

SITE INFORMATION:

TAX MAP NUMBER: 018.18-05-07.00

EX. PARCEL: 0.918 AC.  
PROPOSED PARCEL: 0.654 AC.

ZONING: I1C

ZONING CONDITIONS: ORDINANCE # 111604-10 DATED 11-16-04.

1. Owner/developer shall prepare the site in full accordance with Virginia Department of Environmental Quality regulations pertaining to wetlands and Roanoke County storm water managment regulations.

2. The property shall be accessed from Friendship Lane by a street built to Virginia Department of Transportation standards directly opposite the center line of existing Garland Circle as depicted on rezoning exhibit by Lumsden Associates, PC, dated September 22, 2004.

USES: MAJOR AUTO REPAIR FACILITY

MINIMUM LOT AREA: 15,000 SQ.FT.  
LOT AREA PROVIDED: 28,488 SQ.FT.

PROPOSED AUTO REPAIR BUILDING:  
1 STORY 6,800 SQ.FT.

MAXIMUM HEIGHT OF BUILDING ALLOWED: 45'  
ACTUAL BUILDING HEIGHT: 16.0'

REQUIRED PARKING:  
2 SPACES PER SERVICE BAY PLUS - 8 SERVICE BAYS  
1 SPACE PER EMPLOYEE - 8 EMPLOYEES  
24 SPACES REQUIRED

PROVIDED: 24 STANDARD SPACES  
1 HANDICAP SPACE  
25 STANDARD SPACES PROVIDED

LOADING SPACES: 1 REQUIRED  
1 PROVIDED

SETBACKS FOR I-1 ZONING:

FRONT YARD: 30' OR 20' WHEN ALL PARKING  
IS LOCATED BEHIND THE FRONT  
BUILDING LINE

SIDE YARD: 10'

REAR YARD: 15'

MAXIMUM BUILDING LOT COVERAGE IN I-1: 50%  
BUILDING LOT COVERAGE PROVIDED: 24%

MAXIMUM LOT COVERAGE: 90% IN I-1  
LOT COVERAGE PROVIDED: 69%

LOT FRONTAGE: 48'

NOTES:

1. NO CONSTRUCTION/FIELD CHANGES WITHOUT THE APPROVAL OF THE CONSULTING ENGINEER, ROANOKE COUNTY, & VDOT.
2. CONTRACTOR TO ENSURE POSITIVE DRAINAGE AWAY FROM ALL STRUCTURES.
3. ANY NEW ALIGNMENTS, CHANGES IN GRADES, ALTERNATIVE PIPE SIZE OR MANHOLES OR ESC MEASURES WILL REQUIRE A NEW SET OF PLANS STAMPED BY THE CONSULTING ENGINEER. PLAN SHEETS CAN BE 8.5"x11" IF THE INFORMATION IS LEGIBLE.
4. ALL EXTERIOR LIGHTING FIXTURES SHALL BE DESIGNED, LOCATED, AND ARRANGED SO AS NOT TO DIRECT GLARE ON ADJOINING STREETS OR RESIDENTIAL PROPERTIES. THE LIGHTING INTENSITY AT ADJOINING RESIDENTIAL PROPERTIES SHALL NOT EXCEED 0.5 FOOT CANDLES.
5. A PHOTOMETRIC PLAN SHALL BE SUBMITTED TO ROANOKE COUNTY FOR REVIEW AND APPROVAL PRIOR TO SITE PLAN APPROVAL(SEE SECTION 30-94 1). ANY CHANGES IN THE LIGHTING PLAN SHALL BE PROVIDED TO ROANOKE COUNTY AS A FIELD REVISION FOR REVIEW AND APPROVAL.
6. ALL REFUSE SERVICE (DUMPSTERS/CONTAINERS) AND OUTDOOR STORAGE IN ALL ZONING DISTRICTS SHALL BE SCREENED FROM SURROUNDING VIEWS. IN ADDITION, GROUND LEVEL MECHANICAL EQUIPMENT SHALL BE SCREENED OR LANDSCAPED.
7. STORMWATER MANAGEMENT WAS PROVIDED PREVIOUSLY FOR THE SUBDIVISION AND FUTURE DEVELOPMENT WITHIN IT. PLEASE REFER TO NEW CENTURY INDUSTRIAL PARK CIVIL PLANS FOR ANY ADDITIONAL INFORMATION.
8. THE OIL/WATER SEPERATOR SHALL PROVIDE FILTRATION FOR THE FLOOR DRAIN WITHIN THE REPAIR FACILITY. THE SEPERATOR SHALL BE INSTALAEED WITHIN THE BUILDING FOR THE FACILITY.
9. G.C. TO COORDINATE ALL UTILITY SERVICES TO THE PROPOSED BUILDING. THE UTILITIES FOR THE BUILDING INCLUDING ELECTRIC, GAS, ETC. SHALL BE INSTALLED UNDERGROUND FROM THE P.U.E. TO THE BUILDING. THE UTILITIES SHALL BE LOCATED WITHIN THE SIDE YARD SETBACK ON THE EASTERN PORTION OF THE PROPERTY.
10. ALL DOWNSPOUTS SHALL DISCHARGE AT GRADE AND DRAIN AWAY FROM THE PROPOSED BUILDING.
11. A SIGN PERMIT SHALL BE OBTAINED PRIOR TO THE INSTALLATION OF ANY SITE OR BUILDING SIGNAGE. ALL SIGNAGE SHALL BE COMPLY WITH SECTION 30-93 OF THE ROANOKE COUNTY ZONING ORDINANCE.

SANITARY SEWER NOTES:

1. THE SANITARY SEWER CONNECTION SHALL BE MADE AT THE PREVIOUSLY STUBBED OUT LATERAL FOR LOT #7.
2. IF THE EX. LATERAL CANNOT BE UTILIZED, A NEW CONNECTION SHOULD BE MADE TO THE MANHOLE WITH A FLEXIBLE BOOT CONNECTION. THE EXISTING LATERAL SHALL BE PLUGGED & REMOVED AT THE MAINHOLE OR THE MAIN PER WWA STANDARDS.
3. THE SANITARY SEWER MANHOLE LID SHALL BE FLUSH WITH THE PROPOSED ENTRANCE.

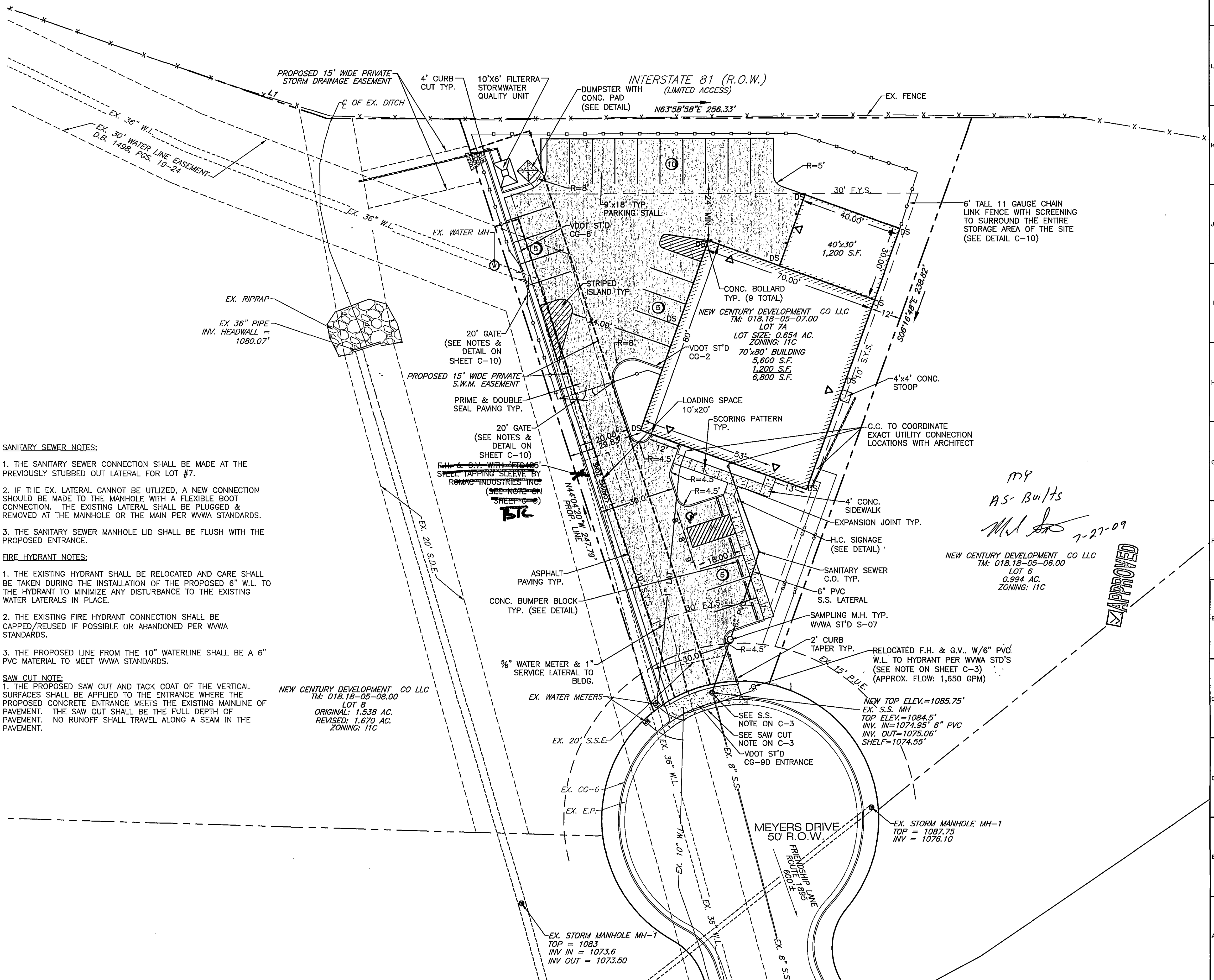
FIRE HYDRANT NOTES:

1. THE EXISTING HYDRANT SHALL BE RELOCATED AND CARE SHALL BE TAKEN DURING THE INSTALLATION OF THE PROPOSED 6" W.L. TO THE HYDRANT TO MINIMIZE ANY DISTURBANCE TO THE EXISTING WATER LATERALS IN PLACE.
2. THE EXISTING FIRE HYDRANT CONNECTION SHALL BE CAPPED/REUSED IF POSSIBLE OR ABANDONED PER WWA STANDARDS.
3. THE PROPOSED LINE FROM THE 10" WATERLINE SHALL BE A 6" PVC MATERIAL TO MEET WWA STANDARDS.

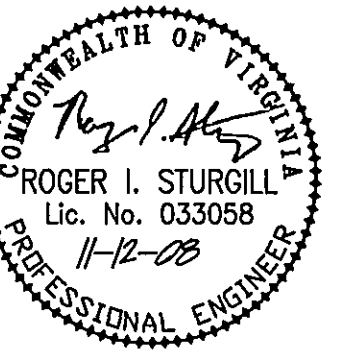
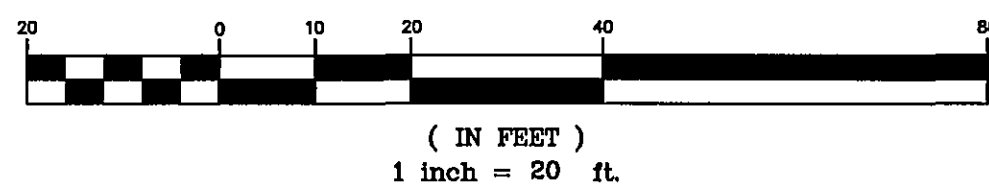
SAW CUT NOTE:

1. THE PROPOSED SAW CUT AND TACK COAT OF THE VERTICAL SURFACES SHALL BE APPLIED TO THE ENTRANCE WHERE THE PROPOSED CONCRETE ENTRANCE MEETS THE EXISTING MAINLINE OF PAVEMENT. THE SAW CUT SHALL BE THE FULL DEPTH OF PAVEMENT. NO RUNOFF SHALL TRAVEL ALONG A SEAM IN THE PAVEMENT.

NEW CENTURY DEVELOPMENT CO LLC  
TM: 018.18-05-08.00  
LOT 8  
ORIGINAL: 1.538 AC.  
REVISED: 1.670 AC.  
ZONING: I1C



GRAPHIC SCALE



**BALZER**  
AND ASSOCIATES, INC.  
**BVINCED**

REFLECTING TOMORROW  
[www.balzer.cc](http://www.balzer.cc)  
PLANNERS • ARCHITECTS  
ENGINEERS • SURVEYORS

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1681 Commerce Road  
Suite 401  
Verona, Virginia 24482  
Phone: 540/248-3220  
FAX: 540/248-3221

HANNABASS & ROWE GARAGE

LAYOUT & UTILITY PLAN

COUNTY OF ROANOKE, VIRGINIA

DRAWN BY: BTC  
DESIGNED BY: BTC  
CHECKED BY: SMH  
DATE: 6-13-08

REVISIONS:  
7-28-08  
8-25-08  
9-12-08  
11-12-08

SCALE: 1"=20'

SHEET NO.

C-3

JOB NO.  
R0800146.00