

SITE STATISTICS:

Tax Number:	0510001500
Site Address:	181 Alpine Drive, Union Hall, VA 24176
Magisterial District:	Union Hall
Parcel Area:	102.082 AC
Zoned:	Existing: A-1 Agricultural, Proposed: A-1 Agricultural
Existing Use:	Residential
Proposed Use:	Residential
Setbacks:	Front: 35' Rear: 30' standard, 20' abutting Smith Mountain Lake Side: 12'
Impervious Area:	Existing = 0.75 Acres = 0.73% Proposed Road = 4.09 Acres = 4.00%
Total Disturbed Area:	28.06 Acres (Road)
Building Height:	Max = 40'
Parking Spaces:	Minimum 2 spaces per lot required at time of home construction
Landscaping:	Perimeter landscaping required per Franklin County standards
Lot Area:	Minimum = 35,000 sf Proposed = >35,000 sf
Lot Road Frontage:	Standard Lot: Minimum = 125' Cul-de-sac Lot: Minimum = 30'
Water:	Western Virginia Water Authority
Sewer:	Private Drain Fields, Approved by VDH

SITE DEVELOPMENT PLANS

FOR

FRONTIER LAND DEVELOPMENT LLC

KENNEDY SHORES

FRANKLIN COUNTY, VA

01-06-2017

LATEST REVISION: 08-25-2017

LEGEND:

	CONCRETE		YARD LIGHT (SMH)		EX. POWER POLE
	ASPHALT PAVING		TYPICAL YARD HYDRANT		EX. TELEPHONE
	PAVEMENT REPLACEMENT		PROP. FIRE HYDRANT		EX. TELEPHONE PEDESTAL
	GRAVEL		PROP. AIR RELEASE VALVE		EX. LIGHT POLE
	PAVERS		PROP. GATE VALVE		BENCHMARK
	WETLAND AREA		PROP. BLOW OFF VALVE		
	SURVEYED PROPERTY LINE		PROP. TELEPHONE LINE		
	PROPOSED PROPERTY LINE		PROP. GAS LINE		
	DEED PROPERTY LINE		PROP. SANITARY SEWER LINE		
	ONE-OVERHEAD POWER		PROP. STORM SEWER LINE		
	EXIST. WATER LINE		PROP. CONTOURS		
	EXIST. OVERHEAD CABLE		EXIST. 2' CONTOURS		
	EXIST. CENTERLINE OF ROAD		EXIST. 10' CONTOURS		
	EXIST. STORM SEWER		SPOT ELEVATION		
	EXIST. SANITARY SEWER		SILT FENCE		
	PROP. UNDERGROUND ELEC. LINE		PROP. TREE LINE		
	PROP. UNDERGROUND ELEC. SERVICE		RESOURCE MANAGEMENT AREA BOUNDARY		
	PROP. WATERLINE		RESOURCE PROTECTION AREA BOUNDARY		
	PROP. AUDIO CABLE		DITCH LINE		
	EXIST. TREE LINE				
	EXIST. EDGE OF PAVEMENT				

Approved 7/23/2018 SWE

VDOT GENERAL NOTES:

- Plan approval by Franklin County does not guarantee issuance of any permits by the Virginia Department of Transportation.
- A permit must be obtained from the Virginia Department of Transportation, Salem Residency Office prior to construction in the existing right-of-way.
- The preliminary pavement design shown is based on a predicted sub-grade CBR value of 6.0. The sub-grade soil is to be tested by an independent laboratory and the results submitted to the Virginia Department of Transportation prior to base construction. Should the sub-grade CBR value and/or the RF value be less than the predicted values, additional base material will be required in accordance with Departmental specifications. Likewise, should the sub-grade CBR value and/or the RF value be more than the predicted values, less base material may be required, and shall be designed in accordance with VDOT Standards and Specifications. All pavement designs shall be submitted to the Department for review and approval. The sub-grade shall be approved by the Virginia Department of Transportation prior to placement of the base. Base shall be approved by the Virginia Department of Transportation for depth, template, and compaction before the surface is applied.
- Standard street and traffic control signs shall be erected at each intersection by the developer prior to final street acceptance.
- All traffic control devices shall be in accordance with current edition of the "Manual on Uniform Traffic Control Devices" (MUTCD).
- All unsuitable material shall be removed from the construction limits of the roadway before placing embankment.

WATER NOTES

- All water facilities shall be installed according to the Western Virginia Regional Design and Construction Standards. (Latest Edition).
- A minimum cover of three (3) feet is required over proposed lines.
- Contractor shall be responsible for locating and uncovering valve vaults after paving and adjustment to final grade if necessary.
- All existing utilities may not be shown in their exact location. The contractor shall comply with the (State Water Works Regulations, Section 12VAC5-590-1150, where lines cross.)
- All trenches in existing or future highway right-of-ways shall be compacted according to Virginia Department of Transportation standards.
- Lines shall be staked prior to construction.
- Water main shall be minimum Class 350 Ductile Iron in accordance to AWWA C151 or DR-14 PVC in accordance with AWWA C-900.
- Ductile Iron Pipe in accordance with the Western Virginia Water Authority Design and Construction Standards shall be required for all pipe with a working pressure equal to or greater than 100 p.s.i.

CONTACT INFORMATION:

**Engineer/
Surveyor:** Parker Design Group, Inc
2122 Carolina Ave. SW
Roanoke, VA 24014
Phone: (540) 387-1153
Fax: (540) 389-5767

**Owner/
Developer:** Dan Girouard
Frontier Land Development LLC
181 Clubhouse Way
Zion Crossroads, VA 22942

Miss Utility of Virginia
204 RIVERS BEND BOULEVARD
CHESTER, VIRGINIA 23831



FIELD REVISION INDEX:

- FR #1** FIELD REVISION 1 (6/23/2017):
Drainage ditch redesign between lots 22 & 23
(Revisions made to Sheets C04, C05, C08A, C09, C17A, C18)
- FR #2** FIELD REVISION 2 (7/6/2017):
Ponds 2 & 3 Embankment Regrade, Guard Rail & Waterline Layout Revision
(Revisions made to Sheets C04, C05, C06, C08A, C09, C10, C17A, C18, C19, C31, C33)

Lots 56 & 57 Culvert & Manhole addition
(Revisions made to Sheets C04, C08, C08A, C12, C17, C17A, C21, C28, C29)

Culvert 14 (Hyannis Point) reoriented to divert stormwater to Pond 1
(Revisions made to Sheets C04, C08, C08A, C12, C13, C17, C17A, C21, C34)

Added Rip Rap lining along Hyannis Point to Pond 1
(Revisions made to Sheets C17A, C21)
- FR #3** FIELD REVISION 3 (8/4/2017):
Sediment Trap #2 converted to Sediment Basin #4
(Revisions made to Sheets C13, C14, C15, C24)
- FR #4** FIELD REVISION 4 (8/9/2017):
Recreation Lot 62 Site Plan per separate submittal. Approval of Recreation Lot obtained separately from this development plan.
(Revisions made to Sheets C04, C08, C08A, C12, C17A, C21)
- FR #5** FIELD REVISION 5 (8/25/2017):
Added sign and storm drain system near intersection of Dillard's Hill Road and JFK Boulevard, added clearing limits to Lots 65, 66, 69, 71 & 72, revised Pond 3, revised Sediment Trap 1.
(Revisions made to Sheets C04, C06, C07, C08A, C09, C10, C11, C13, C14, C15, C16, C17A, C18, C19, C20, C21, C24, C28, C29, C30, C31, C38, C39, C41)

VICINITY MAP

NOT TO SCALE

SHEET INDEX

C01	COVER SHEET
C02	SITE DETAILS
C03	EXISTING CONDITIONS AND DEMOLITION PLAN
C04	OVERALL LAYOUT PLAN + Water Materials Info.
C05	LAYOUT PLAN
C06	LAYOUT PLAN
C07	LAYOUT PLAN
C08	LAYOUT PLAN
C08A	OVERALL GRADING PLAN
C09	GRADING PLAN
C10	GRADING PLAN
C11	GRADING PLAN
C12	GRADING PLAN
C13	OVERALL PHASE 1 E&S CONTROL MAP
C14	PHASE 1 E&S CONTROL PLAN
C15	PHASE 1 E&S CONTROL PLAN
C16	PHASE 1 E&S CONTROL PLAN
C17	PHASE 1 E&S CONTROL PLAN
C17A	OVERALL PHASE 2 E&S CONTROL MAP
C18	PHASE 2 E&S CONTROL PLAN
C19	PHASE 2 E&S CONTROL PLAN
C20	PHASE 2 E&S CONTROL PLAN
C21	PHASE 2 E&S CONTROL PLAN
C22	E&S CONTROL NARRATIVE
C23	E&S CONTROL DETAILS
C24	SEDIMENT BASIN COMPUTATIONS AND DETAILS
C25	ROAD PROFILES
C26	ROAD PROFILES
C27	ROAD PROFILES
C28	STORM SEWER PROFILES
C29	STORM SEWER COMPUTATIONS
C30	POND RISER DETAILS
C30A	POND RISER DETAILS
C30B	POND EMBANKMENT PROFILES AND DETAILS
C31	WATERLINE PLAN AND PROFILES
C32	WATERLINE PLAN AND PROFILES
C33	WATERLINE PLAN AND PROFILES
C34	WATERLINE PLAN AND PROFILES
C35	WATERLINE PLAN AND PROFILES
C36	UTILITY DETAILS
C37	UTILITY DETAILS
C38	SIGHT DISTANCE PROFILES
C39	SIGHT DISTANCE PROFILES
C40	SIGHT DISTANCE PROFILES
C41	LANDSCAPING PLAN
C42	VDOT DITCH COMPUTATIONS
C43	VDOT DETAILS AND MOT PLAN

GENERAL NOTES:

- The minimum required density for all compaction shall be 95 percent of maximum dry density with a moisture content within ± 2 percent of the optimum. It is contractor's responsibility to verify compacted fill is suitable for building construction.
- It is the contractor's responsibility to meet compliance requirements with section 59.1-406, et seq. of the Code of Virginia (overhead high voltage lines safely act).
- The contractor shall be responsible for obtaining all necessary permits before beginning construction.
- Unless shown and specified otherwise, methods and materials shall be in accordance with VDOT Road and Bridge Standards latest edition.
- Developer shall coordinate installation of permanent electrical service, telephone service, gas and cable TV. These utility lines shall be underground.
- Contractor shall be responsible for repair of any utilities damaged as a result of construction activities. Verify location of all existing utilities prior to beginning work.
- Distances and radii referred to are to the edge of pavement, unless otherwise noted.
- Rights-of-way, lot lines, and easements are dedicated on plats separate from these plans.
- All utilities shall be underground installation.
- All utilities will be visually inspected by the VDOT inspector prior to backfilling the trenches, including all utility crossings.
- Utilities shown herein are based on available above ground structures (valves, manholes, etc.), and field location of markings.
- All utilities to be maintained by the VDOT shall be within the dedicated rights-of-way or easements.
- A field review prior to final acceptance shall be made by Franklin County during construction to determine the adequacy of channels and ditches as constructed in accordance with the approved plan. All interim field reviews during construction to be coordinated by the developer. In the event of scour and erosion, the Owner shall install additional measures as determined and required by the County.
- Proposed signage shall be permitted separately in accordance with Franklin County regulations.
- A pre-construction conference should be scheduled with Franklin County, VDOT, and Western Virginia Water Authority to be held at least 48 hrs prior to any construction.
- Measures to control erosion and siltation must be provided prior to plan approval. Plan approval in no way relieves the developer or contractor of the responsibilities contained within the erosion and siltation control policies.
- An approved set of plans and all permits must be available at the construction site.
- Field construction shall honor proposed drainage divides as shown on plans.
- All unsuitable material shall be removed from the construction limits of the roadway before placing embankment.
- Construction debris shall be containerized in accordance with the Virginia Litter Control Act. No less than one litter receptacle shall be provided on site. The contractor shall provide adequate means of cleaning mud from trucks and/or other equipment prior to entering public streets.
- It is the contractors responsibility to ensure that the streets are in a clean, mud and dust free condition at all times.
- The developer and/or contractor shall supply all utility companies with copies of approved plans, advising them that all grading and installation shall conform to approved plans.
- Contractors shall notify utilities of proposed construction at least two (2), but not more than ten (10) working days in advance. Area public utilities may be notified thru "Miss Utility": 811.
- The developer or contractor shall supply Franklin County with correct As-Built plans before final acceptance.
- Field corrections shall be approved by Franklin County prior to such construction.
- Stormwater quality considerations associated with future ultimate home construction shall be addressed through the construction of a minimum of one (1) micro-bioretenion (rain garden) per residential lot. A more detailed BMP construction requirements package has been provided to Franklin County under separate cover, and shall be consulted prior to the issuance of any building permits for home construction. This construction guide is entitled "Kennedy Shores Subdivision: Stormwater Management Construction Guide". Contact the Franklin County Stormwater Administrator for additional details.
- The existing Highland Lake restrictions will remain on proposed lots 7 and 8.
- The future Kennedy Shores HOA will own and maintain any common areas, drainage easements, and Stormwater Management Ponds.

LOCAL APPROVALS:

APPROVED
Franklin County
Planning & Zoning
by: *[Signature]*
date: 7-13-18

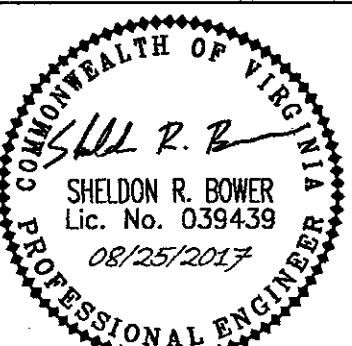
APPROVED
Franklin County
Planning & Community Development
Stormwater Management
Signature: *[Signature]*
Date: 8-13-18

As-Built 11/30/2018



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KENNEDY SHORES
SUBDIVISION DEVELOPMENT PLAN
Tax # 0510001500
Franklin County, Virginia

REVISIONS:
2/10/2017 - 1ST SUB COMMENTS
3/21/2017 - 2ND SUB COMMENTS
4/14/2017 - 3RD SUB COMMENTS
6/23/2017 - FIELD REVISION #1
6/23/2017 - FIELD REVISION #2
8/4/2017 - FIELD REVISION #3
8/9/2017 - FIELD REVISION #4
8/25/2017 - FIELD REVISION #5

DESIGNED BY: JMM/SRB

DRAWN BY: JMM/JLK

CHECKED BY: SRB

DATE:
6 JANUARY, 2017

SHEET TITLE:

COVER SHEET

SCALE:

N/A

SHEET NO.

C01