

Yes No NA MINIMUM STANDARDS CHECKLIST

- MS-1 Have temporary and permanent stabilization been addressed in the narrative? Are practices shown on the plan? Temporary and permanent seed specifications? Mulching? Pavement/Stone?
- MS-2 Has stabilization of soil stockpiles, borrow areas, and disposal areas been addressed in the narrative? Are sediment trapping measures provided?
- MS-3 Has the establishment and maintenance of permanent vegetative stabilization been addressed?
- MS-4 Does the Plan specifically state that sediment trapping facilities shall be constructed as a first step in land-disturbing activities?
- MS-5 Does the Plan specifically state that stabilization of earthen structures is required immediately after installation?
- MS-6 Are sediment traps and sediment basins specified where needed?
- MS-7 Have temporary and permanent stabilization of cut and fill slopes been adequately addressed?
- MS-8 Are paved turnouts, channels, or slope drains required on cut and fill slopes where necessary?
- MS-9 Has water seeping from a slope face been addressed (e.g., Surface Roughening, subsurface drains)?
- MS-10 Is adequate inlet protection required on all operational storm sewer inlets?
- MS-11 Are outlet protection and/or channel lining required on stormwater conveyance and receiving channels?
- MS-12 Are in-stream protection measures required so that channel impacts are minimized?
- MS-13 Are temporary stream crossings of non-erodible material required where applicable?
- MS-14 (NOTE: This regulation requires that all applicable federal, state and local regulations pertaining to working in or crossing live watercourses be followed.) MS-15 Has immediate stabilization of areas subject to in-stream construction been adequately addressed?
- MS-16 Have stabilization of utility trenches and dewatering operations been addressed?
- MS-17 Is the transport of soil and mud onto public roadways properly controlled? (i.e., Construction Entrances, wash racks, daily cleaning of roadways, transport of sediment to a trapping facility)
- MS-18 Has the removal of temporary practices been addressed? Has the removal of accumulated sediment and the final stabilization of the resulting disturbed areas been addressed?
- MS-19 Are properties and waterways downstream from development adequately protected from erosion and sediment deposition due to increases in peak stormwater runoff?

DEVELOPER INSTRUCTIONS PERTAINING TO SANITARY SEWER EXTENSION:
 1. COORDINATE WITH WVWA TO TRANSFER 15' PRIVATE EASEMENT RIGHTS TO WVWA AS 15' PUBLIC SANITARY SEWER EASEMENT.
 2. COORDINATE WITH WVWA FOR CONNECTION OF SANITARY SEWER LINE TO EXISTING MANHOLE. PROVIDE AT LEAST THREE (3) DAYS NOTICE PRIOR TO CONNECTION.
 3. COORDINATE WITH WVWA FOR TESTING OF SANITARY SEWER LINE EXTENSION.

SS101: PROP. SAN. SEW. MANHOLE
 TOP = 1016.50
 8" INV. OUT = 1011.70
 6" INV. IN = 1011.87
 4" INV. IN = 1012.00

8" SDR 35 Plastic pipe American
 Hanson Concrete Manhole
 East Jordan Water Tight m.H. Lid + Ferrule

PROPERTY OF VILLA HEIGHTS BAPTIST CHURCH TRUSTEES
 TAX # 040.17-02-14.00-0000
 N 59°17'20" W
 243.32'
 8" WOOD BRIDGE
 GLADE CREEK TRIBUTARY B

PROPERTY OF HARVEST MINISTRIES CHURCH OF PROPHECY TRUSTEES
 D.B. 1545, PG. 879
 TAX # 040.17-02-10.00-0000
 MERIDIAN OF JOHN M. OAKLEY, INC. MAP

PROPERTY OF LENA RUTH PARKS LIFE ESTATE
 INST. # 20020301
 TAX # 040.17-02-07.00-0000
 APPROX. FLOODPLAIN
 10' S.Y.S.
 237.26' ACTUAL
 LINK FENCE IS 0.7' EAST OF LINE

PROPERTY OF WEST VIRGINIA WATER AUTHORITY AVAILABILITY NO. 06-361
 TURN KEY BUILDERS, INC. SHALL SIGN THE DEED, TO BE PROVIDED BY THE WVWA, CONVEYING THE RIGHTS OF THE 15' EASEMENT FROM TURNKEY BUILDERS TO THE WVWA FOR PUBLIC SANITARY SEWER EASEMENT.

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BOND COST ESTIMATE

ITEM - E & S	UNITS	UNIT COST	QUANTITY	TOTAL
CONSTRUCTION ENTRANCE	EA	\$ 1,250.00	1	\$ 1,250.00
SILT FENCE	LF	4.00	335	\$ 1,340.00
TEMPORARY SEEDING	ACRE	\$ 1,000.00	0.15	\$ 150.00
PERMANENT SEEDING	ACRE	2,000.00	0.15	\$ 300.00
SUBTOTAL				\$ 3,040.00
10% CONTINGENCY				\$ 304.00
TOTAL				\$ 3,344.00

GENERAL ELEVATION NOTE:

THE CONTRACTOR SHALL PROVIDE POSITIVE DRAINAGE AWAY FROM THE HOUSE WITH 0.5 FEET OF FALL OVER 5 FEET IN ALL DIRECTIONS, AND 2% MINIMUM SLOPE TO DRAINAGE SWALES.

LEGEND

M.B.L. = MINIMUM BUILDING LINE
 S.Y.S. = SIDE YARD SETBACK
 R.Y.S. = REAR YARD SETBACK
 W.M.E. = WALL MAINTENANCE EASE.
 F.E. = FLOOR ELEVATION
 Δ = HOUSE MARKER OR OFFSET BASE.
 P.U.E. = PUBLIC UTILITY EASEMENT

EROSION AND SEDIMENT CONTROL MEASURES:

- PROVIDE THE FOLLOWING:
 (CE) CONSTRUCTION ENTRANCE, VA ESCH STD. 3.02
 (SF) SILT FENCE, VA ESCH STD. 3.05
 (TS) TEMPORARY SEEDING, VA ESCH STD. 3.31
 (PS) PERMANENT SEEDING, VA ESCH STD. 3.32

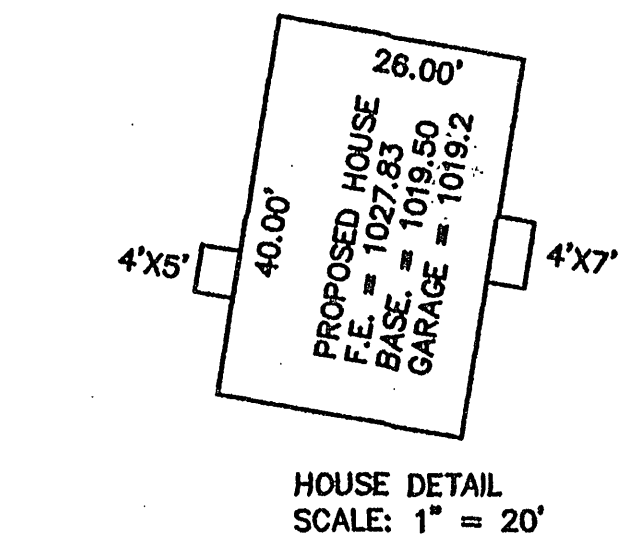
SUBJECT PROPERTY IS ZONED R2:
 30' MINIMUM BUILDING LINE
 10' SIDE YARD SETBACK
 25' REAR YARD SETBACK

WESTERN VIRGINIA WATER AUTHORITY AVAILABILITY NO. 06-361.
 TURN KEY BUILDERS, INC. SHALL SIGN THE DEED, TO BE PROVIDED BY THE WVWA, CONVEYING THE RIGHTS OF THE 15' EASEMENT FROM TURNKEY BUILDERS TO THE WVWA FOR PUBLIC SANITARY SEWER EASEMENT.

BUILDING PERMIT PLAN ITEMS

- Y N N/A [X] [] [] VICINITY MAP - A small map locating the site in relation to the surrounding area. Include any landmarks which might assist in locating the site.
- INDICATE NORTH - The direction of north in relation to the site.
- LIMITS OF CLEARING AND GRADING - Areas which are to be cleared and graded including listing the size of disturbed area.
- EXISTING CONTOURS - The existing contours of the site.
- FINAL CONTOURS - Changes to the existing contours, including final drainage patterns.
- EXISTING VEGETATION - The existing tree lines, grassed area, or unique vegetation.
- SOILS - The boundaries of different soil types.
- EXISTING DRAINAGE PATTERNS - The dividing lines and the direction of flow for the different drainage areas. Include the size (acreage) for each drainage area.
- CRITICAL EROSION AREAS - Areas with potentially serious erosion problems. (See the VA ESCH Chapter 6 for criteria.)
- SITE DEVELOPMENT - Show all improvements such as buildings, parking lots, driveways, access roads, etc.
- LOCATION OF PRACTICES - The locations of erosion and sediment control and stormwater management practices used on site. Use the standard symbols and abbreviations in Chapter 3 of the Virginia Erosion and Sediment Control Handbook.
- OFF-SITE AREAS - Identify any off-site land-disturbing activities (e.g., borrow sites, waste areas, etc.). Show location of erosion controls. (Is there sufficient information to assure adequate protection and stabilization?)
- DETAIL DRAWINGS - Any structural drawings used that are not referenced to the E&S handbook or local handbook should be explained and illustrated with detail drawings.
- MAINTENANCE - A schedule of regular inspections and repair of erosion and sediment control structures should be set. Owner's name.
- Name, address, occupation and signature of person preparing the plan if other than a registered design professional. Property address and County Tax Map identification number.
- The scale of the plan.
- Property lines and dimensions drawn in accordance with an accurate boundary line survey.
- Existing structures (walls, fences, accessory buildings, etc.)
- Distances from all structures to adjoining property lines.
- Identification of potential expansive soil types per the Roanoke County Expansive Soil Policy.
- Location of floodplain, floodway, and floodway fringe from FEMA Flood Hazard Boundary maps and finished floor elevation or 100 year water shed per Roanoke County Drainage Standards.
- Location, dimensions, and type of all easements.
- Proposed or existing location of septic tank, drain field and repair area if applicable; or location of sanitary sewer lines.
- Proposed or existing well location if applicable; or location of water service line.
- Plan to indicate final disposition of all storm water to an approved discharge point.

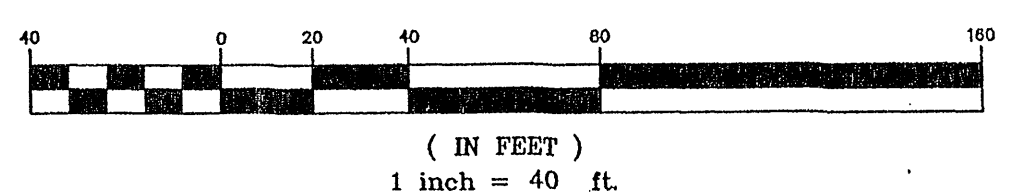
SEE ATTACHED PRE-CONSTRUCTION FEMA ELEVATION CERTIFICATE.
 THE 100-YEAR WATER SURFACE ELEVATION IS 1014.0.
 THE LOWEST FLOOR MUST BE AT LEAST 2' HIGHER THAN THE 100-YEAR WATER SURFACE ELEVATION.



GENERAL NOTE:

- THIS PLAN WAS PREPARED WITHOUT BENEFIT OF A TITLE REPORT AND IS SUBJECT THERETO. THEREFORE, THERE MAY EXIST ENCUMBRANCES WHICH AFFECT THE PROPERTY NOT SHOWN HEREON.
- THE SUBJECT PROPERTY IS WITHIN ZONE "AE" & "X" AS SHOWN ON THE FEMA FLOOD INSURANCE RATE MAP NO. 51161C0029 D, EFFECTIVE DATE OCTOBER 15, 1993. THIS DETERMINATION IS BASED ON SAID MAP AND HAS BEEN VERIFIED BY ELEVATIONS IN THE FIELD.
- THIS PLAN IS BASED ON HOUSE SIZE AN INFORMATION SUPPLIED BY THE OWNER/CONTRACTOR.
- OWNER/CONTRACTOR SHALL INSURE THAT THE LOCATION OF THE HOUSE MEETS THE SETBACK REQUIREMENTS OF THE ZONING ORDINANCE WHEN CONSTRUCTED.
- TOPOGRAPHIC INFORMATION IS BASED ON CURRENT FIELD SURVEY OF JULY 2006. DATUM IS BASED ON FEMA BENCHMARK (NGVD '29).
- THE JOB SUPERINTENDENT SHALL BE RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF ALL EROSION AND SEDIMENT CONTROL PRACTICES.
- THE COUNTY OF ROANOKE RESERVES THE RIGHT TO ADD TO, DELETE, OR OTHERWISE CHANGE EROSION CONTROL DEVICES AS MAY BE DEEMED NECESSARY BY WRITTEN NOTIFICATION TO THE CONTRACTOR.
- NO WORK SHALL PROCEED ON THE SITE UNTIL THE PROPER AUTHORIZATION OR PERMIT HAS BEEN OBTAINED FROM THE COUNTY OF ROANOKE AND/OR OTHER GOVERNING AUTHORITIES.
- THE ENGINEER, PARKER DESIGN GROUP, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OF ANY CONSTRUCTION PERFORMANCE.
- THE FLOODWAY LIMITS, IN THE AREA OF CONSTRUCTION, SHALL BE STAKED PRIOR TO CONSTRUCTION.

GRAPHIC SCALE



TYPE A (SLOPES FLATTER THAN 3:1)

- 15 OCTOBER TO 1 FEBRUARY
- K-31 FESCUE @ 5 LB / 1000 SF
- BORZY WINTER RYE @ 1/2 LB / 1000 SF
- 1 FEBRUARY TO 1 JUNE
- K-31 FESCUE @ 5 LB / 1000 SF
- ANNUAL RYE @ 1/2 LB / 1000 SF
- 1 JUNE TO 1 SEPTEMBER
- K-31 FESCUE @ 5 LB / 1000 SF
- GERMAN MILLET @ 1/2 LB / 1000 SF
- 1 SEPTEMBER TO 15 OCTOBER
- K-31 FESCUE @ 5 LB / 1000 SF
- ANNUAL RYE @ 1/2 LB / 1000 SF

TYPE B (SLOPES 3:1 OR STEEPER)

- 15 MARCH TO 1 MAY
- CROWN VETCH @ 1/2 LB / 1000 SF
- PERENNIAL RYEGRASS @ 1/2 LB / 1000 SF
- RED TOP @ 1/8 LB / 1000 SF
- 15 AUGUST TO 1 OCTOBER
- CROWN VETCH @ 1/2 LB / 1000 SF
- PERENNIAL RYEGRASS @ 1/2 LB / 1000 SF
- RED TOP @ 1/8 LB / 1000 SF

LIME: 140 LB / 1000 SF PULVERIZED AGRICULTURAL LIMESTONE
 FERTILIZER: 5-20-10 @ 25 LB / 1000 SF
 38-0-0 @ 7 LB / 1000 SF

MULCH: SHALL BE USED OVER ALL SEEDED AREAS AND SHALL BE APPLIED IN ACCORDANCE WITH SECTION 3.35 OF THE VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK, 3RD ED.

SOIL CONDITIONING: INCORPORATION OF LIME AND FERTILIZER, SELECTION OF CERTIFIED SEED, MULCHING, MAINTENANCE OF NEW SEEDLINGS, AND RESEEDING SHALL BE IN ACCORDANCE WITH THE SPECIFICATIONS CONTAINED WITHIN THE VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK, THIRD EDITION. ADDITIONAL SEEDING TO BE PERFORMED AS REQUIRED BY THE INSPECTOR.

SEED APPLICATION: APPLY SEED UNIFORMLY WITH A CYCLONE SEEDER, DRILL, CULTIPACKER SEEDER, OR HYDROSEEDER ON A FIRM, FRIBLE SEEDBED. MAX. SEEDING DEPTH SHALL BE 1/4 INCH.

(PS) PERMANENT SEEDING MIXTURE

01 MARCH TO 30 APRIL
 WINTER RYE (SECALE CERVALE) @ 2 1/2 LB / 1000 SF
 OR ANNUAL RYEGRASS (LOLIUM MULTI-FLOSUM) @ 1 1/2 LB / 1000 SF
 OR KOREAN LESPEDEZA (LESPEDEZA STIPULACEA) @ 1 1/2 LB / 1000 SF

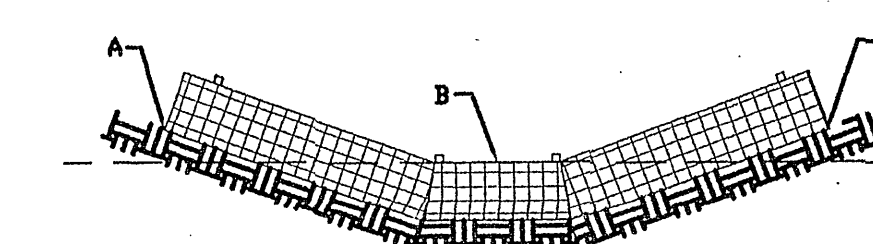
01 MAY TO 15 AUGUST
 GERMAN MILLET (SETARIA ITALICA) @ 1 LB / 1000 SF
 OR WEEPING LOVEGRASS (ERAGROSTIS CLRVULA) @ 5 1/2 OZ / 1000 SF
 OR KOREAN LESPEDEZA (LESPEDEZA STIPULACEA) @ 1 1/2 LB / 1000 SF

15 AUGUST TO 01 NOVEMBER
 WINTER RYE (SECALE CERVALE) @ 1 LB / 1000 SF
 AND ANNUAL RYEGRASS (LOLIUM MULTI-FLOSUM) @ 1 LB / 1000 SF

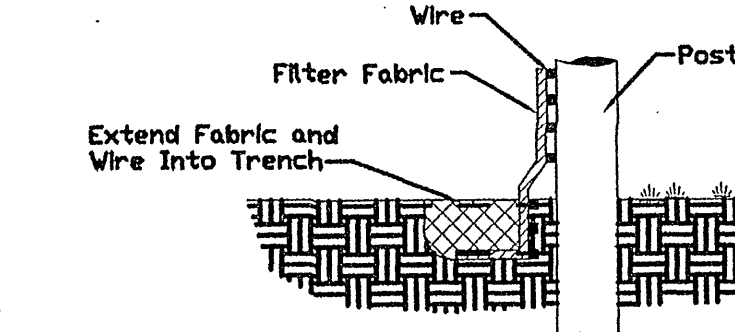
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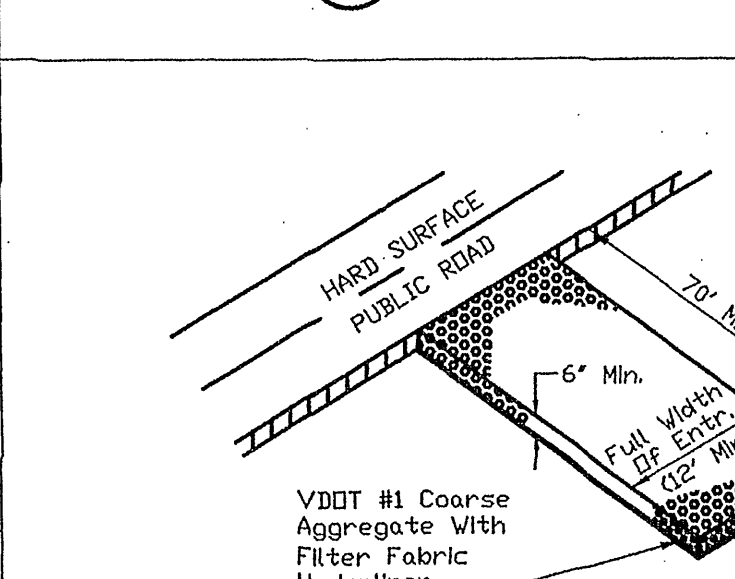
(TS) TEMPORARY SEEDING



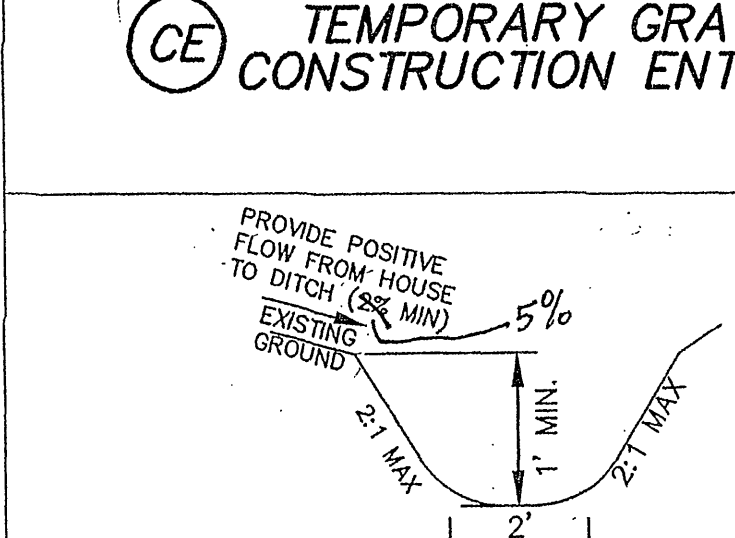
(SF) SILT FENCE



(CE) TEMPORARY GRAVEL CONSTRUCTION ENTRANCE



TYPE "A" CHANNEL



FOR LONGITUDINAL SLOPES STEEPER THAN 5%, THE CONTRACTOR SHALL UTILIZE SOIL STABILIZATION MATTING TREATMENT-1, WITH STAPLE PATTERN C TO OBTAIN VEGETATIVE GROWTH AND STABILIZE THE CHANNEL.

OWNER: TURN KEY BUILDERS, INC.
 CONTRACTOR: TURN KEY BUILDERS, INC.
 PROPERTY ADDRESS: 3013 EAST RURITAN ROAD
 LOT B (1.258 AC.), RADER SUBDIVISION
 P.B. 30, PG. 77

EXPANSIVE SOILS TEST: SOIL TEST IS REQUIRED - TO BE TESTED BY OTHERS

LAND DISTURBANCE: 8,550 SF

SOIL EROSION CONTROL NARRATIVE

PROJECT DESCRIPTION: THE PURPOSE OF THIS PROJECT IS TO PREPARE THE SITE FOR FUTURE BUILDING PAD AND FOUNDATION AS SHOWN. THIS PLAN CONTAINS A PUBLIC SANITARY SEWER LINE EXTENSION. AN INCREASE IN 2,400 SQ. FT. OF IMPERVIOUS AREA IS SHOWN ON THIS LOT. STORMWATER MANAGEMENT AND DRAINAGE CALCULATIONS ARE NOT REQUIRED FOR THIS DEVELOPMENT. THIS PROJECT WILL DISTURB NO MORE THAN 0.20 ACRES (8,550 SF).

FOR AREAS LESS THAN 1.0 ACRE, NO VPROS GENERAL PERMIT FOR STORMWATER DISCHARGES FROM CONSTRUCTION ACTIVITIES IS REQUIRED.

THE SITE WILL UTILIZE A CONSTRUCTION ENTRANCE, SILT FENCE, AND PERMANENT SEEDING.

EXISTING SITE CONDITIONS: THE SITE IS A SMALL PORTION OF A LARGER DRAINAGE AREA. RUNOFF DRAINS FROM EAST RURITAN ROAD TO THE SOUTH TO TRIBUTARY B, GLADE CREEK.

THE SITE CONTAINS ONE LOT. THE PROPERTY IS OWNED BY TURNKEY BUILDERS, INC. (TAX PARCEL 40.17-02-09.02), LOCATED IN THE HOLLINS MAGISTERIAL DISTRICT, ROANOKE COUNTY, VIRGINIA.

SOILS: AS IDENTIFIED BY THE U.S. DEPARTMENT OF AGRICULTURE, SOIL CONSERVATION SERVICE, GENERAL SOIL MAP, THE BASIC SOIL MATERIAL IS CHISWELL-URBAN LAND.

CRITICAL AREAS: SILT FENCE ALONG THE SOUTHERN LIMITS OF CONSTRUCTION SHOULD BE PLACED TO KEEP SEDIMENT OFF THE ADJACENT PROPERTIES AND STREET. ALL SILT FENCE SHALL BE INSTALLED AND CHECKED REGULARLY. A CONSTRUCTION ENTRANCE SHALL BE INSTALLED ALONG THE EXISTING ROAD TO KEEP SEDIMENT OFF OF EXISTING PAVED AREAS. THE CONSTRUCTION ENTRANCE SHALL BE POSITIONED AT THE PROPOSED DRIVEWAY. THE CONTRACTOR SHALL PROVIDE PERMANENT SEEDING WITHIN SEVEN (7) DAYS OF OBTAINING FINAL GRADES. THE CONTRACTOR MAY BE REQUIRED TO SEED CERTAIN AREAS AT FINAL GRADE WHILE OTHER AREAS ARE NOT TO FINAL GRADE.

ADJACENT PROPERTY: SEE MAP

APPROVED BY ROANOKE COUNTY
 THIS PLAN IS APPROVED FOR EROSION AND SEDIMENT CONTROL ONLY

JAD Bailey 11/9/07
 Authorized Signature Date

OFFSITE WASTE AND BORROW NOTE:

THE PROPOSED DEVELOPMENT DOES NOT ANTICIPATE OFF-SITE WASTE AREAS; HOWEVER, SHOULD THE PROJECT REQUIRE OFF-SITE WASTE AREAS OR BORROW AREAS, THE LOCATION OF THESE AREAS NEED TO BE SUBMITTED TO THE COUNTY OF ROANOKE AND OTHER LOCAL GOVERNING AUTHORITIES WHERE WASTE/BORROW OCCURS. EROSION CONTROL PLANS OR MEASURES MAY BE REQUIRED FOR THESE OFF-SITE LOCATIONS.

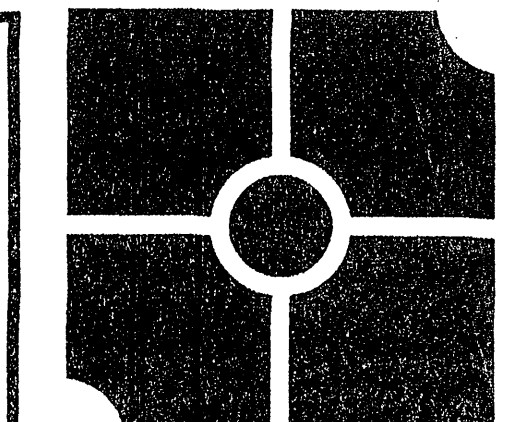
EROSION & SEDIMENT CONTROL MEASURES:

UNLESS OTHERWISE INDICATED, ALL VEGETATIVE AND STRUCTURAL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE CONSTRUCTED AND MAINTAINED ACCORDING TO THE MINIMUM STANDARDS AND SPECIFICATIONS OF THE "VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK", LATEST EDITION.

- REGARDLESS OF FUTURE DEVELOPMENT PLANS, THE CONTRACTOR SHALL IMMEDIATELY INSTALL EROSION AND SEDIMENT CONTROL DEVICES AS SHOWN ON THE PLANS. THESE DEVICES SHALL BE COORDINATED IN ORDER OF THE WORK WHICH IS TO FOLLOW: CONTROL AT CENTERS OF FLOW, AND OTHER POINTS OF CONCENTRATION SHOWN SHALL BE CONSTRUCTED IN PLACE FIRST.
- AFTER THE INSTALLED CONTROL DEVICES ARE FOUND TO BE FUNCTIONAL, THE CONTRACTOR SHALL IMMEDIATELY PROCEED WITH DEMOLITION, CLEARING, AND PRELIMINARY GRADING OPERATIONS. ALL EXPOSED AREAS SHALL BE SEEDED WITHIN SEVEN (7) DAYS AFTER FINAL GRADING, AND SHALL BE ACCOMPLISHED IN STRICT ACCORDANCE WITH THE "VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK", THIRD EDITION.
- IN GENERAL, ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSPECTED WEEKLY AND AFTER EACH SIGNIFICANT RAINFALL. IN PARTICULAR:
 - A. MEASURES SHALL BE MAINTAINED TO PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHT-OF-WAYS.
 - B. ALL SILT FENCE BARRIERS AND INLET PROTECTIONS SHALL BE CHECKED REGULARLY FOR UNDERMINING AND SEDIMENT BUILDUP.
 - C. ALL SEEDED AREAS WILL BE CHECKED REGULARLY TO SEE THAT A GOOD STAND IS MAINTAINED. AREAS SHALL BE FERTILIZED AND RESEEDED AS NEEDED.
- FOLLOWING THE COMPLETION OF DEVELOPMENT AND STABILIZATION OF ALL AREAS AND AFTER IT HAS BEEN DETERMINED THAT EROSION OR SEDIMENTATION IS NO LONGER OCCURRING ON THE SITE OR AT ITS BOUNDARIES AND THAT DRAINAGE FLOWS ARE FUNCTIONING ACCORDING TO DESIGN, THE CONTRACTOR MAY THEN BEGIN TO REMOVE THE TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES. THIS WORK SHALL BE DONE IN A CAREFUL, NEAT, ORGANIZED MANNER.

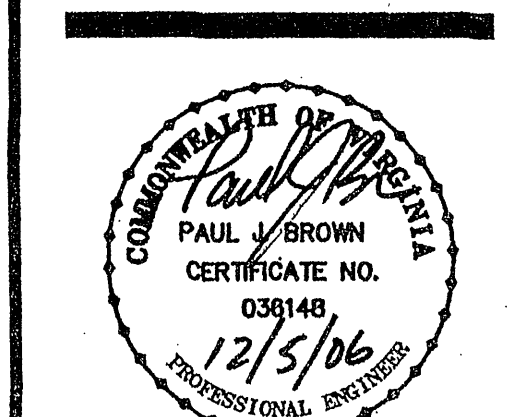
GENERAL EROSION & SEDIMENT CONTROL NOTES

- ALL SOIL EROSION & SEDIMENT CONTROL MEASURES AS SHOWN ON THE PLAN SHALL BE ACCOMPLISHED IN STRICT ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS CONTAINED IN THE VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK, LATEST EDITION.
- THE APPROVING AUTHORITY MAY ADD TO, DELETE, RELOCATE, CHANGE, OR OTHERWISE MODIFY CERTAIN EROSION AND SEDIMENT CONTROL MEASURES WHERE FIELD CONDITIONS ARE ENCOUNTERED THAT WARRANT SUCH MODIFICATIONS.
- ALL SOIL EROSION AND SEDIMENT CONTROL MEASURES AS SHOWN ON THE PLAN SHALL BE PLACED IN ADVANCE OF THE WORK BEING PERFORMED, AS FAR AS PRACTICAL.
- IN NO CASE DURING CONSTRUCTION SHALL WATER RUNOFF BE DIVERTED OR ALLOWED TO FLOW TO LOCATIONS WHERE ADEQUATE PROTECTION HAS NOT BEEN PROVIDED.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO LEAVE THE SITE ADEQUATELY PROTECTED AGAINST EROSION, SEDIMENTATION, OR ANY DAMAGE TO ANY ADJACENT PROPERTY AT THE END OF EACH DAY'S WORK.
- FOR THE EROSION CONTROL KEY SYMBOLS SHOWN ON THE PLANS, REFER TO THE VIRGINIA UNIFORM CODING SYSTEM FOR EROSION AND SEDIMENT CONTROL PRACTICES CONTAINED IN THE VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK, LATEST EDITION.



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Building Permit Plan & Erosion & Sediment Control Plan for Turn Key Builders, Inc.
 Hollins Magisterial District
 Roanoke County, Virginia

REVISIONS:
 Address RKE Co. & WVWA Comments
 PJB 12/05/06

DESIGNED BY: PJB
 DRAWN BY: PJB
 CHECKED BY: PJB
 SCALE: 1" = 40'
 DATE: October 27, 2006

SHEET TITLE:
 BPPP & ESC PLAN
 3013 E. Ruritan Road
 Tax No. 040.17-02-09.02

C01
 01 OF 02
 PROJECT NUMBER:
 06-0286-03