

SITE STATISTICS:

Tax Number: 2070414
 Portion of Tax Numbers: 2070404 (0.165 Acres); 2070403 (0.165 Acres);
 2070402 (0.35 Acres); 2070414 (0.656 Acres)
 Note: Vacation & Combination Plat is recorded in
 Instrument # 12004708
 Parcel Total Area: 1.2339 Acres (After Vacation & Combination Plat)

Disturbed Area: 1.5 Acres (65,150 SF)
 Owner: D & S Development, LLC (Instrument #080003293)
 Zone: CG (Commercial-General District) with conditions
 Overlay Zone: NDD (Neighborhood Design District) (N/A)
 Special District: Rehabilitation District
 Proposed Use: Retail
 Required Parking:

USE	GROSS (SF)	NET (SF)	Parking Required	Min # Spaces Required
RETAIL	9,953	7,465	1/250 SF	30

Number of Spaces Provided:
 41 Regular Spaces + 2 Handicap Spaces = 43 Spaces
 Note: 150% Of 30 Spaces is 45 spaces (maximum paved spaces)
 Parking is below maximum amount.

Lot Requirements:
 Area: 10,000 SF Minimum (53,749 SF Actual)
 130,680 SF Maximum
 Frontage: 100 LF Minimum (719.6 LF Actual)

Setbacks:
 Front: 0' Minimum; 30' Maximum (17.2' / 28.8' Actual)
 Side: 0' Minimum unless buffer required
 Rear: 0' Minimum unless buffer required

Maximum Building Height: 50'
 Floor Area Ratio: 5.0 (0.19 Actual)
 Impervious Surface Ratio: 85% Maximum (68% Actual)
 Minimum Ground Floor Facade Transparency (Corner Lot)
 25% Transparent Facade along Williamson Road Required:
 Provided: Building Length = 89.6'; Transparent Facade Provided = 534 SF
 Using 20' height, % Transparent Facade = 29.8%
 12.5% Transparent Facade along Lyndhurst Street Required:
 Provided: Building Length = 123.7'; Transparent Facade Provided = 340 SF
 Using 20' height, % Transparent Facade = 13.7%

Buffer Adjoining Residential Zone RM-1: Category D - OPTION 1
 Requirements: 6' Tall Screening; 15' Wide Buffer; Evergreen Trees @ 1/8 LF

Water: Public - WVWA - no new service required - project to utilize existing 4" service line & extend to new water vault.

Sewer: Public - WVWA - no new service required - project utilizes portion of existing sanitary sewer line.

WESTERN VIRGINIA WATER AUTHORITY AVAILABILITY # 12-013

Lighting: Proffered conditions apply. A lighting plan has been provided per Sec. 36.2-624 on sheet L02.

Landscape Requirements: See Landscape Plan

Dumpster: A dumpster is planned. Any dumpster must meet requirements of Sec. 36.2-403(c)(1), (2), and (3) and Sec. 36.2-649

Roof Mounted Equipment shall be screened in accordance with Section 36.2-649.
 Ground Mounted Equipment shall be in accordance with Section 36.2-205.

STANDARD CITY OF ROANOKE CONSTRUCTION PROCEDURE REQUIREMENTS

NOTICE: All Landowners, Developers and Contractors

FAILURE TO COMPLY WITH THE CONSTRUCTION PROCEDURE REQUIREMENTS LISTED ABOVE MAY RESULT IN THE COSTLY REMOVAL OF STRUCTURES, TIME DELAYS, OR THE ISSUANCE OF A STOP WORK ORDER.

RIGHT-OF-WAY EXCAVATION PERMIT: Prior to the commencement of any digging, alteration or construction within the public right of way (streets, alleys, public easements) a right of way excavation permit shall be applied for and obtained by the contractor from the City of Roanoke.

LAND DISTURBANCE PERMIT: An approved erosion and sediment control plan for any borrow/fill sites associated with the project must be submitted prior to the issuance of a land disturbance permit.

PLANS AND PERMITS: A copy of the plans approved by the City (signed by the proper City officials) and all permits issued by the City shall be available at the construction site at all times of ongoing construction.

LOCATION OF UTILITIES: The contractor shall verify the location of all existing utilities prior to the commencement of any construction.

CONSTRUCTION ENTRANCE: The contractor shall install an adequate construction entrance for all construction related egress from the site. Size and composition of the construction entrance shall be as shown on the plans.

STREETS TO REMAIN CLEAN: It shall be the responsibility of the contractor to insure that the public street adjacent to the construction entrance remains free of mud, dirt, dust and/or any type of construction materials or litter at all times.

BARRICADES/DITCHES: The contractor shall maintain the integrity of all excavated ditches and shall furnish and ensure that all barricades proper and necessary for the safety of the public are in place.

SEWER AND PAVEMENT REPLACEMENT: Construction of sanitary sewers and the replacement of pavement shall be in accordance with approved standards and specifications of the City of Roanoke and the Western Virginia Water Authority.

APPROVED PLANS/CONSTRUCTION CHANGES: Any change or variation from construction design as shown on the officially approved plans shall be approved by the erosion and sediment control agent prior to said changes or variation in construction being made.

FINAL ACCEPTANCE/CITY: The owner or developer shall furnish the City of Roanoke's Planning Building and Development Department with a FIELD SURVEY Final correct set of as-built plans of the newly constructed storm drain and/or stormwater management facilities prior to final acceptance and issuance of a certificate of occupancy by the City. As-built plans shall be provided in the State Plane Virginia South Coordinate System, NAD 1983, TIPS 4502 Feet, US Survey Feet, Datum NA 83, in the form of 1 paper copy and 1 digital AUTOCAD file.

DOLLAR TREE
3016 Williamson Road, N.W.
COMPREHENSIVE SITE PLAN
PREPARED FOR D&S DEVELOPMENT

CITY OF ROANOKE, VA
CP 120002

JANUARY 18, 2012

Revised: March 21, 2012

Revised: May 1, 2012

DAVID RETTINGER
 580-3184
 Senior Underwriter

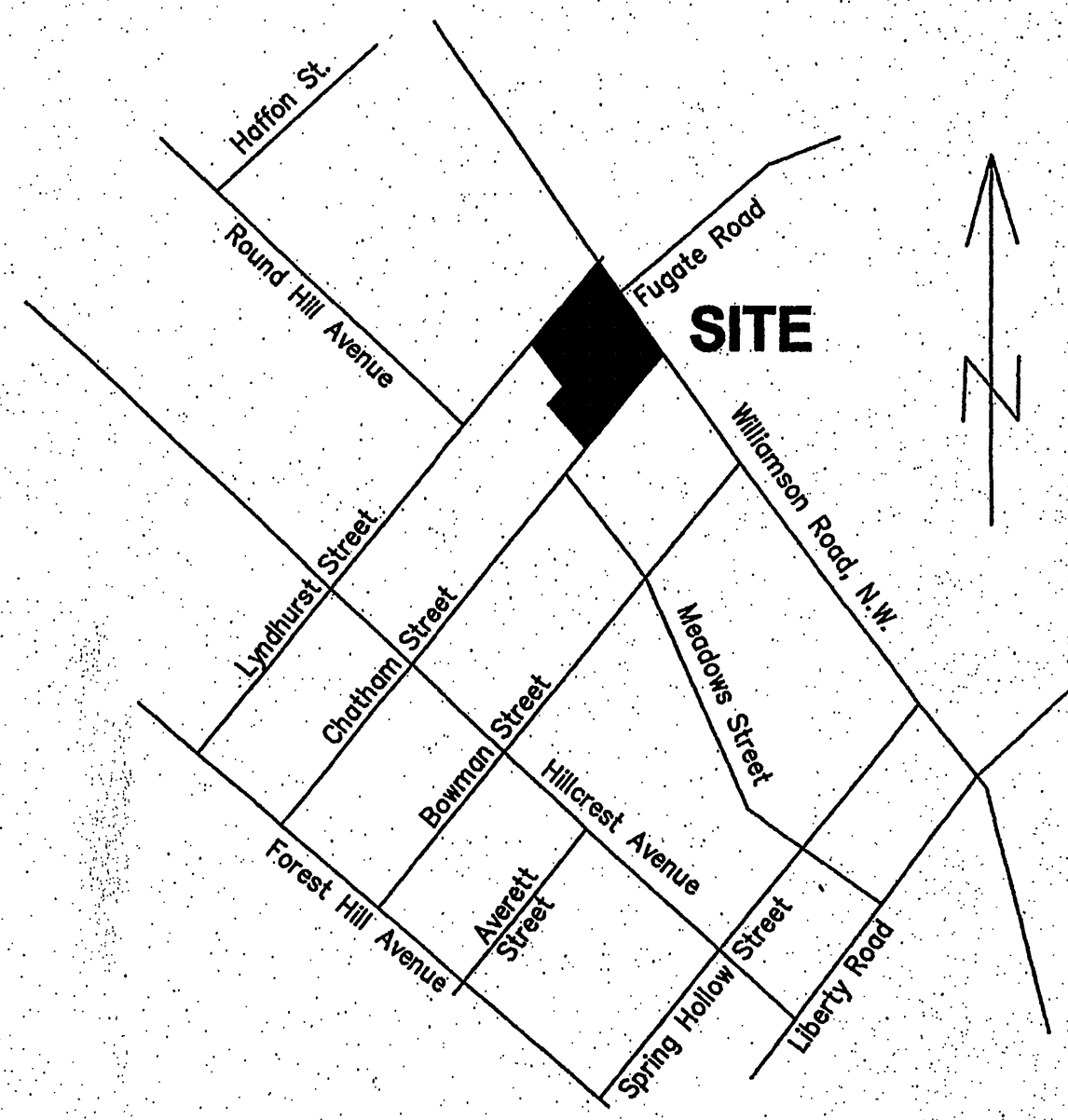
PROFFERS: ORDINANCE 39266-112111

- THE PROPERTY WILL BE DEVELOPED IN SUBSTANTIAL CONFORMITY WITH THE DEVELOPMENT PLAN ENTITLED 'PROPOSED CONCEPT PLAN FOR D & S DEVELOPMENT, LLC' PREPARED BY PARKER DESIGN GROUP, DATED SEPTEMBER 1, 2011, SUBJECT TO ANY CHANGES THAT MAY BE REQUIRED BY THE CITY DURING COMPREHENSIVE DEVELOPMENT PLAN REVIEW.
- THE BUILDING WILL BE DEVELOPED IN SUBSTANTIAL CONFORMITY WITH THE EXTERIOR ELEVATIONS ENTITLED 'DOLLAR TREE', PREPARED BY DEGAN ARCHITECTS, DATED 01 SEPTEMBER 2011, SUBJECT TO ANY CHANGES THAT MAY BE REQUIRED BY THE CITY.
- USES WITHIN THE PROPERTY SHALL BE LIMITED TO THOSE PERMITTED BY-RIGHT IN BOTH THE COMMERCIAL-GENERAL DISTRICT (CG) AND THE COMMERCIAL-NEIGHBORHOOD DISTRICT (CN) AS DESCRIBED IN SECTION 36.2-315 OF THE CITY'S ZONING ORDINANCE. USES PERMITTED BY-RIGHT IN ONE OF THE FOREMENTIONED DISTRICTS BUT NOT THE OTHER SHALL BE PROHIBITED.
- POLE MOUNTED SITE LIGHTING SHALL NOT TO EXCEED EIGHTEEN (18) FEET IN HEIGHT.
- LIGHT LEVELS, GENERATED BY THE SITE, SHALL NOT EXCEED 0.5-FOOT CANDLE MEASURED AT THE PROPERTY LINES ABUTTING RESIDENTIALLY ZONED PARCELS.
- FREESTANDING SIGNAGE FOR THE PROPERTY SHALL BE LIMITED TO ONE MONUMENT STYLE SIGN WITH A MAXIMUM HEIGHT OF SIX FEET.
- ELECTRONIC READERBOARDS, AS DEFINED BY SECTION 36.2-662 (DEFINITIONS), ZONING, OF THE CODE OF THE CITY OF ROANOKE, SHALL BE PROHIBITED ON THE SUBJECT PROPERTY.
- LARGE DECIDUOUS TREES SHALL BE INSTALLED WITHIN THE PLANTING STRIP ALONG CHATHAM STREET AND LYNDHURST STREET AND SMALL DECIDUOUS TREES SHALL BE INSTALLED WITHIN THE PLANTING STRIP ALONG WILLIAMSON ROAD IN ACCORDANCE WITH SECTION 31.1-400(F) OF THE CITY OF ROANOKE'S SUBDIVISION ORDINANCE.

Miss Utility of Virginia
 204 RIVERS BEND BOULEVARD
 CHESTER, VIRGINIA 23831



BEFORE YOU DIG ANYWHERE IN VIRGINIA CALL 1-800-552-7001
 VA LAW REQUIRES 48 HOURS NOTICE BEFORE YOU EXCAVATE.



CURRENT DCR COVERAGE LETTER: VAR10-10-100620

VICINITY MAP NO SCALE

CONTACT INFORMATION:

Engineer/ Surveyor: Parker Design Group
 816 Boulevard
 Salem, VA 24253
 Ph. 540.387.1153
 Fax. 540.389.5767

Owner/ Developer: D&S Development LLC
 1145 E. Main Street
 Salem, VA 24153
 Ph. 800.627.0431

ENGINEER NOTES:

Parker Design Group assumes no responsibility for adequacy of plans or for information on plans until such plans have been approved by the required public agencies.

Any work commenced on a project prior to plan approval is at the sole risk of the developer.

Parker Design Group does not guarantee the completion or quality of performance of the contracts or the completion or quality of contracts by Subcontractors or other third parties.

SHEET INDEX:

- C01 COVER SHEET
- C02 EXISTING CONDITIONS, DEMOLITION & INITIAL ESC PLAN
- C03 SITE LAYOUT & DIMENSIONAL PLAN
- C04 SITE UTILITY PLAN
- C05 GRADING & EROSION & SEDIMENT CONTROL PLAN
- C06 GRADING PLAN - SPOT ELEVATIONS
- C07 GRADING PLAN - SPOT ELEVATIONS
- C08 EROSION & SEDIMENT CONTROL NARRATIVE
- C09 EROSION & SEDIMENT CONTROL DETAILS
- C10 STORM PROFILES & DETAILS
- C11 SWM QUALITY NOTES & DETAILS
- C12 SANITARY SEWER PROFILES & DETAILS
- C13 UTILITY DETAILS
- C14 ROANOKE CITY STREET DETAILS
- C15 SITE DETAILS
- L01 LANDSCAPE PLAN
- L02 LIGHTING PLAN

LEGEND:

- CONCRETE
- ASPHALT PAVING
- PAVEMENT REPLACEMENT
- GRAVEL
- PAVERS
- WETLAND AREA
- YARD LIGHT (S.M.H.)
- TYPICAL YARD HYDRANT
- PROP. FIRE HYDRANT
- PROP. AIR RELEASE VALVE
- PROP. GATE VALVE
- PROP. BLOW OFF VALVE
- EX. POWER POLE
- EX. TELEPHONE
- EX. TELEPHONE PEDISTAL
- EX. LIGHT POLE
- BENCHMARK
- SURVEYED PROPERTY LINE
- PROPOSED PROPERTY LINE
- DEED PROPERTY LINE
- EXIST. OVERHEAD POWER
- EXIST. WATER LINE
- EXIST. OVERHEAD CABLE
- EXIST. CENTERLINE OF ROAD
- EXIST. STORM SEWER
- EXIST. SANITARY SEWER
- PROP. UNDERGROUND ELEC. LINE
- PROP. UNDERGROUND ELEC. SERVICE
- PROP. WATERLINE
- PROP. AUDIO CABLE
- EXIST. TREETLINE
- EXIST. EDGE OF PAVEMENT
- PROP. TELEPHONE LINE
- PROP. GAS LINE
- SAN PROP. SANITARY SEWER LINE
- PROP. STORM SEWER LINE
- PROP. CONTOURS
- EXIST. 2' CONTOURS
- EXIST. 10' CONTOURS
- PROP. SPOT ELEVATION
- SILT FENCE
- PROP. TREETLINE
- RMA RESOURCE MANAGEMENT AREA BOUNDARY
- RPA RESOURCE PROTECTION AREA BOUNDARY
- DITCH LINE

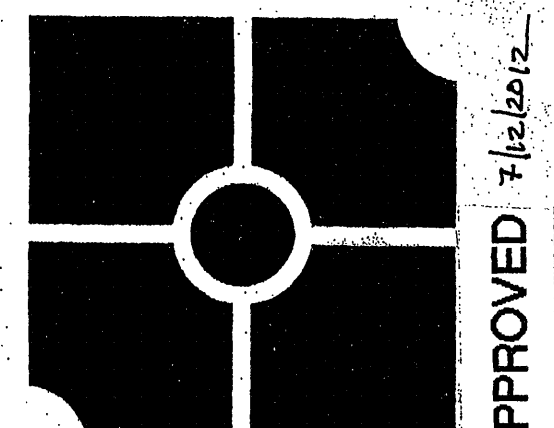
GENERAL NOTES:

- The minimum required density for all compaction shall be 95 percent of maximum dry density with a moisture content within ±2 percent of the optimum. It is contractor's responsibility to verify compacted fill is suitable for building construction.
- It is the contractor's responsibility to meet compliance requirements with section 59.1-406, et seq. of the Code of Virginia (overhead high voltage lines safety act).
- The contractor shall be responsible for obtaining all necessary permits before beginning construction.
- All construction will be in accordance with City of Roanoke standards and specifications.
- Unless shown and specified otherwise, methods and materials shall be in accordance with VDOT Road and Bridge Standards latest edition.
- Contractor shall coordinate installation of permanent electrical service, telephone service, gas and cable TV. These utility lines shall be underground.
- Contractor shall be responsible for repair of any utilities damaged as a result of construction activities. Verify location of all existing utilities prior to beginning work.
- Owner responsible for obtaining permission for any offsite grading, erosion and sediment control measures, and construction.
- Distances and radii referred to are to the face of curb, unless otherwise noted.
- Rights-of-way, lot lines, and easements are dedicated on plats separate from these plans.
- All new utilities shall be underground installation in accordance with city code 36.2-610.
- All utilities will be visually inspected by the City or WVA's inspector prior to backfilling the trenches, including all utility crossings.
- Utilities shown herein are based on available above ground structures (valves, manholes, etc.) and existing City of Roanoke mapping.
- A field review shall be made by the City of Roanoke during construction to determine the adequacy of channels and ditches as constructed in accordance with the approved plan. In the event of scour and erosion, the Owner shall install additional measures as determined and required by the City.
- Lighting shall not glare onto adjoining properties or on any public street right-of-way.
- Proposed signage shall be permitted separately in accordance with the City of Roanoke regulations and the proffered conditions.
- (Note removed from project)
- A pre-construction conference should be scheduled with the City of Roanoke Department of Planning Building and Development, to be held at least forty eight (48) hrs prior to any construction.
- Measures to control erosion and siltation must be provided prior to plan approval. Plan approval in no way relieves the developer or contractor of the responsibilities contained within the erosion and siltation control policies.
- An approved set of plans and all permits must be available at the construction site.
- Field construction shall honor proposed drainage divides as shown on plans.
- All unsuitable material shall be removed from the construction limits of the roadway before placing embankment.
- Pavement sections on approved plans are based on a minimum CBR of 7.
- Construction debris shall be contained in accordance with the Virginia Litter Control Act. No less than one litter receptacle shall be provided on site. The contractor shall provide adequate means of cleaning mud from trucks and/or other equipment prior to entering public streets.
- It is the contractor's responsibility to insure that the streets are in a clean, mud and City of Roanoke all times.
- The developer and/or contractor shall supply all utility companies with existing Building and Development Department grading and installation shall conform to approved plans.
- Contractors shall notify utilities of proposed construction at least two (2), but not more than ten (10) working days in advance.
- Area public utilities may be notified thru "Miss Utility": 1-800-552-7001. DEVELOPMENT PLAN APPROVED
- Field corrections shall be approved by the Development Engineer in the City of Roanoke Department of Planning Building and Development prior to such construction.
- Grade stakes shall be set for all curb and gutter and storm sewer.

Agent, Planning Commission
 Development Engineer
 Zoning Administrator
 Any changes to this approved plan must be coordinated with the Agent to the Planning Commission and revisions approved prior to construction.

LOCAL APPROVALS:

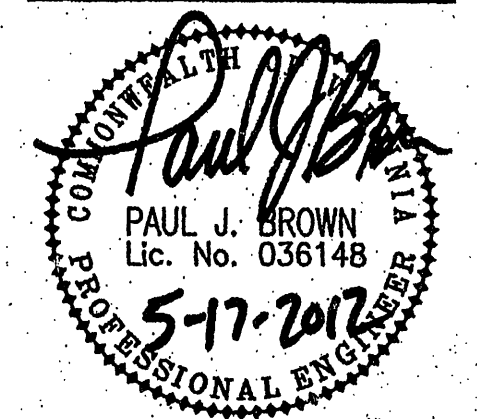
AS BUILT FOR
 DOLLAR TREE
 2-28-13
 David W. Jervis
 City of Roanoke
 Planning Building and Development
APPROVED
 Development Reviewer



parker
 DESIGN GROUP
 DESIGNERS & SURVEYORS & PLANNERS & LANDSCAPE ARCHITECTS

816 Boulevard
 Salem, Virginia 24153
 Phone: 540-387-1153
 Fax: 540-389-5767
 www.parkerdgd.com

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DOLLAR TREE
Comprehensive Site Plan
Prepared for D&S Development, LLC
 #3016 Williamson Rd, N.W.
 City of Roanoke, Virginia
 CP 120002

REVISIONS:
 Address Review Comments WBS-67
 PUB 3-21-2012
 Address Review Comments
 PUB 5-15-2012

DESIGNED BY: SLR
 DRAWN BY: SLR
 CHECKED BY: PUB
 SCALE: N/A
 DATE: 18 January 2012

SHEET TITLE:
Cover Sheet

C01
 01 OF 17
 PROJECT NUMBER:
 09-0040-07