REQUIRED SEPARATION IS PROVIDED.

#### FENCES

1. FENCES TALLER THAN 6-FOOT IN HEIGHT WILL REQUIRE A BUILDING PERMIT. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING THE BUILDING PERMIT AT CONTRACTOR'S EXPENSE.
2. CONSTRUCTION BARRIERS - ALL CONSTRUCTION BARRIERS SHALL BE DESIGNED AND PROVIDED BY THE CONTRACTOR IN COMPLIANCE WITH IBC CHAPTER 33.
3. THE CONTRACTOR SHALL SUBMIT FOR BUILDING PERMIT FOR CONSTRUCTION BARRIERS AS REQUIRED BY LOCAL CODES.

## GRAPHIC SCALE



Parcels subdivided + recorded plat  
Building Construction has not begun as of 01/27/2014  
Water Services + sewer laterals were installed by contractor (Economy Plumbing) in 2012

\*NOTE: ALL WORK PERFORMED WITHIN THE RIGHT OF WAY SHALL CONFORM TO CITY OF ROANOKE RIGHT OF WAY CONSTRUCTION STANDARDS

APPROVED  
JUN 21 2012