

07163comp1-04.dwg

**SITE AND ZONING TABULATIONS**

CURRENT ZONING: R-1  
PROPOSED USE: SINGLE-FAMILY  
SITE AREA: 3,338 AC  
MINIMUM LOT AREA REQUIRED: 7,200 S.F.  
MINIMUM FRONT SETBACKS:  
FRONT: 30'  
REAR: 25' PRINCIPAL STRUCTURES, ACCESSORY STRUCTURES: 3'  
SIDE YARD: 10' PRINCIPAL STRUCTURES, ACCESSORY STRUCTURES: 10' BEHIND FRONT BUILDING LINE OF 3' BEHIND REAR BUILDING LINE.  
MAXIMUM HEIGHT ALLOWED: 45' FOR PRINCIPAL STRUCTURES, ACCESSORY STRUCTURES: 15', OR 25' PROVIDED THEY COMPLY WITH THE SETBACK REQUIREMENTS FOR THE PRINCIPAL STRUCTURE.  
MAXIMUM BUILDING COVERAGE: 30% FOR BUILDINGS 7% FOR ACCESSORY BUILDINGS.  
MAXIMUM LOT COVERAGE: 50%

**GENERAL NOTES**

- 1. THE PROPERTY SHOWN ON THESE PLANS IS LOCATED ON ROANOKE COUNTY TAX ASSESSMENT MAP NUMBERS 087.05-01-05.00-0000.  
OWNER/DEVELOPER: J.B. SMITH LLC (ATTN: J.B. SMITH)  
3130 McVITT ROAD, ROANOKE, VA. 24018 (540) 980-8928  
2. THE BOUNDARY IS THE DIRECT RESULT OF A FIELD SURVEY BY LUMSDEN ASSOCIATES, P.C., 2007. TOPOGRAPHY DATA BASED ON A FIELD SURVEY BY LUMSDEN ASSOCIATES, P.C. IN 2007.  
3. A TITLE REPORT WAS NOT FURNISHED FOR THIS PROPERTY.  
4. THE DEVELOPMENT SHOWN ON THESE PLANS SHALL BE SERVED BY WESTERN VIRGINIA WATER AUTHORITY WATER AND SANITARY SEWER.  
5. THE PROPERTY ON THESE PLANS SHALL BE ACCESSED BY PUBLIC ROADS.  
6. ANY PRIVATE SIGNS SHALL BE SET A MINIMUM OF 15 FEET OFF THE RIGHT OF WAY. A SEPARATE SIGN PERMIT WILL BE REQUIRED FOR ANY EXTERIOR SIGNAGE.  
7. NO CONSTRUCTION/FIELD REVISIONS ARE ALLOWED WITHOUT THE APPROVAL OF THE CONSULTING ENGINEER, ROANOKE COUNTY, THE WESTERN VIRGINIA WATER AUTHORITY AND/OR THE VIRGINIA DEPARTMENT OF TRANSPORTATION.  
8. ANY NEW ALIGNMENTS, CHANGES IN GRADES, ALTERNATE PIPE SIZES, MANHOLES, WILL REQUIRE A NEW SET OF PLANS STAMPED BY THE CONSULTING ENGINEER. COUNTY ENGINEERS WILL REVIEW PLANS WITHIN ONE DAY OF SUBMITTAL. PLAN SHEETS CAN BE 8.5 X 11 IF THE INFORMATION IS LEGIBLE AND WITHIN THE LIMITS OF THE APPROVED PLANS.  
9. NO SUBSURFACE SOIL INFORMATION HAS BEEN FURNISHED TO THE DESIGN ENGINEER.

**CONSTRUCTION NOTES**

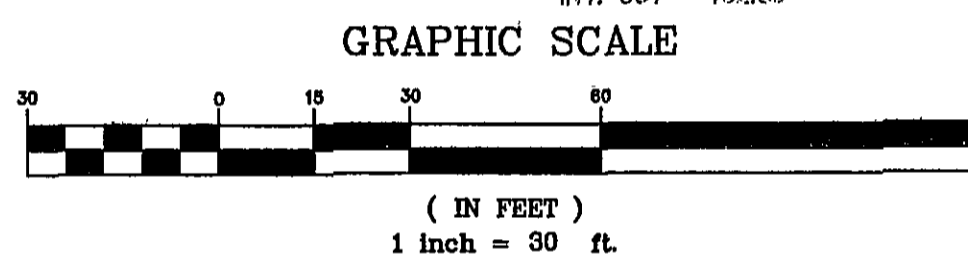
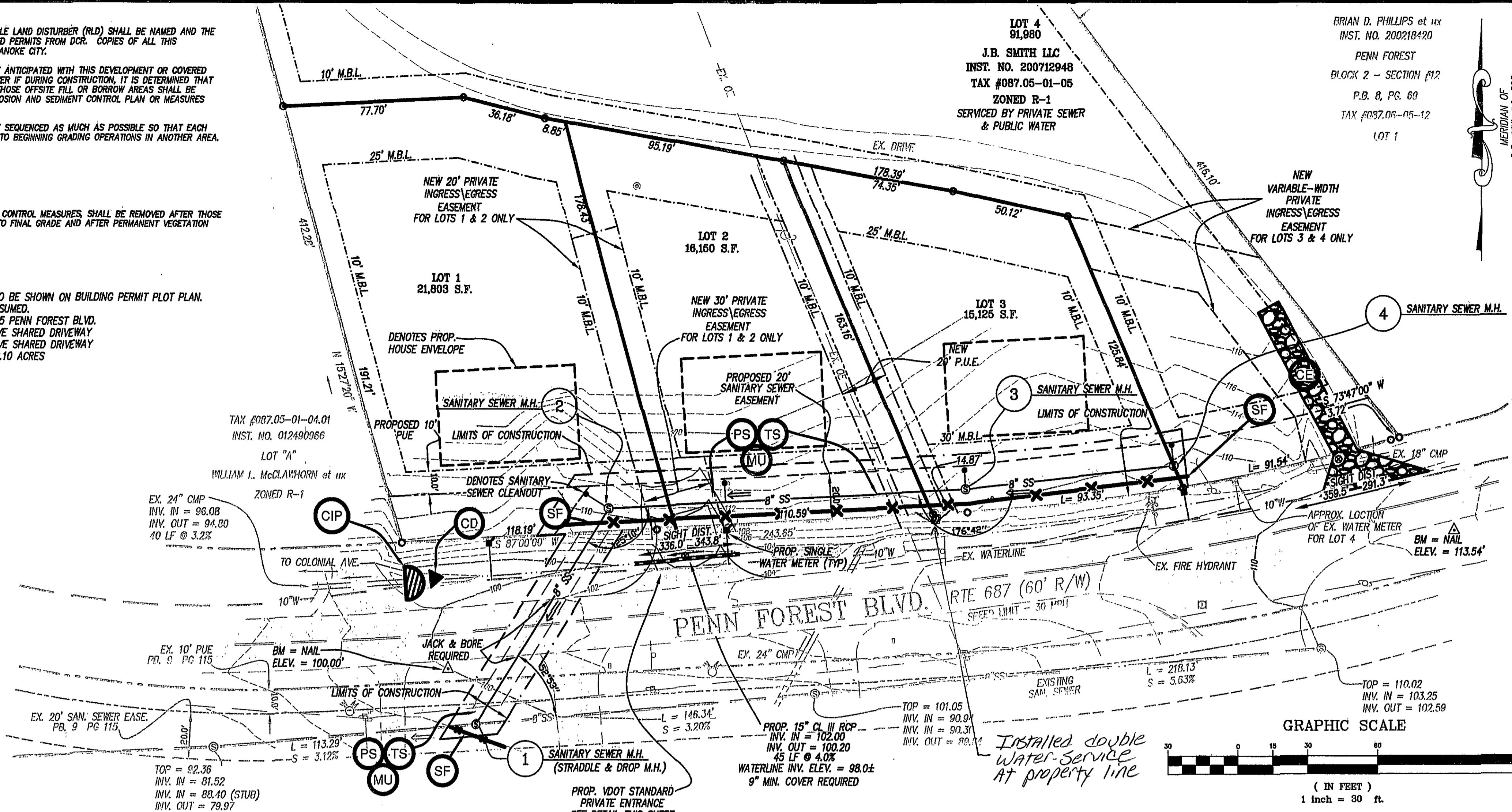
- 1. ALL CONSTRUCTION SHALL CONFORM TO THE CURRENT COUNTY OF ROANOKE STANDARDS AND SPECIFICATIONS AND THE CURRENT EDITION OF VDOT'S ROAD AND BRIDGE STANDARDS.  
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE OWNER AND THE ENGINEER OF ANY CHANGES OR CONDITIONS ATTACHED TO PERMITS OBTAINED FROM ANY AUTHORITY ISSUING PERMITS.  
3. THE CONTRACTOR SHALL VISIT THE SITE AND VERIFY EXISTING CONDITIONS PRIOR TO STARTING CONSTRUCTION.  
4. THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL EXISTING UTILITIES PRIOR TO STARTING CONSTRUCTION.  
5. ALL WATER CONNECTIONS TO EXISTING LINES SHALL BE COORDINATED WITH AND PERFORMED BY THE WESTERN VIRGINIA WATER AUTHORITY.  
6. ALL SANITARY SEWER CONNECTIONS TO EXISTING LINES SHALL BE PERFORMED BY THE CONTRACTOR WITH A WESTERN VIRGINIA WATER AUTHORITY INSPECTOR ON-SITE.  
7. SEE VDOT ROAD AND BRIDGE STANDARDS FOR CONCRETE CURBS AND STORM DRAINAGE DETAILS.  
8. THE CONTRACTOR AND OWNER SHALL PROVIDE A STORAGE CONTAINER FOR TEMPORARY STORAGE AND DISPOSAL OF LAND CLEARANCE DEBRIS AND BUILDING MATERIALS. ON-SITE BURIAL OF MATERIAL SHALL NOT BE PERMITTED.  
9. CONTRACTOR SHALL VERIFY LOCATION AND ELEVATION OF ALL UNDERGROUND UTILITIES SHOWN ON THE PLANS IN AREAS OF CONSTRUCTION PRIOR TO STARTING WORK BY CONTACTING MISS UTILITY. CONTACT SITE ENGINEER IMMEDIATELY IF LOCATION OR ELEVATION IS DIFFERENT FROM THAT SHOWN ON THE PLANS. IF THERE APPEARS TO BE A CONFLICT, AND UPON DISCOVERY OF ANY UTILITY NOT SHOWN ON THIS PLAN, CALL "MISS UTILITY" OF CENTRAL VIRGINIA AT 1-800-552-7001. REF. TICKET NO. B725400841

**CONSTRUCTION SEQUENCE**

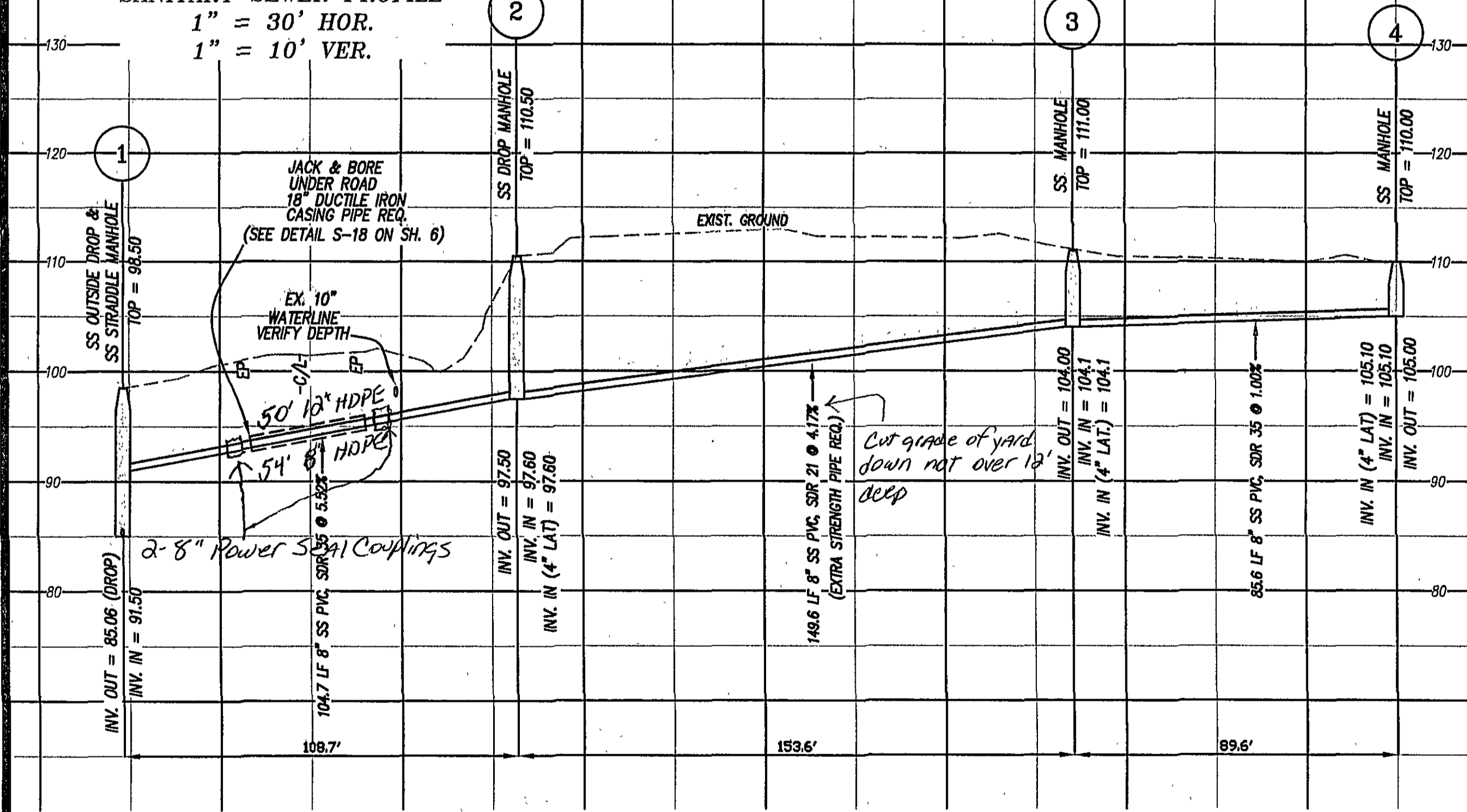
- 1. THE CONTRACTOR'S CERTIFIED RESPONSIBLE LAND DISTURBER (RLD) SHALL BE NAMED AND THE CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS FROM DCR. COPIES OF ALL THIS INFORMATION SHALL BE PROVIDED TO ROANOKE CITY.  
2. NO OFFSITE BORROW OR FILL AREAS ARE ANTICIPATED WITH THIS DEVELOPMENT OR COVERED WITH THESE DEVELOPMENT PLANS. HOWEVER IF DURING CONSTRUCTION, IT IS DETERMINED THAT THEY ARE REQUIRED, THE LOCATION OF THOSE OFFSITE FILL OR BORROW AREAS SHALL BE PROVIDED TO ROANOKE COUNTY. AN EROSION AND SEDIMENT CONTROL PLAN OR MEASURES MAY BE REQUIRED FOR THESE AREAS.  
3. THE CONSTRUCTION PROCESS SHOULD BE SEQUENCED AS MUCH AS POSSIBLE SO THAT EACH AREA IS SEEDED AND STABILIZED PRIOR TO BEGINNING GRADING OPERATIONS IN ANOTHER AREA.  
4. INSTALL PERIMETER ESC MEASURES.  
5. INSTALL INLET PROTECTION  
6. INSTALL THE ROCK CHECK DAMS  
7. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED AFTER THOSE AFFECTED AREAS HAVE BEEN BROUGHT TO FINAL GRADE AND AFTER PERMANENT VEGETATION HAS BEEN ESTABLISHED.

**NOTE:**

- 1. FINAL SITE GRADES TO BE SHOWN ON BUILDING PERMIT PLOT PLAN.  
2. ELEVATION DATUM ASSUMED.  
3. SITE ADDRESS IS 3405 PENN FOREST BLVD.  
4. LOTS 1 & 2 WILL HAVE SHARED DRIVEWAY  
5. LOTS 3 & 4 WILL HAVE SHARED DRIVEWAY  
6. DISTURBED AREA = 0.10 ACRES



**PROPOSED SANITARY SEWER PROFILE**



MINIMUM FLOOR ELEVATIONS FOR GRAVITY SANITARY SEWER SERVICE

LOT	TOP OF MAIN	CLEANOUT INVERT	FLOOR ELEVATION
1	97.28	97.53	100.9
2	98.96	99.20	102.0
3	103.75	104.00	106.8

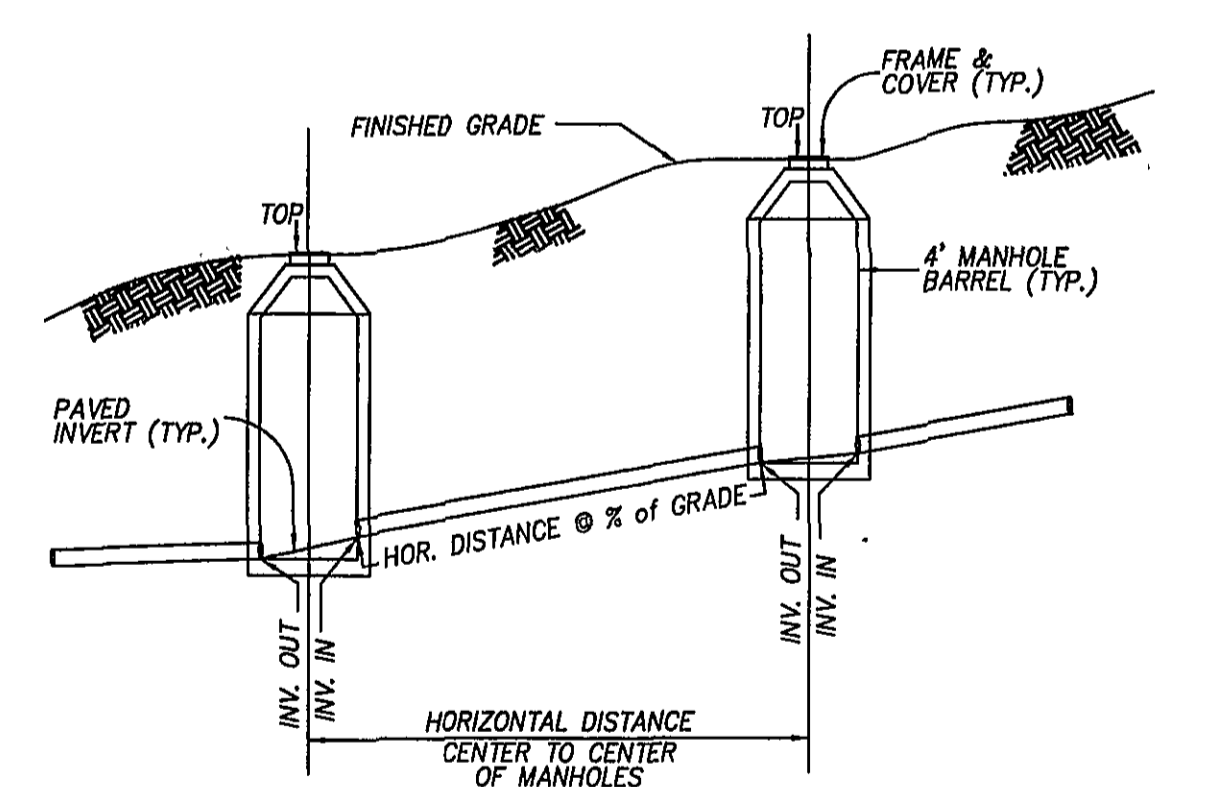
SANITARY SEWER MAIN BEARINGS AND DISTANCES

LINE	BEARING	DISTANCE
1 TO 2	N 32° 14' 33" E	108.66'
2 TO 3	N 87° 00' 00" E	153.55'
3 TO 4	N 83° 42' 24" W	89.85'

**CONTRACTOR SHALL PAY PARTICULAR ATTENTION TO THE FOLLOWING MINIMUM STANDARDS:**

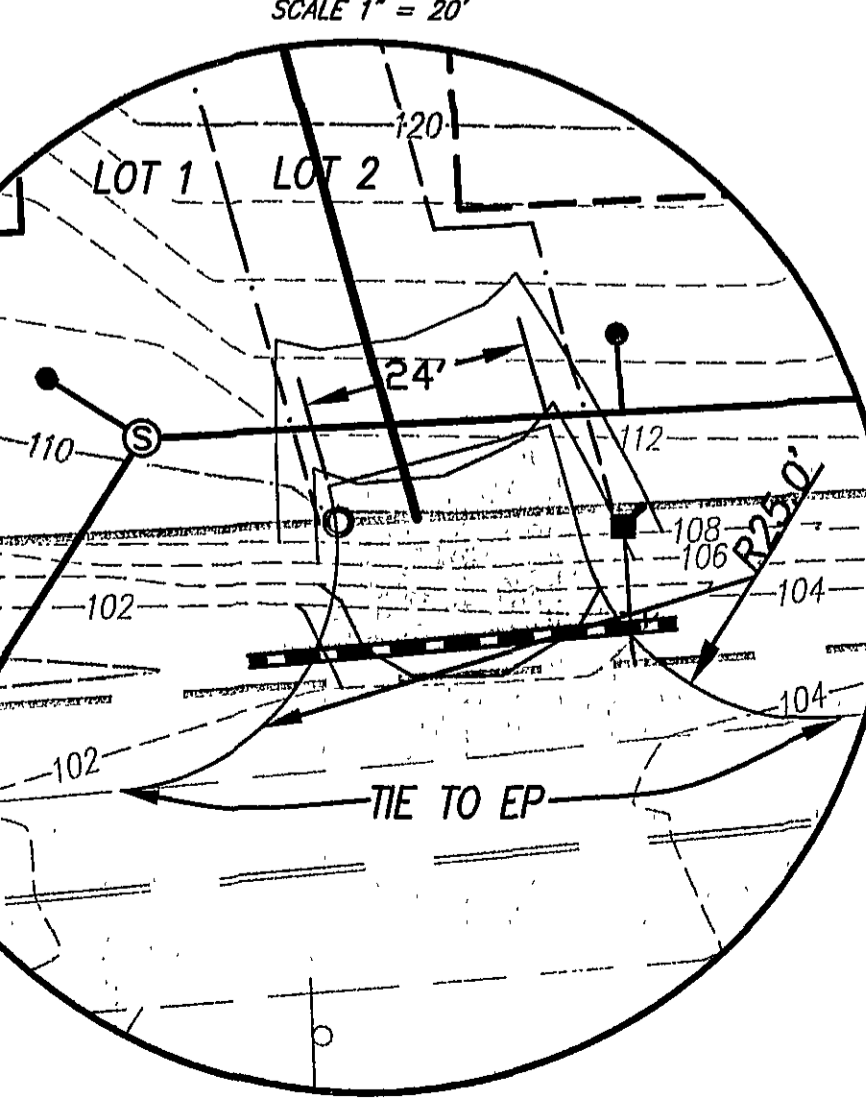
- MS-1: THOUGH TS / PS LABELS ARE SHOWN GENERALLY ON THE PLANS, THE CONTRACTOR SHALL SEED ALL AREAS NOT INDICATED TO BE OTHERWISE STABILIZED WITH PERMANENT SEED MIXTURE WITHIN 7 DAYS OF REACHING FINAL GRADE OR WITH TEMPORARY SEED MIXTURE ANY AREA YET TO REACH FINAL GRADE BUT THAT IS NOT PROPOSED TO BE ACTIVELY INVOLVED IN THE WORK WITHIN 30 DAYS. THESE SEED MIXTURES AND APPLICATION SPECIFICATIONS ARE SHOWN HEREON. THE CONTRACTOR SHALL HONOR THE CLEARING AND GRADING LIMITS SHOWN ON THE PLAN.  
MS-2: THE CONTRACTOR SHALL STABILIZE WITH TS AND PROTECT FROM EROSION, WITH ANY APPLICABLE METHOD, ALL STOCKPILES AND ANY ON-SITE OR OFF-SITE BORROW OR SPILL AREAS, AS APPLICABLE. APPROVAL OF THIS PLAN DOES NOT COVER OFF-SITE BORROW OR SPILL AREAS. PRIOR TO CONSTRUCTING ANY DISTURBING ACTIVITIES IN AREAS OTHER THAN INDICATED ON THESE PLANS (INCLUDING BUT NOT LIMITED TO, OFF-SITE BORROW OR WASTE AREAS), THE CONTRACTOR SHALL SUBMIT A SUPPLEMENTARY EROSION CONTROL PLAN FOR REVIEW AND APPROVAL BY THE PLAN APPROVING AUTHORITY.  
MS-3: WHERE TS/PS ARE NOT APPLICABLE PROVIDE OTHER MEANS OF STABILIZATION (CRS, ETC.) WITHIN 7 DAYS OF REACHING FINAL GRADE OR WITHIN 30 DAYS WHERE THE AREA IS YET TO REACH FINAL GRADE BUT IS NOT PROPOSED TO BE ACTIVELY INVOLVED IN THE WORK.  
MS-4: ALL SOIL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE PLACED IN ADVANCE OF THE WORK THEY ARE INTENDED TO PROTECT.  
MS-5: EARTHEN CONTROLS AND STRUCTURES SHALL BE STABILIZED IMMEDIATELY UPON INSTALLATION.  
NOT APPLICABLE; NO EARTHEN CONTROLS OR STRUCTURES ARE PROPOSED ON THIS PROJECT.  
MS-6: WHERE A SEDIMENT TRAP (3 ACRES OF DRAINAGE) OR SEDIMENT BASIN (3 ACRES OF DRAINAGE) ARE INDICATED CALCULATIONS SHOWN ARE BASED ON OUTLINED DRAINAGE AREAS. CONTRACTOR SHALL HONOR INDICATED DRAINAGE DIVIDES AND CONFORM TO VOLUMES, DETAILS, ETC. PROVIDED ON PLANS.  
NOT APPLICABLE; NO SEDIMENT TRAPS PROPOSED ON THIS PROJECT.  
MS-7: CARE HAS BEEN TAKEN IN DESIGN TO MINIMIZE DRAINAGE OVER SLOPES AND PROVIDE A SUITABLE PROTECTIVE STABILIZATION METHOD. CONTRACTOR SHALL PROTECT SLOPE AREAS DURING AND AFTER CONSTRUCTION FROM CONCENTRATED RUNOFF AND THE EROSION EFFECTS OF WIND AND RAIN. STABILIZE AS SOON AS IS PRACTICAL TO MINIMIZE EROSION.  
MS-8: WHERE CONCENTRATED RUNOFF HAS BEEN ROUTED DOWN SLOPES CARE HAS BEEN TAKEN TO DESIGN AN ADEQUATE CHANNEL OR DRAIN. CONTRACTOR SHALL INSTALL THESE MEASURES ALONG WITH THEIR STABILIZATION AS SOON AS PRACTICAL TO PROTECT SLOPE.  
NOT APPLICABLE; NO CHANNELS OR DRAINS ARE PROPOSED OVER SLOPES.  
MS-9: NOT APPLICABLE; SEEPAGE THROUGH SLOPES IS NOT ANTICIPATED TO BE ENCOUNTERED ON THIS PROJECT.  
MS-10: INLET OR CULVERT INLET PROTECTION IS PROPOSED FOR THE INLETS OF ALL STORM SEWERS OR CULVERTS ON-SITE. RLD SHALL INSURE PROPER INSTALLATION AND ASSURE ADEQUATE SIZING BASED ON DRAINAGE AREA OF EACH INLET.  
MS-11: RLD SHALL VERIFY THAT ADEQUATE CHANNEL LININGS AND PROPER OUTLET PROTECTION IS IN PLACE PRIOR TO OPERATION OF STORM SEWER SYSTEM.  
MS-12: WHEN WORKING IN AND AROUND A LIVE WATERCOURSE, THE CONTRACTOR SHALL TAKE GREAT CARE TO MINIMIZE IMPACT ON THE STREAM. ASSURE THAT PROPER PERMITS FROM DCR / COE ARE IN HAND PRIOR TO COMMENCING SUCH WORK.  
LIVE WATERCOURSE PROTECTION AND PERMITS ARE NOT APPLICABLE; NO LIVE WATERCOURSES EXIST WITHIN OR ADJACENT TO THIS PROJECT.  
MS-13: WHERE MORE THAN 2 TRIPS IN 6 MONTHS ARE EXPECTED ACROSS A LIVE WATERCOURSE OBTAIN THE NECESSARY PERMIT AND INSTALL A TEMPORARY STREAM CROSSING.  
STREAM CROSSING IS NOT APPLICABLE; NO LIVE WATERCOURSES EXIST WITHIN OR ADJACENT TO THIS PROJECT.  
MS-14: OTHER FEDERAL, STATE, AND LOCAL REGULATIONS MUST BE MET WHEN WORKING IN LIVE WATERCOURSES. REGULATIONS PERTAINING TO LIVE WATERCOURSES ARE NOT APPLICABLE; NO LIVE WATERCOURSES EXIST WITHIN OR ADJACENT TO THIS PROJECT.  
MS-15: THE BED AND BANKS OF DISTURBED WATERCOURSES MUST BE STABILIZED IMMEDIATELY. LIVE WATERCOURSE BED AND BANK STABILIZATION ARE NOT APPLICABLE; NO LIVE WATERCOURSES EXIST WITHIN OR ADJACENT TO THIS PROJECT.  
MS-16: REGARDING UTILITY INSTALLATIONS, NO MORE THAN 800 LF OF TRENCH MAY BE OPEN AT A GIVEN TIME. EXCAVATED MATERIAL SHALL BE PLACED ON UPHILL SIDE OF TRENCH. EFFLUENT OF ANY DETOURING SYSTEM USED MUST BE FILTERED. TRENCHES SHALL BE PROPER BACKFILLED AND COMPACTED PER DETAIL AND SPECS. COMPLETED INSTALLATION SHALL BE RE-STABILIZED IMMEDIATELY.  
MS-17: THE CONTRACTOR SHALL PROVIDE ADEQUATE MEANS OF CLEANING MUD FROM TRUCKS AND / OR OTHER EQUIPMENT PRIOR TO ENTERING PUBLIC STREETS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO INSURE THAT THE STREETS ARE IN A CLEAN, MUD AND DUST FREE CONDITION AT ALL TIMES.  
MS-18: SEE MAINTENANCE UNDER ESC NARRATIVE FOR REMOVAL OF TEMPORARY MEASURE.  
INCLUDE IN MAINTENANCE SCHEDULE THAT RLD SHALL OBSERVE OFF-SITE RECEIVING CHANNEL REGULARLY AND CORRECT ANY PROBLEMS (EVEN DOWNSTREAM).

MS-18: INCREASES IN STORMWATER VOLUME, VELOCITY, AND PEAK RUNOFF HAVE BEEN ADDRESSED IN THE PLAN PER CALCULATIONS SUBMITTED FOR REVIEW. RESPONSIBLE LAND DISTURBER SHALL PAY PARTICULAR ATTENTION TO OFF-SITE AREAS CONTRIBUTING RUNOFF TO THE SITE. OFF-SITE LOCATIONS RECEIVING RUNOFF FROM THIS PROJECT, AND PROPER OPERATION OF STORMWATER MANAGEMENT PRACTICES ON-SITE. ALL DITCHES, SWALES, AND NATURAL WATERCOURSES DOWNSTREAM OF THIS PROJECT SHALL BE FIELD INSPECTED DURING AND AFTER CONSTRUCTION BY THE RLD TO ENSURE COMPLIANCE WITH DCR'S MS-18. IF EROSION OR SCOUR IS OCCURRING THE DEVELOPER SHALL BE RESPONSIBLE FOR ALL CORRECTIVE MEASURES.



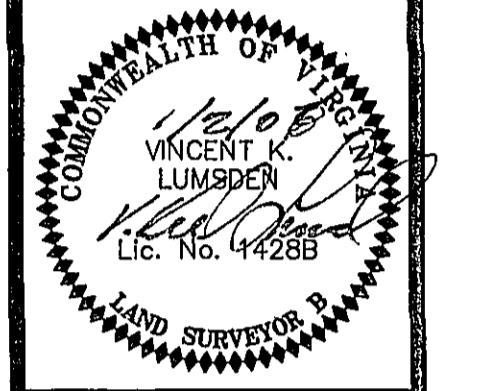
**SANITARY SEWER HORIZONTAL AND SLOPE DISTANCE DETAIL**  
NO SCALE

**LOT 1 AND 2 PRIVATE DRIVEWAY DETAIL**



ENTRANCE TO BE CONSTRUCTED IN ACCORDANCE WITH VDOT STANDARD PRIVATE STREET ENTRANCE.

**LUMSDEN ASSOCIATES, P.C.**  
ENGINEERS-SURVEYORS-PLANNERS  
ROANOKE, VIRGINIA  
BRIAN D. PHILLIPS et ux  
INST. NO. 200218420  
PENN FOREST  
BLOCK 2 - SECTION #12  
P.B. 8, PG. 69  
TAX #087.05-01-05  
ZONED R-1  
SERVICED BY PRIVATE SEWER & PUBLIC WATER  
LOT 1  
MERRIDIAN OF D.B. 673, PG. 598



**SANITARY SEWER PLAN & PROFILE**

**DEVELOPMENT PLAN**  
FOR  
**J. B. SMITH, LLC**  
SITUATED ALONG PENN FOREST BLVD.  
CAVE SPRING MAGISTERIAL DISTRICT  
ROANOKE COUNTY, VIRGINIA

REVISIONS

NO.	DATE	DESCRIPTION
1		
2		
3		
4		
5		

DATE: January 2, 2008  
SCALE: 1" = 30'  
COMMISSION NO: 07-163  
SHEET 4 OF 6

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