

NOTES

- LEGAL REFERENCE: DEED BOOK 639, PAGE 1168
DEED BOOK 419, PAGE 964 (PLAT)
- TAX REFERENCE: 030.00-059.02
030.00-059.12
- PROPERTY LOCATED IN HUD FLOOD HAZARD ZONE C.
- SURVEY PERFORMED WITHOUT THE BENEFIT OF A TITLE REPORT AND MAY NOT INDICATE ALL ENCUMBRANCES ON THE PROPERTY.

003932
003932
April 4 12:45 PM 2002

THIS PLAT IS HEREBY APPROVED IN ACCORDANCE WITH SECTION 19-188 OF THE FRANKLIN COUNTY SUBDIVISION ORDINANCE FOR VACATING BOUNDARY LINES.
[Signature]
SUBDIVISION AGENT

I/WE THE UNDERSIGNED DO HEREBY CERTIFY THAT THE RESUBDIVISION AS SHOWN HEREIN IS WITH MY/OUR FREE WILL AND CONSENT AND THAT THE OLD LINES ARE TO BE VACATED AS SHOWN.

OWNER: Smith Mountain Lake Mini Warehouses, Inc. by Kenneth L. Pomeroy, President

OWNER: _____

STATE OF VIRGINIA, COUNTY OF FRANKLIN, THE FOREGOING INSTRUMENTS WERE ACKNOWLEDGED BEFORE ME THIS 25th DAY OF March 2002.

NOTARY PUBLIC: Phyllis N. Willes

MY COMMISSION EXPIRES: December 31, 2005

IN THE CLERK'S OFFICE OF THE CIRCUIT COURT OF THE COUNTY OF FRANKLIN, VIRGINIA, THIS PLAT WAS PRESENTED ON THIS _____ DAY OF _____ 2002 AND WITH THE CERTIFICATE OF ACKNOWLEDGMENT THERE TO ANNEXED ADMITTED TO RECORD AT _____ O' CLOCK _____ M.

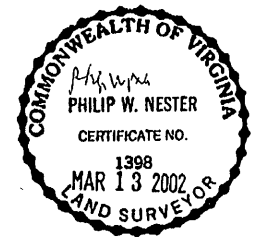
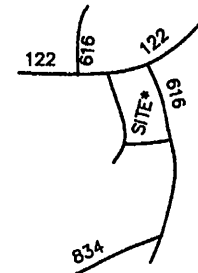
TESTEE: _____ BY _____
CLERK DEPUTY CLERK



Approved for recreation in accordance with a provision of the Franklin County Subdivision Ordinance, Section 19-3 This parcel of land to be conveyed to TAX # 30-59-2 DB 639 Pg 1168 3.966 AC TOT only. This property adjoins land already owned by the grantee and is not in conflict with the general meaning and purpose of the ordinance. Any resale of this so acquired property shall be subject to all requirements of the Franklin County Subdivision Ordinance.

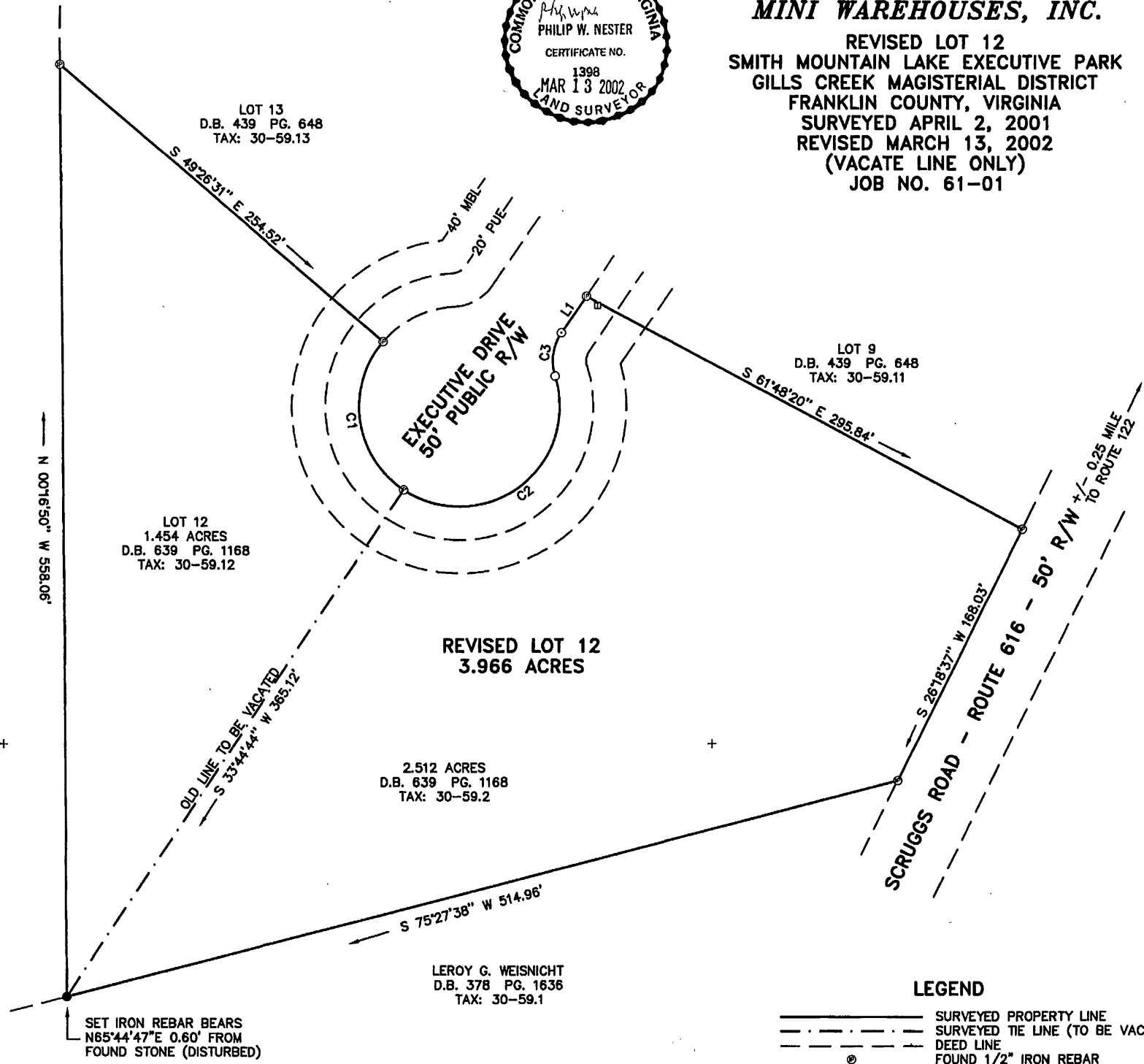
[Signature]
AGENT, FRANKLIN COUNTY BOARD OF SUPERVISORS

VICINITY MAP



SURVEY FOR
**SMITH MOUNTAIN LAKE
MINI WAREHOUSES, INC.**

REVISED LOT 12
SMITH MOUNTAIN LAKE EXECUTIVE PARK
GILLS CREEK MAGISTERIAL DISTRICT
FRANKLIN COUNTY, VIRGINIA
SURVEYED APRIL 2, 2001
REVISED MARCH 13, 2002
(VACATE LINE ONLY)
JOB NO. 61-01



NUMBER	DIRECTION	DISTANCE
L1	N 34°32'54" E	26.47'

NUMBER	DELTA ANGLE	CHORD BEARING	TANGENT	RADIUS	ARC LENGTH	CHORD
C1	98°53'05"	S 07°48'10" E	67.68	60.00	101.46	89.79
C2	141°27'41"	N 53°01'27" E	171.63	60.00	148.14	113.28
C3	52°15'18"	N 08°25'15" E	14.71	30.00	27.36	26.42

LEGEND

- SURVEYED PROPERTY LINE
- - - SURVEYED TIE LINE (TO BE VACATED)
- DEED LINE
- FOUND 1/2" IRON REBAR
- SET 1/2" IRON REBAR
- POINT
- TELEPHONE BOX
- PUE DENOTES PUBLIC UTILITY EASEMENT
- MBL DENOTES MINIMUM BUILDING LINE



SCALE: 1" = 50'