

PROPERTY OWNER: INDIAN VILLAGE LIMITED PARTERSHIP  
2624 SALEM TURNPIKE, N.W.  
ROANOKE, VA 24017

ENGINEER: LMW PROFESSIONAL CORPORATION  
102 ALBEMARLE AVE., S.E.  
ROANOKE, VIRGINIA 24013  
(540) 345-0675

OFFICIAL TAX # OF PROPERTY: 4210337

ZONING CLASSIFICATION: RM-2 RESIDENTIAL MIXED-DENSITY DISTRICT  
OVERLAY DISTRICTS: NEIGHBORHOOD DESIGN DISTRICT OVERLAY (ND) AND RIVER AND  
CREEK COORDINATOR DISTRICT OVERLAY (RCC)

TOTAL LOT AREA: 4.45 AC (193,842 SF)  
TOTAL ACREAGE OF LAND TO BE DEVELOPED: 0.53 ACRES  
TOTAL ACREAGE OF LAND TO BE DISTURBED: 3.00 ACRES  
LEGAL REFERENCE: INSTRUMENT # D.B. 1421-560

PROPOSED USE OF SITE: TOWNHOMES

FLOOD STATEMENT:  
PART OF THIS PROPERTY DOES LIE WITHIN THE LIMITS OF A 100-YEAR FLOODPLAIN AS DESIGNATED BY  
CURRENT FEMA MAPS. THE PROPERTY IS LOCATED PARTIALLY IN ZONE X & PARTIALLY IN ZONE AE,  
ON PANEL 46 OF 90, MAP NUMBER 51161C0046D, DATED OCTOBER 15, 1993.

NOTICE: ALL LANDOWNERS, DEVELOPERS AND CONTRACTORS  
FAILURE TO COMPLY WITH THE CONSTRUCTION REQUIREMENTS LISTED BELOW MAY RESULT  
IN THE COSTLY REMOVAL OF STRUCTURES, TIME DELAYS OR THE ISSUANCE OF A STOP  
WORK ORDER.

CONSTRUCTION PROCEDURE REQUIREMENTS  
CITY INSPECTIONS - TO INSURE THE COORDINATION OF TIMELY AND PROPER INSPECTIONS, A PRE-CONSTRUCTION  
CONFERENCE SHALL BE INITIATED BY THE APPLICANT, BUILDING, ETC. WITH THE DEVELOPMENT INSPECTOR. CALL  
(540) 853-1227 TO ARRANGE A CONFERENCE AT LEAST THREE (3) DAYS PRIOR TO ANTICIPATED CONSTRUCTION

RIGHT-OF-WAY EXCAVATION PERMIT - PRIOR TO THE COMMENCEMENT OF ANY DIGGING, ALTERATION, OR CONSTRUCTION  
WITHIN THE PUBLIC RIGHT-OF-WAY (STREETS, ALLEYS, PUBLIC EASEMENTS), A RIGHT-OF-WAY EXCAVATION PERMIT  
SHALL BE APPLIED FOR AND OBTAINED BY THE CONTRACTOR FROM THE CITY OF ROANOKE.

LAND DISTURBING PERMIT - AN APPROVED EROSION SEDIMENT CONTROL PLAN FOR ANY FILL/BORROW SITES ASSOCIATED  
WITH THIS PROJECT MUST BE SUBMITTED PRIOR TO THE ISSUANCE OF A LAND DISTURBING PERMIT

PLANS AND PERMITS - A COPY OF THE PLANS APPROVED BY THE CITY (SIGNED BY THE PROPER CITY OFFICIALS)  
AND ALL PERMITS ISSUED BY THE CITY SHALL BE AVAILABLE AT THE CONSTRUCTION SITE AT ALL TIMES OF ONGOING  
CONSTRUCTION.

LOCATION OF UTILITIES - THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO THE  
COMMENCEMENT OF ANY CONSTRUCTION.

CONSTRUCTION ENTRANCE - THE CONTRACTOR SHALL INSTALL AN ADEQUATE CONSTRUCTION ENTRANCE FOR ALL  
CONSTRUCTION RELATED EGRESS FROM THE SITE. SIZE AND COMPOSITION OF CONSTRUCTION ENTRANCE SHALL BE  
AS SHOWN ON PLANS.

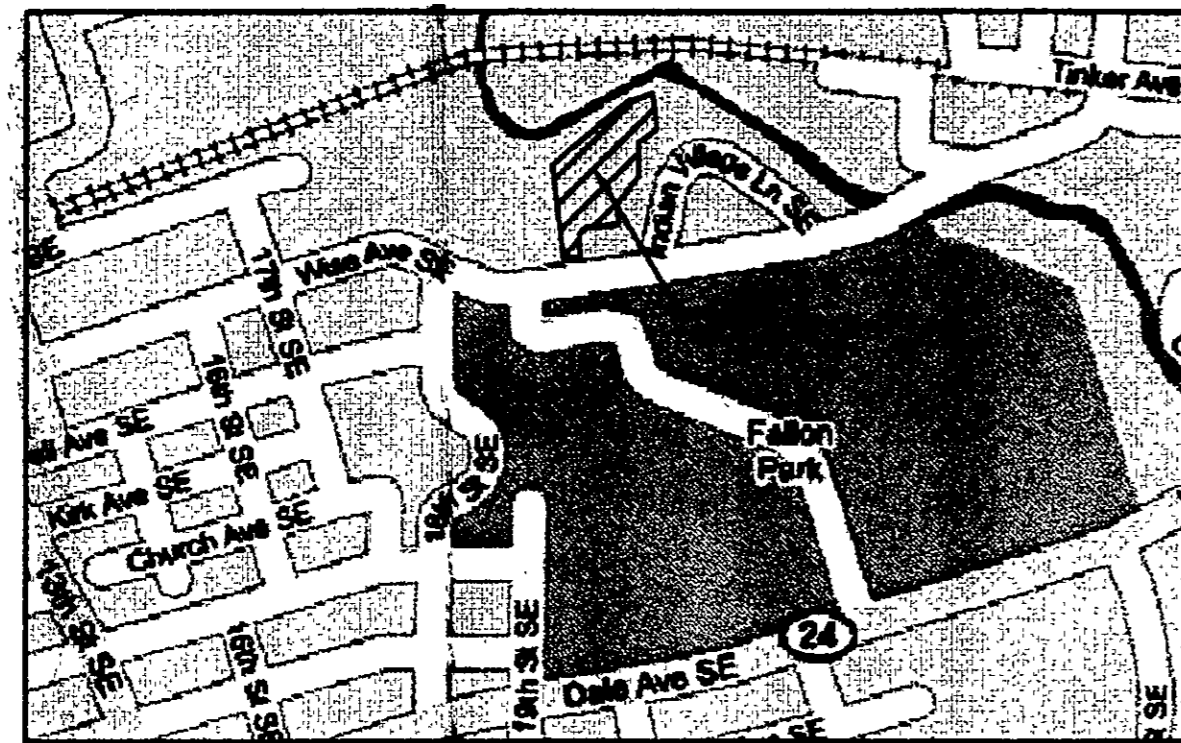
STREETS TO REMAIN CLEAN - IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO INSURE THAT THE PUBLIC  
STREET ADJACENT TO THE CONSTRUCTION ENTRANCE REMAINS FREE OF MUD, DIRT, DUST AND/OR ANY TYPE OF  
CONSTRUCTION MATERIALS OR LITTER AT ALL TIMES.

BARRICADES/DITCHES - THE CONTRACTOR SHALL MAINTAIN THE INTEGRITY OF ALL EXCAVATED DITCHES AND SHALL  
FURNISH AND ENSURE THAT ALL BARRICADES PROPER AND NECESSARY FOR THE SAFETY OF THE PUBLIC ARE IN  
PLACE.

SEWER AND PAVEMENT REPLACEMENT - CONSTRUCTION OF SANITARY SEWERS AND THE REPLACEMENT OF  
PAVEMENT SHALL BE IN ACCORDANCE WITH APPROVED STANDARDS AND SPECIFICATIONS OF THE CITY OF ROANOKE  
AND THE WESTERN VIRGINIA WATER AUTHORITY.

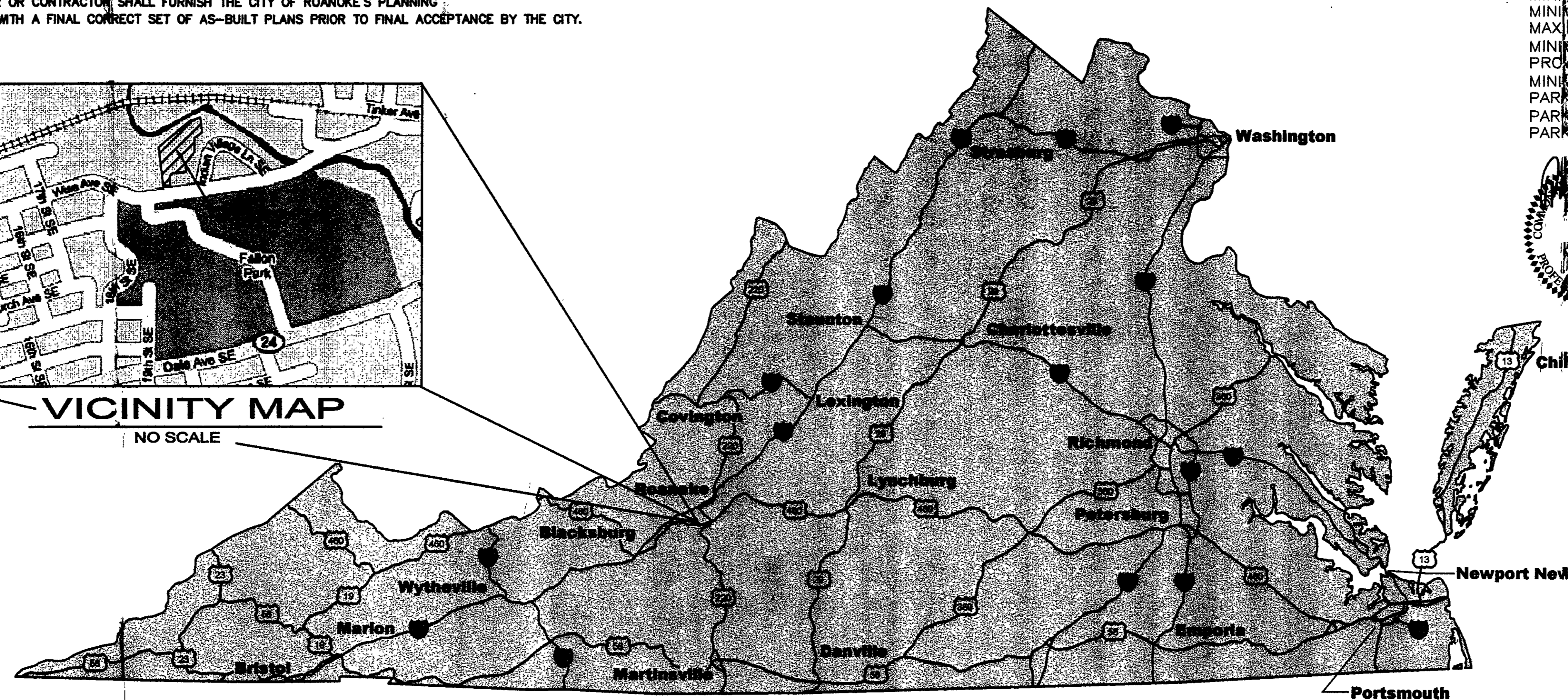
APPROVED PLANS/CONSTRUCTION CHANGES - ANY CHANGE OR VARIATION FROM CONSTRUCTION DESIGN AS  
SHOWN ON THE OFFICIALLY APPROVED PLANS SHALL BE APPROVED BY THE EROSION AND SEDIMENT CONTROL AGENT  
PRIOR TO SAID CHANGES OR VARIATION IN CONSTRUCTION BEING MADE.

FINAL ACCEPTANCE/CITY - THE DEVELOPER OR CONTRACTOR SHALL FURNISH THE CITY OF ROANOKE'S PLANNING  
BUILDING AND DEVELOPMENT DEPARTMENT WITH A FINAL CORRECT SET OF AS-BUILT PLANS PRIOR TO FINAL ACCEPTANCE BY THE CITY.



VICINITY MAP

NO SCALE



LOCATION MAP

NO SCALE

# INDIAN VILLAGE COMPREHENSIVE SITE PLAN

R.R.H.A PROJECT NO. 051003  
1916 WISE AVENUE, S.E., ROANOKE, VIRGINIA 24017  
FOR ROANOKE REDEVELOPMENT AND HOUSING AUTHORITY  
Tel: (540) 983-9281

Contact Persons: Roger Vest, Director of Facilities Operations  
Joel Shanks, Capital Improvements Director

LMW P.C.  
ENGINEERING - ARCHITECTURE - SURVEYING - LANDSCAPE DESIGN

102 ALBEMARLE AVE., S.E.  
ROANOKE, VA 24013  
PHONE: (540) 345-0675  
FAX: (540) 342-4456

CONTACT PERSON: RICHARD C. WHITE P.E.  
E-MAIL: [lmweng@lmw.roacoxmail.com](mailto:lmweng@lmw.roacoxmail.com)

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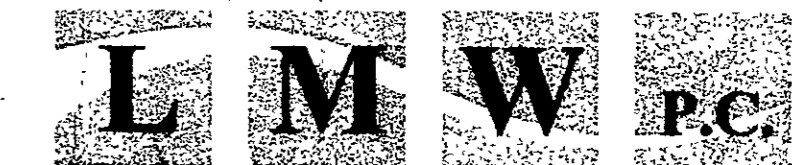
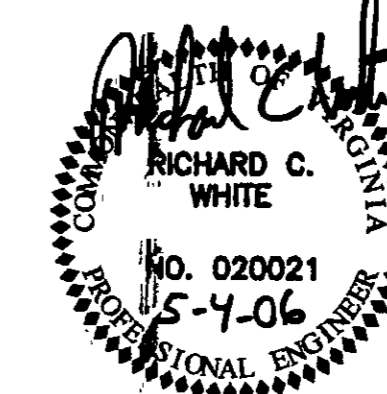
DEVELOPMENT PLAN APPROVED	
Agent, Planning Commission	<i>Brounser</i> 5/24/06
Development Engineer	<i>Carley Taylor</i> 5/26/06
Zoning Administrator	<i>Nancy C. Sanderson</i> 5/24/06
Any changes to this approved plan must be coordinated with the Agent to the Planning Commission and revisions approved prior to construction.	

IRC '2003 - R-5 USE GROUP (TOWNHOUSES) WITH 2HR FIRE-RATED SEPARATION WALLS VIRGINIA CONSTRUCTION CODE SECTION 310.3

APPEAL #11-06V-A VARIANCE GRANTED BY THE BZA TO ALLOW FOR A MAXIMUM FRONT YARD OF 250 FEET

ZONE RM-2, RESIDENTIAL MIXED-DENSITY DISTRICT UNITS ARE ALLOWED AS STATED IN SEC. 36.2-340 OF THE ROANOKE CITY ZONING ORDINANCE.

MINIMUM LOT AREA - 5,000 SQUARE FEET  
MAXIMUM LOT AREA - 25,000 SQUARE FEET  
MINIMUM LOT FRONTAGE - 50 FEET  
MAXIMUM LOT FRONTAGE - 150 FEET  
LOT FRONTAGE PROVIDED - 89.24'  
MINIMUM LOT DENSITY - 2,500 S.F./UNIT  
LOT DENSITY PROVIDED - 8,076 S.F./UNIT  
MAXIMUM IMPERVIOUS RATIO - 70%  
IMPERVIOUS SURFACE RATIO PROVIDED - 30%  
MAXIMUM/MINIMUM DEPTH OF FRONT YARD - 30/10 FEET  
MINIMUM SIDE YARD - COMBINED WIDTH OF 8' BUT NOT LESS THAN 4'  
MINIMUM REAR YARD FOR A PRINCIPAL STRUCTURE - 15 FEET  
MAXIMUM HEIGHT OF STRUCTURE - 45 FEET  
MINIMUM TREE CANOPY (10% OF DEVELOPED SITE) - 2,439 SF  
PROVIDED TREE CANOPY - 3,646 SF  
MINIMUM PARKING LOT TREE CANOPY (20% OF PARKING AREA) - 1,772 SF  
PARKING LOT TREE CANOPY PROVIDED - 2,078 SF  
PARKING REQUIRED = (24x1.5 SPACES/UNIT) = 36 SPACES  
PARKING PROVIDED = 49 REGULAR SPACES & 2 HANDICAPPED SPACES



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RECEIVED

MAY 05 2006

CITY OF ROANOKE  
PLANNING BUILDING AND DEVELOPMENT

INDIAN VILLAGE  
COMPREHENSIVE SITE PLAN  
COMM. NO. 2863V

DATE: AUG. 24, 2005

REVISOR: FEB. 9, 2006

REVISOR: MAY 4, 2006

SET NO.