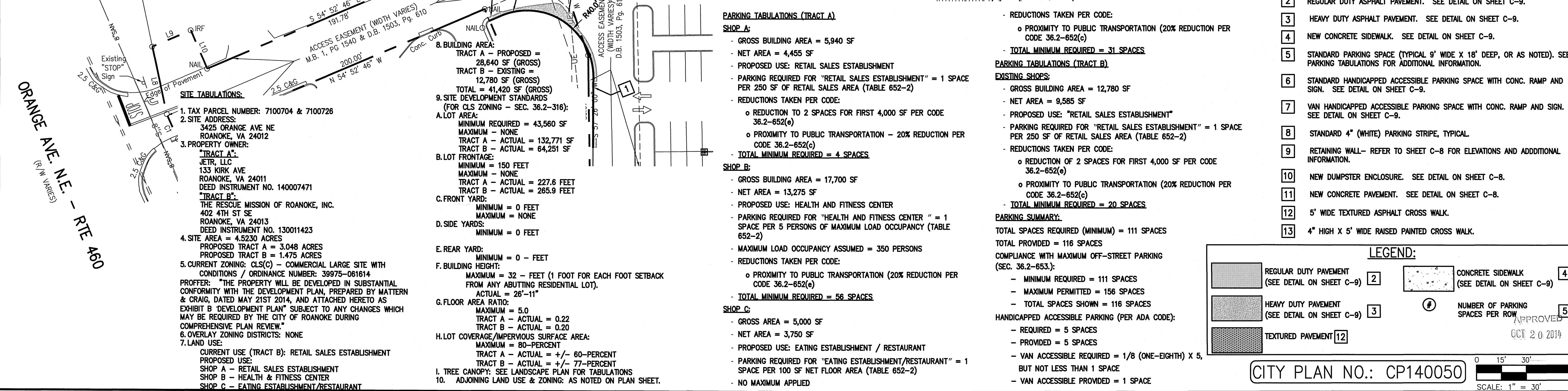
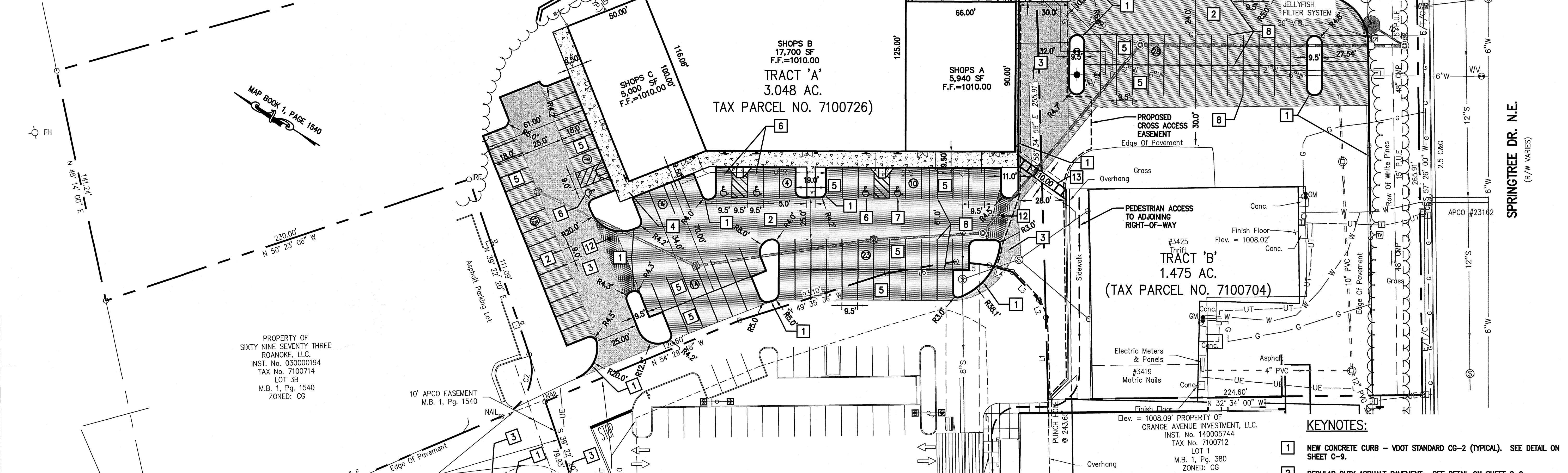


GENERAL NOTES:

- UNLESS OTHERWISE NOTED, ALL DIMENSIONS (LINEAR AND RADIAL) ARE TO FACE OF CURB (FC) OR EDGE OF PAVEMENT (EP).
- UNLESS OTHERWISE NOTED HEREON, ALL PARKING LOT AREA AND TRAVELWAYS SHALL BE PAVED WITH REGULAR DUTY PAVEMENT. REFER TO LEGEND AND SITE PLAN KEYNOTE FOR ADDITIONAL INFORMATION.
- IN ACCORDANCE WITH CITY OF ROANOKE ZONING ORDINANCE SECTION 36.2-654(e) AND TABLE 654-2, ALL PARKING SPACES SHOWN SHALL BE 9-FOOT WIDE X 18-FOOT DEEP (UNLESS OTHERWISE INDICATE AND WHERE PERMITTED BY CODE) AND SHALL BE DELINEATED WITH A 4-INCH WIDE PAINTED WHITE STRIPE AS SHOWN HEREON.
- OTHER THAN TRAFFIC CONTROL SIGNS, THE WORK OF THE PROJECT PROPOSES NO NEW SIGNS OR MODIFICATIONS TO EXISTING SIGNS.
- IN ACCORDANCE WITH CITY OF ROANOKE CODE SECTION SEC. 36.2-610 - UTILITIES - ALL UTILITY SERVICE LATERALS OR SERVICE LINES ASSOCIATED WITH A BASIC OR COMPREHENSIVE DEVELOPMENT PLAN SHALL BE LOCATED UNDERGROUND; HOWEVER, UTILITY SERVICE LATERALS OR SERVICE LINES MAY BE LOCATED ABOVEGROUND TO THE POINT OF CONNECTION WHEN ROUTED DIRECTLY TO THE REAR OF THE STRUCTURE BY WAY OF AN ALLEY OR UTILITY EASEMENT WHERE THERE ARE EXISTING OVERHEAD DISTRIBUTION LINES WHERE THERE ARE EXISTING OVERHEAD DISTRIBUTION LINES. ALL TRANSFORMERS REQUIRED TO SERVE A DEVELOPMENT AND LOCATED ON THE PROPERTY ASSOCIATED WITH A BASIC OR COMPREHENSIVE DEVELOPMENT PLAN MAY BE LOCATED ABOVEGROUND BUT SHALL BE SURFACE-MOUNTED ON PADS ON THE GROUND.
- ALL PARKING AND LOADING AREAS ARE BORDERED BY CONCRETE CURB AND/OR CURB & GUTTER PER CITY CODE SECTION 36.2-654(B)(3).
- A PORTION OF THE REQUIRED PARKING FOR "TRACT A" IS LOCATED ON "TRACT B". AN "OFF-SITE PARKING AGREEMENT" SHALL BE APPROVED AND RECORDED IN ACCORDANCE WITH ZONING ORDINANCE SEC. 36.2-652(g)(3).



PROPERTY OF CHRISTIAN VILLAGE OF WESTERN VIRGINIA
D.B. 1759, Pg. 702
TAX No. 7100701
TRACT 1A
M.B. 1, Pg. 1937
ZONED: RM-2

PROPERTY OF VERNICE LAW
INST. No. 060008676
TAX No. 7100705
ZONED: RM-2

PROPERTY OF SIXTY NINE SEVENTY THREE ROANOKE, LLC.
INST. No. 030000194
TAX No. 7100714
LOT 39
M.B. 1, Pg. 1540
ZONED: CG

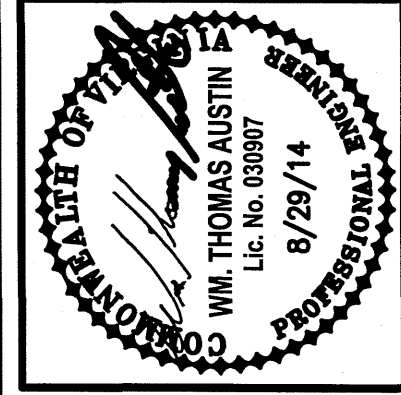
PROPERTY OF ORANGE AVENUE INVESTMENT, LLC.
INST. No. 140005744
TAX No. 7100712
LOT 1
M.B. 1, Pg. 380
ZONED: CG

PROPERTY OF JET, LLC
133 KIRK AVE
ROANOKE, VA 24011
DEED INSTRUMENT NO. 140007471
"TRACT A":
"TRACT B":
THE RESCUE MISSION OF ROANOKE, INC.
402 4TH ST SE
ROANOKE, VA 24013
DEED INSTRUMENT NO. 130011423

PROFFER: "THE PROPERTY WILL BE DEVELOPED IN SUBSTANTIAL CONFORMITY WITH THE DEVELOPMENT PLAN, PREPARED BY MATTERN & CRAIG, DATED MAY 21ST 2014, AND ATTACHED HERETO AS EXHIBIT B 'DEVELOPMENT PLAN' SUBJECT TO ANY CHANGES WHICH MAY BE REQUIRED BY THE CITY OF ROANOKE DURING COMPREHENSIVE PLAN REVIEW."

6. OVERLAY ZONING DISTRICTS: NONE

7. LAND USE:
CURRENT USE (TRACT B): RETAIL SALES ESTABLISHMENT
PROPOSED USE:
SHOP A - RETAIL SALES ESTABLISHMENT
SHOP B - HEALTH & FITNESS CENTER
SHOP C - EATING ESTABLISHMENT/RESTAURANT



Revisions	Date
1 CITY APPROVAL	10/10/14

Issue Date:	AUG. 29, 2014
Drawn By:	ARB
Designed By:	RRK/WTA
Checked By:	WTA
Date:	8/29/14

Mattern & Craig
CONSULTING ENGINEERS • SURVEYORS
701 FIRST STREET, S.W.
ROANOKE, VA 24016
(540) 345-5912
FAX (540) 345-7891

NY RIDGE MARKETPLACE - JET, LLC

SITE PLAN

CITY OF ROANOKE, VIRGINIA

Vertical Scale:
N/A

Horizontal Scale:
1" = 30'

Commission Number:
3425

Sheet No.:
C-3

- KEYNOTES:**
- NEW CONCRETE CURB - VDOT STANDARD CG-2 (TYPICAL). SEE DETAIL ON SHEET C-9.
 - REGULAR DUTY ASPHALT PAVEMENT. SEE DETAIL ON SHEET C-9.
 - HEAVY DUTY ASPHALT PAVEMENT. SEE DETAIL ON SHEET C-9.
 - STANDARD PARKING SPACE (TYPICAL 9' WIDE X 18' DEEP, OR AS NOTED). SEE PARKING TABULATIONS FOR ADDITIONAL INFORMATION.
 - STANDARD HANDICAPPED ACCESSIBLE PARKING SPACE WITH CONC. RAMP AND SIGN. SEE DETAIL ON SHEET C-9.
 - VAN HANDICAPPED ACCESSIBLE PARKING SPACE WITH CONC. RAMP AND SIGN. SEE DETAIL ON SHEET C-9.
 - STANDARD 4" (WHITE) PARKING STRIPE, TYPICAL.
 - RETAINING WALL- REFER TO SHEET C-8 FOR ELEVATIONS AND ADDITIONAL INFORMATION.
 - NEW DUMPSTER ENCLOSURE. SEE DETAIL ON SHEET C-8.
 - NEW CONCRETE PAVEMENT. SEE DETAIL ON SHEET C-8.
 - 5' WIDE TEXTURED ASPHALT CROSS WALK.
 - 4" HIGH X 5' WIDE RAISED PAINTED CROSS WALK.

LEGEND:

REGULAR DUTY PAVEMENT (SEE DETAIL ON SHEET C-9)	CONCRETE SIDEWALK (SEE DETAIL ON SHEET C-9)
HEAVY DUTY PAVEMENT (SEE DETAIL ON SHEET C-9)	NUMBER OF PARKING SPACES PER ROW
TEXTURED PAVEMENT	

APPROVED
OCT 20 2014

CITY PLAN NO.: CP140050

SCALE: 1" = 30'