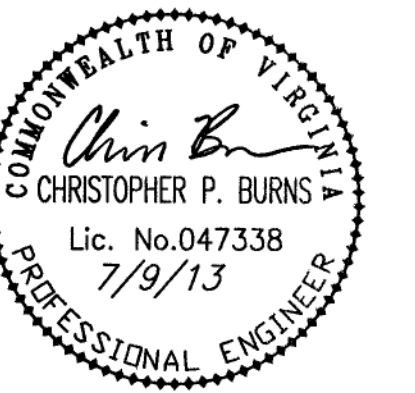




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Richmond  
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Shenandoah Valley

RESIDENTIAL LAND DEVELOPMENT ENGINEERING  
SITE DEVELOPMENT ENGINEERING  
LAND USE PLANNING & ZONING  
LANDSCAPE ARCHITECTURE  
LAND SURVEYING  
ARCHITECTURE  
STRUCTURAL ENGINEERING  
TRANSPORTATION ENGINEERING  
ENVIRONMENTAL & SOIL SCIENCE  
WETLAND DELINEATIONS & STREAM EVALUATIONS

Balzer and Associates, Inc.  
1208 Corporate Circle  
Roanoke, VA 24018  
540-772-9580  
FAX 540-772-8050



HAMPTON INN & SUITES - DOWNTOWN  
CIVIL COVER SHEET  
CITY OF ROANOKE, VIRGINIA

DRAWN BY BTC  
DESIGNED BY BTC  
CHECKED BY CPB  
DATE 5-31-2013  
SCALE N/A  
REVISIONS:  
6-27-2013  
7-9-2013  
RECEIVED  
JUL 11 2013  
SHEET NO. C01  
JOB NO. R1300045.00

### SITE INFORMATION

**SITE ADDRESS:** 25 CHURCH AVENUE S.E. ROANOKE, VIRGINIA 24011 13 CHURCH AVENUE S.E. ROANOKE, VIRGINIA 24011

**OWNER/DEVELOPER:** WINDSOR AUGHTRY COMPANY  
40 WEST BROAD STREET, SUITE 500  
GREENVILLE, SC 29601  
Phone: (864) 271-9855  
Contact: MR. C. GRAY MORGAN, CCIM

**EXISTING USE:** PARKING STRUCTURE FACILITY

**PROPOSED USE:** PARKING STRUCTURE FACILITY & HOTEL & GOV'T FACILITY NOT OTHERWISE LISTED

**ZONING:** D - DOWNTOWN

**TAX PARCEL NO.S:** 4015004 & 4011706

**SITE AREA:** 0.7705 ACRES & 0.2307 ACRES

**DISTURBED AREA:** 1,500 S.F. / 0.03 ACRES

**WATER:** PUBLIC

**SEWER:** PUBLIC

**BUILDING AREA/NO. OF STORIES:** TOTAL BUILDING S.F. ON-SITE - APPROX. 81,126 S.F.  
EXISTING PARKING STRUCTURE FACILITY - 6-STORIES (86' TOTAL HEIGHT)  
HOTEL ADDITION - 3 STORIES - (128'-8" TOTAL HEIGHT)

**MINIMUM PARKING REQUIRED:** NO MIN. PARKING REQUIREMENTS IN DOWNTOWN

**PARKING PROVIDED:** 500 TOTAL EXISTING SPACES IN PARKING STRUCTURE FACILITY

**LOADING SPACES REQUIRED:** 1 REQUIRED

**LOADING SPACES PROVIDED:** 3 PROVIDED

**SETBACKS:** FRONT: 0' MINIMUM / 10' MAXIMUM  
SIDE: 0'  
REAR: 0'

**MAX. FLOOR AREA RATIO ALLOWED/PROVIDED:** 15.0/0.75

**IMPERVIOUS SURFACE RATIO ALLOWED/PROVIDED:** 100%/98% (DEVELOPMENT AREA)

**MAXIMUM BUILDING HEIGHT ALLOWED/PROPOSED:** NONE/128'-8"

**TRANSPARENCY REQUIREMENT:** COMPLY WITH SECTION 36.2-319 (SEE SHEETS A-301 THRU. A-304)

**COMPREHENSIVE SITE PLAN NUMBER:** CP130029

### STANDARD CITY OF ROANOKE CONSTRUCTION PROCEDURE REQUIREMENTS

**NOTICE TO ALL LANDOWNERS, DEVELOPERS, AND CONTRACTORS:** FAILURE TO COMPLY WITH THE CONSTRUCTION PROCEDURE REQUIREMENTS LISTED BELOW MAY RESULT IN THE COSTLY REMOVAL OF STRUCTURES, TIME DELAYS, OR THE ISSUANCE OF A STOP WORK ORDER.

**RIGHT-OF-WAY EXCAVATION PERMIT:** PRIOR TO THE COMMENCEMENT OF ANY DIGGING, ALTERATION, OR CONSTRUCTION WITHIN THE PUBLIC RIGHT-OF-WAY (STREETS, ALLEYS, PUBLIC EASEMENTS), A RIGHT-OF-WAY EXCAVATION PERMIT SHALL BE APPLIED FOR AND OBTAINED BY THE CONTRACTOR FROM THE CITY OF ROANOKE.

**LAND DISTURBANCE PERMIT:** AN APPROVED EROSION AND SEDIMENT CONTROL PLAN FOR ANY BORROW/FILL SITES ASSOCIATED WITH THE PROJECT MUST BE SUBMITTED PRIOR TO THE ISSUANCE OF A LAND DISTURBANCE PERMIT.

**PLANS AND PERMITS:** A COPY OF THE PLANS AS APPROVED BY THE CITY OF ROANOKE (SIGNED BY THE PROPER CITY OFFICIALS) AND ALL PERMITS ISSUED BY THE CITY SHALL BE MADE AVAILABLE AT THE CONSTRUCTION SITE AT ALL TIMES OF ONGOING CONSTRUCTION.

**LOCATION OF UTILITIES:** THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION.

**CONSTRUCTION ENTRANCE:** THE CONTRACTOR SHALL INSTALL AN ADEQUATE CONSTRUCTION ENTRANCE FOR ALL CONSTRUCTION RELATED EGRESS FROM THE SITE. SIZE AND COMPOSITION OF THE CONSTRUCTION ENTRANCE SHALL BE AS SHOWN ON THE PLANS.

**STREETS TO REMAIN CLEAN:** IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO INSURE THAT THE PUBLIC STREET ADJACENT TO THE CONSTRUCTION ENTRANCE REMAINS FREE OF MUD, DIRT, DUST, AND/OR ANY TYPE OF CONSTRUCTION MATERIALS OR LITTER AT ALL TIMES.

**BARRICADES/DITCHES:** THE CONTRACTOR SHALL MAINTAIN THE INTEGRITY OF ALL EXCAVATED DITCHES AND SHALL FURNISH AND ENSURE THAT ALL BARRICADES PROPER AND NECESSARY FOR THE SAFETY OF THE PUBLIC ARE IN PLACE.

**SEWER AND PAVEMENT REPLACEMENT:** CONSTRUCTION OF SANITARY SEWERS AND THE REPLACEMENT OF PAVEMENT SHALL BE IN ACCORDANCE WITH APPROVED STANDARDS AND SPECIFICATIONS OF THE CITY OF ROANOKE AND THE WESTERN VIRGINIA WATER AUTHORITY.

**APPROVED PLANS/CONSTRUCTION CHANGES:** ANY CHANGE OR VARIATION FROM CONSTRUCTION DESIGN AS SHOWN ON THE OFFICIALLY APPROVED PLANS SHALL BE APPROVED BY THE EROSION AND SEDIMENT CONTROL AGENT PRIOR TO SAID CHANGES OR VARIATION IN CONSTRUCTION BEING MADE.

**FINAL ACCEPTANCE/CITY:** THE OWNER OR DEVELOPER SHALL FURNISH THE CITY OF ROANOKE'S PLANNING BUILDING AND DEVELOPMENT DEPARTMENT WITH A FIELD SURVEYED FINAL CORRECT SET OF AS-BUILT PLANS OF THE NEWLY CONSTRUCTED STORM DRAIN AND/OR STORMWATER MANAGEMENT FACILITIES PRIOR TO FINAL ACCEPTANCE AND ISSUANCE OF A CERTIFICATE OF OCCUPANCY BY THE CITY. AS-BUILT PLANS SHALL BE PROVIDED IN THE STATE PLANE VIRGINIA SOUTH COORDINATE SYSTEM, NAD 1983, FIPS 4502 FEET, US SURVEY FEET, DATUM NA 83, IN THE FORM OF 1 PAPER COPY AND 1 DIGITAL AUTOCAD FILE.

City of Roanoke  
Planning Building and Development

DEVELOPMENT PLAN APPROVED

Agent, Planning Commission [Signature] Date 12/18/13  
Development Engineer [Signature] R.B.B. 12/18/13  
Zoning Administrator [Signature] Jamil Wood 12/18/13

Any changes to this approved plan must be coordinated with the Agent to the Planning Commission and revisions approved prior to construction.

CITY OF ROANOKE APPROVAL BLOCK

As-Built 5.13.15 Subst. Completion K. Winslow



## 25 CHURCH AVENUE S.E. ROANOKE, VIRGINIA 24011

### SHEET INDEX

- C01 CIVIL COVER SHEET
- C02 EXISTING CONDITIONS & DEMOLITION PLAN
- C03 LAYOUT & UTILITY PLAN
- C04 GRADING PLAN
- C05 DETAILS
- C06 NOTES
- C07 WESTERN VIRGINIA REGIONAL DETAILS
- C08 EXTERIOR LIGHTING DETAILS
- A-301 EXTERIOR ELEVATION (NORTH)
- A-302 EXTERIOR ELEVATION (EAST)
- A-303 EXTERIOR ELEVATION (WEST)
- A-304 EXTERIOR ELEVATION (SOUTH)

### WESTERN VIRGINIA WATER AUTHORITY NOTES

AVAILABILITY No.: 13-205

**GENERAL NOTES:**  
A PRE-CONSTRUCTION MEETING SHALL BE SCHEDULED WITH THE WESTERN VIRGINIA WATER AUTHORITY TO BE HELD AT LEAST ONE (1) DAY PRIOR TO ANY CONSTRUCTION OF THE APPROVED WATER AND SANITARY SEWER FACILITIES.

A MINIMUM COVER OF THREE (3) FEET IS REQUIRED OVER PROPOSED LINES.

ALL SANITARY SEWER AND WATER CONNECTIONS TO EXISTING LINES SHALL BE COORDINATED WITH AND PERFORMED BY THE WESTERN VIRGINIA WATER AUTHORITY.

CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND UNCOVERING VALVE VAULTS, MANHOLES, ETC. AFTER PAVING AND ADJUSTING TO FINAL GRADE IF NECESSARY.

ALL EXISTING UTILITIES MAY NOT BE SHOWN OR MAY NOT BE SHOWN IN THE EXACT LOCATION. THE CONTRACTOR SHALL COMPLY WITH THE STATE WATER WORKS REGULATIONS, SECTION 12.05.03, WHERE LINES CROSS.

ALL TRENCHES IN EXISTING OR FUTURE HIGHWAY RIGHT-OF-WAYS SHALL BE COMPACTED ACCORDING TO CITY OF ROANOKE STANDARDS. LINES SHALL BE STAKED PRIOR TO CONSTRUCTION.

CONTRACTOR SHALL REFER TO THE WESTERN VIRGINIA WATER AUTHORITY STANDARD WATER AND SEWER REGULATIONS FOR CONSTRUCTION DETAILS AND INSTALLATION METHODS AS REQUIRED TO COMPLETE THE PROPOSED UTILITY FACILITIES AS INDICATED BY THESE DRAWINGS.

FIELD CORRECTIONS SHALL BE APPROVED BY THE WVWA ENGINEERING DIVISION PRIOR TO SUCH CONSTRUCTION.

THE CONTRACTOR SHALL PROVIDE THE WESTERN VIRGINIA WATER AUTHORITY WITH CORRECT AS-BUILT PLANS PRIOR TO SUBSTANTIAL COMPLETION OF ANY NEW PUBLIC EXTENSIONS.

**WATER NOTES:**  
WATER MAINS SHALL BE MINIMUM CLASS 350 DUCTILE IRON IN ACCORDANCE WITH AWWA C151 OR DR-14 PVC IN ACCORDANCE WITH AWWA C-900.

WATER LATERALS FROM THE METER TO THE BUILDING SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE INTERNATIONAL BUILDING CODE.

THE CONSTRUCTION OF THE PROPOSED PUBLIC WATER MAIN AND ALL COMMERCIAL SERVICES SHALL BE IN COMPLIANCE WITH THE CURRENT WESTERN VIRGINIA WATER AUTHORITY REGULATIONS. REFER TO THESE REGULATIONS FOR COMPLETE DETAILS AND INSTALLATION METHODS.

**SEWER NOTES:**  
COMMERCIAL SANITARY SEWER LATERAL SHALL BE MINIMUM 6" PIPE INSTALLED AT SLOPES AS SHOWN ON THE PLAN.

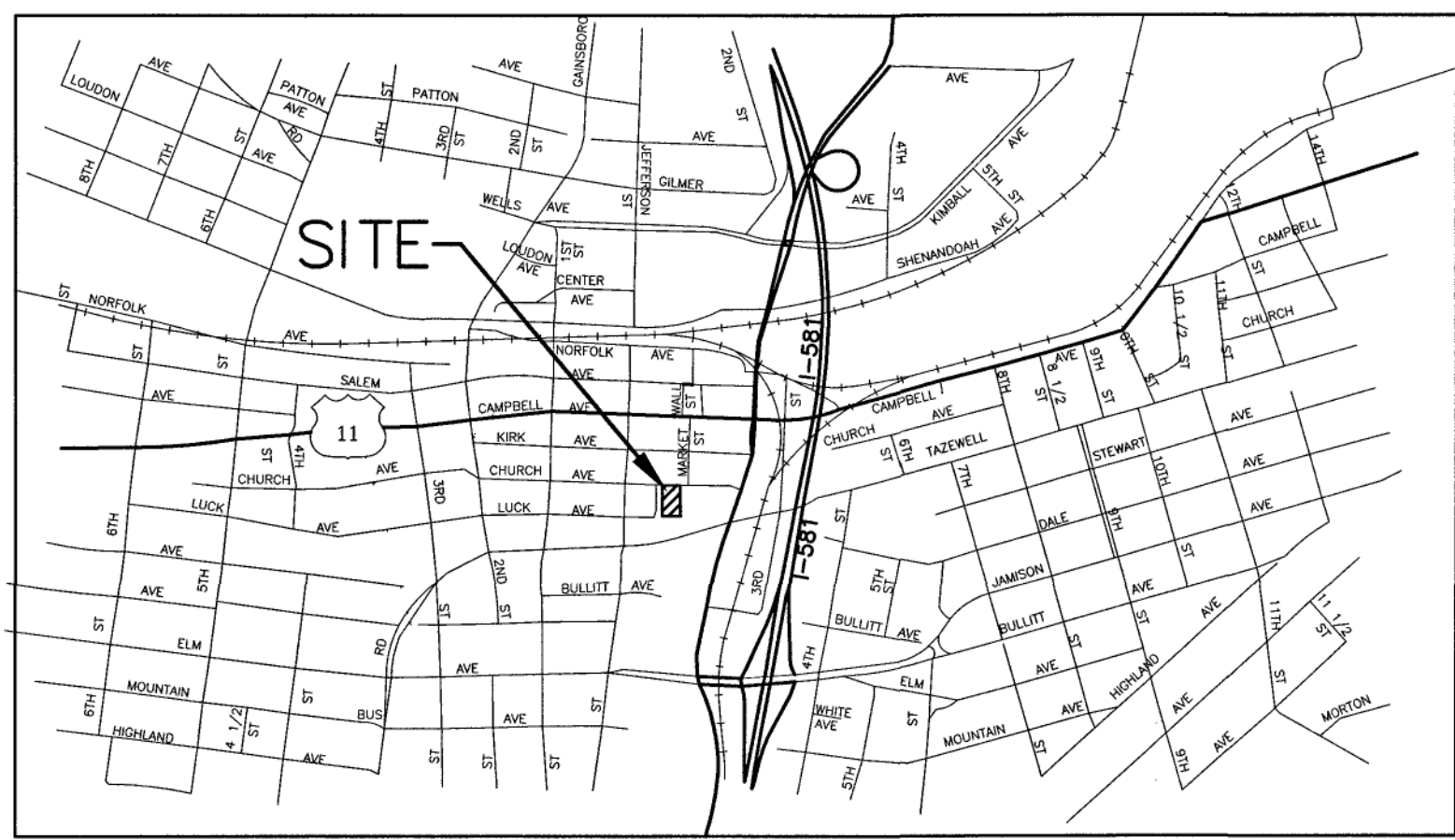
THE LATERALS AND REQUIRED FITTINGS LOCATED WITHIN A PUBLIC RIGHT-OF-WAY OR PUBLIC EASEMENT SHALL BE OF THE SAME TYPE OF MATERIAL AS THE MAINLINE SEWER PIPE.

THE CONSTRUCTION OF THE PROPOSED PUBLIC SEWER MAIN AND ALL COMMERCIAL SERVICES SHALL BE IN COMPLIANCE WITH THE CURRENT WESTERN VIRGINIA WATER AUTHORITY REGULATIONS. REFER TO THESE REGULATIONS FOR COMPLETE DETAILS AND INSTALLATION METHODS.

ALL SANITARY SEWER PIPING SHALL BE PVC (POLYVINYL CHLORIDE) MANUFACTURED IN ACCORDANCE WITH ASTM DESIGNATION 3034-77 (SDR 35) UNLESS OTHERWISE NOTED ON THE PLANS/PROFILES.

ALL MANHOLE FRAMES AND COVERS SHALL BE WATERTIGHT AND ALL COVERS SHALL BE BOLT-DOWN MANHOLE COVERS (SEE DETAIL S-05 AND S-06) WHERE APPLICABLE.

### VICINITY MAP



### ENGINEERS NOTES

BALZER AND ASSOCIATES, INC. ASSUMES NO RESPONSIBILITY FOR ADEQUACY OF PLANS OR FOR INFORMATION ON PLANS UNTIL SUCH PLANS HAVE BEEN APPROVED BY THE REQUIRED PUBLIC AGENCIES.

ANY WORK COMMENCED ON A PROJECT PRIOR TO PLAN APPROVAL IS AT SOLE RISK OF THE DEVELOPER.

BALZER AND ASSOCIATES, INC. WILL NOT BE RESPONSIBLE FOR THE CONTRACTORS FAILURE TO CARRY OUT THE WORK IN ACCORDANCE WITH THE PLANS OR WILL NOT BE RESPONSIBLE FOR ACTS OR OMISSIONS OF THE CONTRACTOR, SUBCONTRACTORS, OR THEIR AGENTS OR EMPLOYEES, OR OF ANY OTHER PERSONS PERFORMING PORTIONS OF THE WORK.

SOURCE OF TOPOGRAPHIC MAPPING IS FIELD SURVEY PERFORMED BY BALZER AND ASSOCIATES, INC., DATED 2013 AND CITY OF ROANOKE AERIAL MAPPING, DATED APRIL, 1996.

### LEGEND

	CONCRETE		PAVEMENT REPLACEMENT		PVMT. (T.B.R.)		CG-6 (WET)
	ASPHALT PAVING		GRAVEL / RIPRAP		PVMT TO BE MILLED		CG-6 (DRY)
	ADJOINER PROPERTY LINE		PROP. TELEPHONE LINE		PROP. GAS LINE		PROP. UNDERGROUND POWER
	SITE PROPERTY LINE		PROP. WATERLINE		PROP. SANITARY SEWER LINE		PROP. STORM SEWER LINE
	CENTERLINE OF ROADS		PROP. TREELINE		PROP. BENCHMARK		PROP. TOP & BOTTOM OF CURB
	EXIST. OVERHEAD CABLES		PROP. CONTOURS		TYPICAL YARD HYDRANT		PROP. FIRE HYDRANT
	EXIST. WATER LINE		PROP. FIRE HYDRANT		PROP. SIAMESE CONNECTION		PROP. YARD LIGHT
	EXIST. SANITARY SEWER		PROP. GATE VALVE		PROP. FENCE		FLOW ARROW
	EXIST. STORM SEWER		PROP. FENCE		PROP. FENCE		PROP. FENCE
	EXIST. TREELINE		PROP. FENCE		PROP. FENCE		PROP. FENCE
	EXIST. EDGE OF PAVEMENT		PROP. FENCE		PROP. FENCE		PROP. FENCE
	WETLAND BOUNDARY		PROP. FENCE		PROP. FENCE		PROP. FENCE
	EXIST. SPOT ELEVATION		PROP. FENCE		PROP. FENCE		PROP. FENCE
	EXIST. INTERMEDIATE CONTOURS		PROP. FENCE		PROP. FENCE		PROP. FENCE
	EXIST. INDEX CONTOURS		PROP. FENCE		PROP. FENCE		PROP. FENCE
	EXIST. POWER POLE		PROP. FENCE		PROP. FENCE		PROP. FENCE
	EXIST. TELEPHONE		PROP. FENCE		PROP. FENCE		PROP. FENCE
	EXIST. LIGHT POLE		PROP. FENCE		PROP. FENCE		PROP. FENCE
	EXIST. FEATURES TO BE REMOVED		PROP. FENCE		PROP. FENCE		PROP. FENCE
	EXIST. FENCE		PROP. FENCE		PROP. FENCE		PROP. FENCE
	EXIST. FENCE		PROP. FENCE		PROP. FENCE		PROP. FENCE

### ABBREVIATIONS

AHFH	ARROW HEAD TOP OF FIRE HYDRANT	EW	ENDWALL	SAN	SANITARY
APPROX	APPROXIMATE	EXIST	EXISTING	SBL	SOUTH BOUND LANE
ASPH	ASPHALT	FDN	FOUNDATION	SD	SOUTH DRAIN
BC	BOTTOM OF CURB	FF	FINISHED FLOOR	SECT	SECTION
BIT	BITUMINOUS	FG	FINISH GRADE	SE	SLOPE EASEMENT
BLDG	BUILDING	HOA	HOMEOWNERS ASSOCIATION	SS	SANITARY SEWER
BLK	BLOCK	HPT	HIGH POINT	SSE	SANITARY SEWER EASEMENT
BM	BENCHMARK	INTX	INTERSECTION	STA	STATION
BW	BOTTOM OF WALL	INV	INVERT	STD	STANDARD
CB	CINDER BLOCK	IP	IRON PIN	STO	STORAGE
C&G	CURB & GUTTER	LT	LEFT	SYS	SIDE YARD SETBACK
CMP	CORRUGATED METAL PIPE	MH	MANHOLE	TBM	TEMPORARY BENCHMARK TO BE REMOVED
CONC	CONCRETE	MIN	MINIMUM	TBR	TO BE REMOVED
COR	CORNER	MBL	MINIMUM BUILDING LINE	TC	TOP OF CURB
DBL	DOUBLE	MON	MONUMENT	TEL	TELEPHONE
DEFL	DEFLECTION	NBL	NORTH BOUND LANE	TRANS	TRANSFORMER
DI	DROP INLET	PROP	PROPOSED	TW	TOP OF WALL
DIA	DIAMETER	PUE	PUBLIC UTILITY EASEMENT	TYP	TYPICAL
DE	DRAINAGE EASEMENT	PVMT	PAVEMENT	VDOT	VIRGINIA DEPARTMENT OF TRANSPORTATION
ELEC	ELECTRIC	R	RADIUS	VERT	VERTICAL
ELEV	ELEVATION	RT	RIGHT	WBL	WEST BOUND LANE
ENTR	ENTRANCE	R.O.W.	RIGHT OF WAY	WWA	WESTERN VIRGINIA WATER AUTHORITY
EP	EDGE OF PAVEMENT	REQD	REQUIRED	YD	YARD
		RR	RAILROAD		
		RYS	REAR YARD SETBACK		