

OWNER/DEVELOPER: KOEDA AKIO
3503 FRANKLIN RD, SW
ROANOKE, VA 24014
(540) 981-0222
FAX: (540) 342-0408

2. TAX PARCEL NUMBER: TAX PARCEL 550-0101 INST. NO. N/F 010003689
TAX PARCEL 550-0119 INST. NO. N/F 010003097
ZONING DISTRICT: CG, COMMERCIAL-GENERAL DISTRICT
SETBACKS:
MINIMUM FRONT YARD: 10'
MAXIMUM FRONT YARD: 2.53 AC.)
MINIMUM SIDE YARD: NONE
MINIMUM REAR YARD: 30'

3. THIS PLAN IS NOT TO BE CONSIDERED A BOUNDARY SURVEY. THE TOPOGRAPHY DEPICTED HEREON IS THE RESULT OF AN ACTUAL FIELD SURVEY CONDUCTED BY GAY AND NEEL, INC. ON 30 MARCH 2007.

4. AREAS:
TOTAL PROJECT/PARCEL AREA: 110,304 S.F. (2.53 AC.)
TOTAL DISTURBED AREA: 74,405 S.F. (1.71 AC.)
TOTAL BUILDING AREA:
EXISTING OFFICE: 4,858 S.F. (0.11 AC.)
EXISTING KAKUBI: 7,076 S.F. (0.16 AC.)
NEW ADDITION: 4,870 S.F. (0.11 AC.)
TOTAL: 16,804 S.F. (0.39 AC.)
FLOOR AREA RATIO: 0.15
MAXIMUM BUILDING HEIGHT: NONE
PROPOSED BUILDING HEIGHT: LESS THAN 35'
PROPOSED IMPERVIOUS AREA: 74,450 S.F. (1.71 AC.)
EXISTING IMPERVIOUS AREA: 74,568 S.F. (1.72 AC.)
EXISTING PERCENT IMPERVIOUS: 67%
PROPOSED PERCENT IMPERVIOUS: 68%

5. PARKING SPACES SHALL BE DELINEATED BY 4" STRIPING.

6. DISTANCES AND RADII REFERRED TO ARE TO THE EDGE OF PAVEMENT, OR FACE OF CURB, UNLESS OTHERWISE NOTED.

7. ALL SIDEWALKS ARE TO BE FLUSH WITH ADJACENT GRASSES, UNLESS OTHERWISE NOTED.

8. CONTRACTOR SHALL CALL "MISS UTILITY" AT 1-800-552-7001 AT LEAST 48 HOURS PRIOR TO ANY EARTHWORK BEGINNING.

9. A PRE-CONSTRUCTION MEETING WITH THE CITY WILL BE HELD PRIOR TO CONSTRUCTION.

10. CONTRACTOR SHALL VERIFY BUILDING DIMENSIONS WITH ARCHITECTURAL PLANS, PRIOR TO STAKING BUILDING.

11. WATER METER, METER BOX, BOX TAP, TAP INTO EXISTING WATERLINE, AND TAP INTO EXISTING SEWER LINE SHALL BE DONE BY WESTERN VIRGINIA WATER AUTHORITY PERSONNEL AT OWNER'S EXPENSE. CONTRACTOR SHALL COORDINATE INSTALLATIONS AND REQUIRED LOCATIONS.

12. IT IS THE CONTRACTOR'S RESPONSIBILITY TO MEET COMPLIANCE REQUIREMENTS WITH SECTION 59.1-408, ET SEQ. OF THE CODE OF VIRGINIA (OVERHEAD HIGH VOLTAGE LINE SAFETY ACT).

13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS BEFORE BEGINNING CONSTRUCTION.

14. ALL CONSTRUCTION WILL BE IN ACCORDANCE WITH CITY OF ROANOKE STANDARDS AND SPECIFICATIONS.

15. UNLESS SHOWN OR SPECIFIED OTHERWISE, METHODS AND MATERIALS SHALL BE IN ACCORDANCE WITH VDOT ROAD AND BRIDGE STANDARDS, LATEST EDITION.

16. CONTRACTOR SHALL COORDINATE INSTALLATION OF PERMANENT ELECTRICAL SERVICE, TELEPHONE SERVICE, GAS SERVICE, AND CABLE TV.

17. WATER METER, METER BOX, BOX TAP, TAP INTO EXISTING WATERLINE, AND TAP INTO EXISTING SEWER LINE SHALL BE PERFORMED BY WESTERN VIRGINIA WATER AUTHORITY PERSONNEL AT OWNER'S EXPENSE. CONTRACTOR SHALL COORDINATE INSTALLATIONS AND REQUIRED LOCATIONS.

18. ALL UTILITIES WILL BE VISUALLY INSPECTED BY THE CITY AND/OR WESTERN VIRGINIA WATER AUTHORITY INSPECTOR PRIOR TO BACKFILLING THE TRENCHES, INCLUDING ALL UTILITY CROSSINGS.

19. ALL PUBLIC UTILITIES SHALL BE WITHIN DEDICATED RIGHTS-OF-WAY OR EASEMENTS.

20. BACKFLOW PREVENTORS TO BE PROVIDED AS REQUIRED BY CITY OF ROANOKE CROSS-CONNECTION PROGRAM.

21. CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIR OF ANY UTILITIES DAMAGED AS A RESULT OF CONSTRUCTION ACTIVITIES. VERIFY LOCATION OF ALL EXISTING UTILITIES PRIOR TO BEGINNING WORK.

22. OUTDOOR LIGHTING CONTROLS SHALL BE ARRANGED AND INSTALLED, AND THE LIGHT SOURCE SHIELDED, TO ELIMINATE GLARE ON ADJACENT PROPERTY AND ON ANY PUBLIC RIGHT-OF-WAY IN COMPLIANCE WITH THE CITY OF ROANOKE ZONING ORDINANCE. ALL PROPOSED LIGHTING SHALL BE MOUNTED ON 14 FT. POLES.

23. ALL UTILITIES SHALL BE UNDERGROUND INSTALLATION.

24. THE SUBJECT PROPERTY IS NOT LOCATED WITHIN A F.E.M.A. DESIGNATED 100-YEAR FLOOD ZONE. THE SUBJECT PROPERTY LIES WITHIN ZONE "X" AS SHOWN ON F.E.M.A. MAP NO. 51161C0040, EFFECTIVE DATE OF OCTOBER 15, 1993. THIS DETERMINATION HAS BEEN MADE BY GRAPHIC METHODS ONLY. NO ELEVATION STUDY HAS BEEN PERFORMED AS A PART OF THIS PROJECT.

25. PAVEMENT WORK WITHIN THE RIGHT-OF-WAY REQUIRES THE FOLLOWING INSPECTIONS:
A. SUBGRADE PRIOR TO PLACEMENT OF BASE STONE
B. BASE STONE PRIOR TO PLACEMENT OF PAVEMENT
C. PAVEMENT

26. THE MINIMUM REQUIRED DENSITY FOR ALL COMPACTION SHALL BE 95% OF MAXIMUM DRY DENSITY WITH A MOISTURE CONTENT WITHIN ±2% OF THE OPTIMUM.

27. RIGHT-OF-WAY, LOT LINES AND EASEMENTS ARE DEDICATED ON PLATS SEPARATE FROM THESE PLANS.

28. OWNER RESPONSIBLE FOR OBTAINING AN APPROVED EAS/STORM WATER POLLUTION PREVENTION PLAN FOR ANY OFFSITE GRADING AND FOR OBTAINING AN APPROVED EROSION AND SEDIMENT CONTROL PLAN AND STORM WATER POLLUTION PREVENTION PLAN BEFORE OFFSITE GRADING CAN BEGIN.

29. CONSTRUCTION TO BE DEDICATED TO THE CITY SHALL ADHERE TO CITY'S SPECIFICATIONS, AND SHALL BE INSPECTED BY THE CITY PRIOR TO ACCEPTANCE.

30. MINIMUM PARKING AREA PAVEMENT SHALL BE 2" VDOT S-9.5A SURFACE COURSE OVER VDOT 21-B STONE BASE OVER COMPACTED SUBGRADE. DEPTH OF 21-B STONE SHALL BE DETERMINED THROUGH CBR TESTING, 8-INCH MINIMUM.

31. ALL DUMPSITES SHALL BE SCREENED FROM VIEW OF PUBLIC STREETS.

1. ALL TREE AND GROUND COVER PLANTING, SEEDING OR GRASSES, AND TREE STAKING SHALL BE IN ACCORDANCE WITH THE STANDARDIZED LANDSCAPE SPECIFICATIONS AS JOINTLY ADOPTED BY THE VIRGINIA CHAPTER OF THE AMERICAN SOCIETY OF LANDSCAPE ARCHITECTS, THE VIRGINIA SOCIETY OF LANDSCAPE DESIGNERS AND THE VIRGINIA NURSERYMEN'S ASSOCIATION.
2. HANDLING AND STORAGE OF ALL PLANT MATERIALS ON THE CONSTRUCTION SITE SHALL BE CONDUCTED IN ACCORDANCE WITH THE AMERICAN STANDARD FOR NURSERY STOCK AND THE ABOVE LISTED SPECIFICATIONS.
3. ALL SEEDING AND PLANTING SHALL BE DONE BETWEEN AUGUST 15 AND OCTOBER 15, OR ALTERNATELY BETWEEN MARCH 15 AND MAY 15. SEEDING OR PLANTING AT OTHER DATES WILL BE SUBJECT TO APPROVAL BY THE LANDSCAPE ARCHITECT AND MAY REQUIRE SPECIAL PROCEDURES.
4. ALL DISTURBED AREAS NOT OTHERWISE TREATED, ARE TO BE CUT TURF SEEDS AS SPECIFIED ABOVE.
5. TREES DEPICTED HEREON ARE SHOWN WITH 20-YEAR CANOPY SPREAD.
6. ALL TREE ISLANDS AND PLANTING STRIPS INTERIOR TO THE PARKING LOTS SHALL BE EDGED BY CURB.
7. DESIGNATED AREA TO BE SEEDDED WITH A LOW MAINTENANCE SLOPE MIXTURE CONSISTING OF AND APPLIED AT THE FOLLOWING RATE PER ACRE:
 - KENTUCKY 31 FESCUE 100 LBS
 - RED TOP GRASS 2 LBS
 - SEASONAL NURSE CROP 30 LBS
 - CROWNWETH (INOCULATED) 20 LBS
8. DESIGNATED EXISTING TREES TO BE PROTECTED BY PLASTIC FENCING INSTALLED AT A DISTANCE IN FEET FROM DRIP LINE EQUAL TO OR GREATER THAN THE DIAMETER OF THE TREE TRUNK IN INCHES AT BREAST HEIGHT.
9. ANY AND ALL MECHANICAL EQUIPMENT SHALL BE SCREENED WITH JAPANESE PRIVET.

2. DATE APPROVED

	Date
Agent, Planning Commission	<i>[Signature]</i> 3/10/08
Development Engineer	<i>Penneth E. Richardson</i> 3/10/08
Zoning Administrator	<i>Nancy C. Sutogress</i> 3/10/2008

Any changes to this approved plan must be coordinated with the Agent to the Planning Commission and revisions approved prior to construction.

<u>SHEET</u>	<u>TITLE</u>
1 OF 13	COVER SHEET
2 OF 13	EXISTING CONDITIONS
3 OF 13	DEMOLITION PLAN
4 OF 13	PROPOSED SITE CONDITIONS
5 OF 13	GRADING & UTILITY PLAN
6 OF 13	GRADING & UTILITY PLAN
7 OF 13	EROSION & SEDIMENT CONTROL PLAN
8 OF 13	PARKING, LANDSCAPING, & LIGHTING PLAN
9 OF 13	WATERLINE PROFILE
10 OF 13	EROSION & SEDIMENT CONTROL DETAIL
11 OF 13	GENERAL DETAILS
12 OF 13	CITY OF ROANOKE AND WESTERN VIRGINIA WATER AUTHORITY WATER DETAILS
13 OF 13	WESTERN VIRGINIA WATER AUTHORITY SEWER AND GENERAL DETAILS

ES-1: UNLESS OTHERWISE INDICATED, ALL VEGETATIVE AND STRUCTURAL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE CONSTRUCTED AND MAINTAINED ACCORDING TO MINIMUM STANDARDS AND SPECIFICATIONS OF THE VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK AND THE FEDERAL EROSION CONTROL ACT OF 1972-00 EROSION AND SEDIMENT CONTROL REGULATIONS, WITH MOST PARTICULAR ATTENTION BEING PAID TO THE FOLLOWING MINIMUM STANDARDS:

MS-1: PERMANENT OR TEMPORARY SOIL STABILIZATION SHALL BE APPLIED TO DENUDED AREAS WITHIN SEVEN DAYS AFTER FINAL GRADE IS REACHED ON ANY PORTION OF THE SITE. TEMPORARY SOIL STABILIZATION SHALL BE APPLIED WITHIN SEVEN DAYS TO DENUDED AREAS THAT MAY BE LEFT AT GRADE FOR MORE THAN ONE YEAR. PERMANENT STABILIZATION (UNDISTURBED) FOR LONGER THAN 30 DAYS. PERMANENT STABILIZATION SHALL BE APPLIED TO AREAS THAT ARE TO BE LEFT DORMANT FOR MORE THAN ONE YEAR.

MS-2: DURING CONSTRUCTION OF THE PROJECT, SOIL STOCKPILES SHALL BE STABILIZED OR PROTECTED WITH SEDIMENT TRAPPING MEASURES. THE APPLICANT IS RESPONSIBLE FOR THE TEMPORARY PROTECTION AND PERMANENT STABILIZATION OF ALL SOIL STOCKPILES ON SITE AS WELL AS SOIL INTENTIONALLY TRANSPORTED FROM THE PROJECT SITE.

A PERMANENT VEGETATIVE COVER SHALL BE ESTABLISHED ON DENUDED AREAS NOT OTHERWISE PERMANENTLY STABILIZED. PERMANENT VEGETATION SHALL NOT BE CONSIDERED ESTABLISHED UNTIL A GROUND COVER IS OBSERVED THAT IS UNIFORM, MATURE ENOUGH TO SURVIVE, AND WILL INHIBIT EROSION.

MS-4: SEDIMENT BASINS AND TRAPS, PERIMETER DIKES, SEDIMENT BARRIERS, AND OTHER STRUCTURES INTENDED TO TRAP SEDIMENT SHALL BE CONSTRUCTED AS A FIRST STEP IN ANY LAND DISTURBING ACTIVITY, AND SHALL BE MADE FUNCTIONAL BEFORE UPOUSLOPE LAND DISTURBANCE TAKES PLACE.

MS-16: UNDERGROUND UTILITY LINES SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING STANDARDS IN ADDITION TO OTHER APPLICABLE CRITERIA:

- A. NO MORE THAN 500 LINEAR FEET OF TRENCH MAY BE OPENED AT ONE TIME.
- B. EXCAVATED MATERIAL SHALL BE REMOVED FROM THE SITE IMMEDIATELY.
- C. EFFLUENT FROM DEWATERING OPERATIONS SHALL BE FILTERED OR PASSED THROUGH AN APPROVED SEDIMENT TRAPPING DEVICE, OR BOTH, AND DISCHARGED IN A MANNER THAT DOES NOT ADVERSELY AFFECT FLOWING STREAMS OR OFF-SITE PROPERTY.
- D. MATERIAL USED FOR BACKFILLING TRENCHES SHALL BE PROPERLY COMPACTED IN ORDER TO MINIMIZE EROSION AND PROMOTE STABILIZATION.
- E. RESTABILIZATION SHALL BE ACCOMPLISHED IN ACCORDANCE WITH THESE REGULATIONS.
- F. APPLICABLE SAFETY REGULATIONS SHALL BE COMPLIED WITH.

MS-17: WHERE CONSTRUCTION VEHICLE ACCESS ROUTES INTERSECT PAVED PUBLIC ROADS, PROVISIONS SHALL BE MADE TO MINIMIZE THE TRANSPORT OF SEDIMENT BY VEHICULAR TRACKING ONTO THE PAVED SURFACE. WHERE SEDIMENT IS TRANSPORTED ONTO A PUBLIC ROAD SURFACE, THE ROAD SHALL BE CLEANED THOROUGHLY AT THE END OF EACH DAY. SEDIMENT SHALL BE REMOVED FROM THE ROAD SURFACE BY WASHING AND TRANSPORTED TO A SEDIMENT CONTROL DISPOSAL AREA. STREET WASHING SHALL BE ALLOWED ONLY AFTER SEDIMENT IS REMOVED IN THIS MANNER. THIS PROVISION SHALL APPLY TO INDIVIDUAL SUBDIVISION LOTS AS WELL AS TO LARGER LAND-DISTURBING ACTIVITIES.

ES-2: THE PLAN APPROVING AUTHORITY MUST BE NOTIFIED ONE WEEK PRIOR TO THE PRE-CONSTRUCTION CONFERENCE, ONE WEEK PRIOR TO THE COMMENCEMENT OF LAND DISTURBING ACTIVITY, AND ONE WEEK PRIOR TO THE FINAL INSPECTION.

ES-3: ALL EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE PLACED PRIOR TO OR AS THE FIRST STEP IN CLEARING.

ES-4: A COPY OF THE APPROVED EROSION AND SEDIMENT CONTROL PLAN SHALL BE MAINTAINED ON THE SITE AT ALL TIMES.

ES-5: PRIOR TO COMMENCING LAND DISTURBING ACTIVITIES IN AREAS OTHER THAN INDICATED ON THESE PLANS (INCLUDING, BUT NOT LIMITED TO, OFF-SITE BORROW OR WASTE AREAS), THE CONTRACTOR SHALL SUBMIT A SUPPLEMENTARY EROSION CONTROL PLAN TO THE OWNER FOR REVIEW AND APPROVAL BY THE PLAN APPROVING AUTHORITY.

ES-6: THE CONTRACTOR IS RESPONSIBLE FOR INSTALLATION OF ANY ADDITIONAL EROSION CONTROL MEASURES NECESSARY TO PREVENT EROSION AND SEDIMENTATION AS DETERMINED BY THE PLAN APPROVING AUTHORITY.

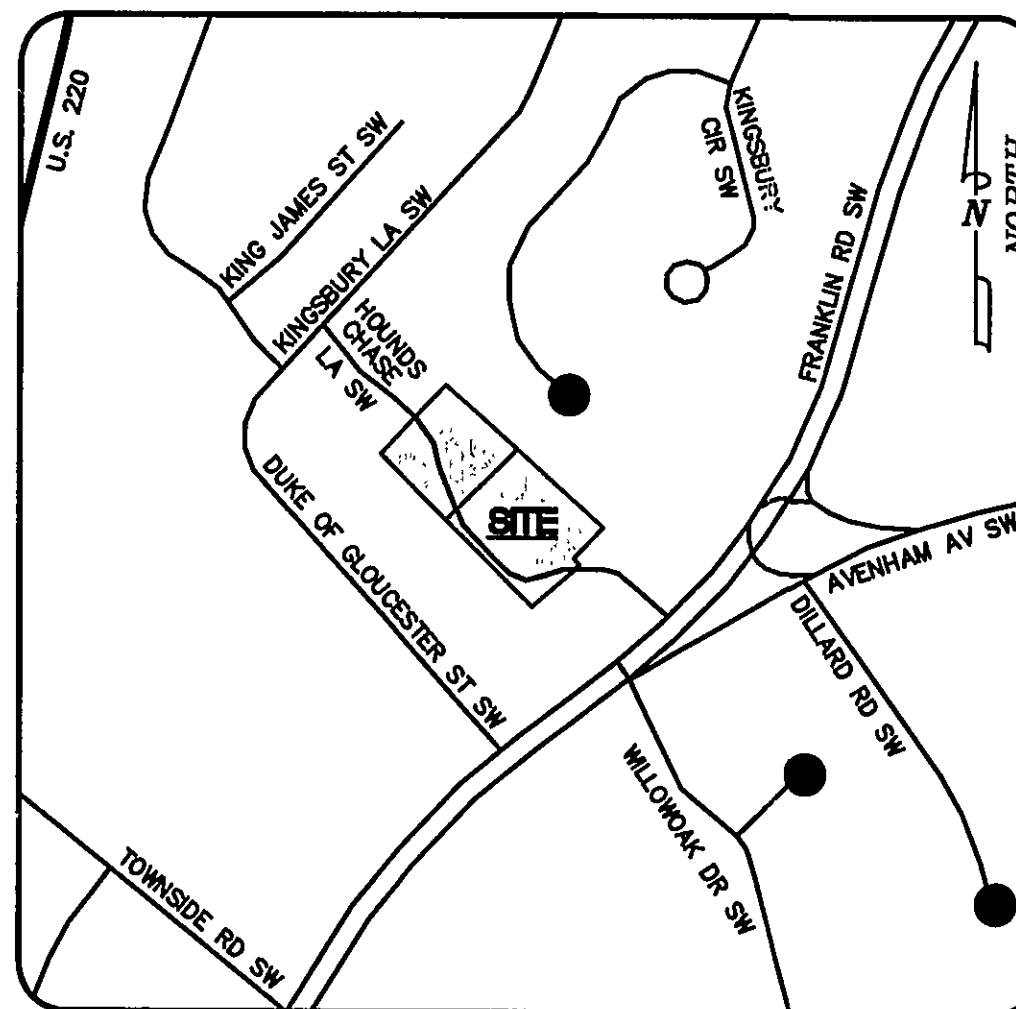
ES-7: ALL DISTURBED AREAS ARE TO DRAIN TO APPROVED SEDIMENT CONTROL MEASURES AT ALL TIMES DURING LAND DISTURBING ACTIVITIES AND DURING SITE DEVELOPMENT UNTIL FINAL STABILIZATION IS ACHIEVED.

ES-8: DURING DEWATERING OPERATIONS, WATER WILL BE PUMPED INTO AN APPROVED FILTERING DEVICE. DATE

ES-9: THE CONTRACTOR SHALL INSPECT ALL EROSION CONTROL MEASURES PERIODICALLY AND AFTER EACH RUNOFF-PRODUCING RAINFALL EVENT. ANY NECESSARY REPAIRS OR ADJUSTMENTS TO MAINTAIN THE EFFECTIVENESS OF THE EROSION CONTROL DEVICES SHALL BE MADE IMMEDIATELY.

WE, _____, IDENTIFY _____, (CERT/REG No _____)
AS THE INDIVIDUAL IN CHARGE OF AND RESPONSIBLE FOR LAND
DISTURBING ACTIVITIES ASSOCIATED WITH THIS EROSION AND SEDIMENT
CONTROL PLAN. WE AGREE TO NOTIFY THE CITY OF ROANOKE IN WRITING
SHOULD WE TRANSFER THIS RESPONSIBILITY TO ANOTHER CERTIFIED
INDIVIDUAL BEFORE THE COMPLETION OF THIS PROJECT AND THE RELEASE
OF THE EROSION AND SEDIMENT CONTROL BOND.

CERTIFIED LAND DISTURBER




VICINITY MAP
NTS

NOTICE: ALL LANDOWNERS, DEVELOPERS, AND CONTRACTORS
FAILURE TO COMPLY WITH THE CONSTRUCTION PROCEDURE REQUIREMENTS LISTED BELOW MAY
RESULT IN THE COSTLY REMOVAL OF STRUCTURES, TIME DELAYS, OR THE ISSUANCE OF A STOP
WORK ORDER.

1. **RIGHT-OF-WAY EXCAVATION PERMIT:** PRIOR TO THE COMMENCEMENT OF ANY DIGGING, ALTERATION, OR CONSTRUCTION WITHIN THE PUBLIC RIGHT-OF-WAY (STREETS, ALLEYS, PUBLIC EASEMENTS) A RIGHT-OF-WAY EXCAVATION PERMIT SHALL BE APPLIED FOR AND OBTAINED BY THE CONTRACTOR FROM THE CITY OF ROANOKE.
2. **LAND DISTURBANCE PERMIT:** AN APPROVED EROSION AND SEDIMENT CONTROL PLAN FOR ANY BORROW/FILL SITES ASSOCIATED WITH THE PROJECT MUST BE SUBMITTED PRIOR TO THE ISSUANCE OF A LAND DISTURBANCE PERMIT.
3. **PLANS AND PERMITS:** A COPY OF THE PLANS APPROVED BY THE CITY (SIGNED BY THE PROPER CITY OFFICIALS) AND ALL PERMITS ISSUED BY THE CITY SHALL BE AVAILABLE AT THE CONSTRUCTION SITE AT ALL TIMES OF ONGOING CONSTRUCTION.
4. **LOCATION OF UTILITIES:** THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION.
5. **CONSTRUCTION ENTRANCE:** THE CONTRACTOR SHALL INSTALL AN ADEQUATE CONSTRUCTION ENTRANCE FOR ALL CONSTRUCTION RELATED EGRESS FROM THE SITE. SIZE AND COMPOSITION OF THE CONSTRUCTION ENTRANCE SHALL BE AS SHOWN ON THE PLANS.
6. **STREETS TO REMAIN CLEAN:** IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE THAT THE PUBLIC STREET ADJACENT TO THE CONSTRUCTION ENTRANCE REMAINS FREE OF MUD, DIRT, DUST, AND/OR ANY TYPE OF CONSTRUCTION MATERIALS OR LITTER AT ALL TIMES.
7. **BARRICADES/DITCHES:** THE CONTRACTOR SHALL MAINTAIN THE INTEGRITY OF ALL EXCAVATED DITCHES AND SHALL FURNISH AND ENSURE THAT ALL BARRICADES PROPER AND NECESSARY FOR THE SAFETY OF THE PUBLIC ARE IN PLACE.
8. **SEWER AND PAVEMENT REPLACEMENT:** CONSTRUCTION OF SANITARY SEWERS AND THE REPLACEMENT OF PAVEMENT SHALL BE IN ACCORDANCE WITH APPROVED STANDARDS AND SPECIFICATIONS OF THE CITY OF ROANOKE AND THE WESTERN VIRGINIA WATER AUTHORITY.
9. **APPROVED PLANS/CONSTRUCTION CHANGES:** ANY CHANGE OR VARIATION FROM CONSTRUCTION DESIGN AS SHOWN ON THE OFFICIALLY APPROVED PLANS SHALL BE APPROVED BY THE CITY ENGINEER AND THE EROSION CONTROL AGENT PRIOR TO SAID CHANGES OR VARIATION IN CONSTRUCTION BEING MADE.
10. **FINAL ACCEPTANCE/CITY:** THE OWNER OR DEVELOPER SHALL FURNISH THE CITY OF ROANOKE WITH PLANNING, BUILDING AND DEVELOPMENT DEPARTMENT WITH A FINAL CORRECT SET OF AS-BUILT PLANS PRIOR TO FINAL ACCEPTANCE BY THE CITY.

	PROPERTY LINE		TELE PED		EXISTING TELEPEDESTAL
	EXISTING 2' CONTOURS		GV		EXISTING GAS VALVE
	PROPOSED 2' CONTOURS		GM		EXISTING GAS METER
	EXISTING SPOT ELEVATION		LP		EXISTING LIGHT POLE
	PROPOSED SPOT ELEVATION		L		PROPOSED LIGHT POLE
	PROPOSED TOP CURB ELEVATION		D		DRILL HOLE
	PROPOSED BOTTOM CURB ELEVATION		F		EXISTING FIRE HYDRANT
	EXISTING SANITARY SEWER		F		PROPOSED FIRE HYDRANT
	EXISTING WATERLINE		WV		EXISTING WATER VALVE
	EXISTING STORM SEWER		W		PROPOSED WATER VALVE
	PROPOSED STORM SEWER		M		EXISTING WATER METER
	EXISTING EDGE OF PAVEMENT		M		PROPOSED WATER METER
	PROPOSED PAVEMENT		CO		EXISTING SEWER CLEANOUT
	PROPOSED GRAVEL		SMH		PROPOSED SEWER CLEANOUT
	PROPOSED CONCRETE/SIDEWALK		S		EXISTING SEWER MANHOLE
	EXISTING BUILDING		S		PROPOSED SEWER MANHOLE
	PROPOSED BUILDING		S		EXISTING SHRUB
	EXISTING OVERHEAD ELECTRIC		S		EXISTING TREE
	EXISTING BURIED ELECTRIC		S		PROPOSED TREE
	EXISTING BURIED CABLE TV LINE		S		EXISTING SIGN
	EXISTING GAS LINE		S		PROPOSED SIGN
	EXISTING BURIED TELEPHONE LINE		S		BORE HOLE/TEST PIT
	EXISTING FENCE LINE		S		CONTROL POINT
	EXISTING TREELINE		S		IRON ROD FOUND
	BENCHMARK LOCATION		S		IRON ROD SET
	EXISTING UTILITY POLE		S		PROPERTY CORNER
	EXISTING GUY WIRE		S		FENCE POST
			S		(TBR)
			S		TO BE REMOVED

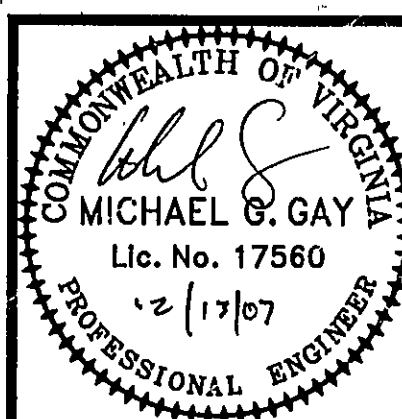
A/C AIR CONDITIONER
 AC. ACRES
 ALT. ALTERNATE
 APPROX. APPROXIMATE
 AVG. AVERAGE
 B.M. BENCHMARK
 B.C. BOULEVARD
 B.S. BASEMENT
 BSWT BOTTOM OF WALL
 B.F. CURB FEET
 C.I. CURB INLET
 C.M.U. CONCRETE MASONRY UNIT
 C.V. CHECK VALVE
 C.Y. CUBIC YARD
 C.D. CALIFORNIA
 CATV CABLE TELEVISION
 CHRD CHORD
 CMP CORRUGATED METAL PIPE
 CO. COUNTY
 CONC. CONCRETE
 CREEK CREEK
 D.B. DEED BOOK
 D.E. DRAINAGE EASEMENT
 D.F. DROP INLET
 D.I.P. DUCTILE IRON PIPE
 D.S. DOWN SPOUT
 DECID. DECIDUOUS
 DEG. DEGREES
 DET. DETAIL
 DFC DRAINFIELD CORNER
 DROP DROP INLET
 DIA. DIAMETER
 DIST. DISTRICT
 RPS. ROAD
 DWG. DRAWING
 DWG.S. DWELLING
 E.C. EDGE OF GRAVEL
 E.P. EDGE OF PAVEMENT
 EA. EACH
 EBL EASTBOUND LANE
 ELEV. ELEVATION
 EASE EASEMENT
 ESM. EASEMENT
 E.V. EVERGREEN
 EXST. EXISTING
 EXT. EXTENSION
 F.E.M.A. FEDERAL EMERGENCY MANAGEMENT AGENCY
 F.H. FIRE HYDRANT
 F.L.R.M. FLOOD INSURANCE RATE MAP
 F/L FLOW LINE
 F.F. FINISH FLOOR
 FND FOUND
 FRM. FRAME
 FT. FEET
 G.M. GAS METER
 G.V. GATE VALVE
 GNI GAY AND NEEL, INC.
 GALLONS PER MINUTE
 GPM GRAVEL
 GRD GROUND
 GP GROUP
 H.U.D. HOUSING AND URBAN DEVELOPMENT
 H/C HANDICAPPED
 HCR HANDICAPPED RAMP
 HOPE HIGH DENSITY POLYETHYLENE PIPE
 HAND. HANDRAIL
 HD. HEADWALL
 HYD. HYDRANT
 I.D. INSIDE DIAMETER
 IN. INCH
 INST. INSTRUMENT
 INT. INTERSECTION
 INV. INVERT
 INV.V. INVERT INVERT
 INVout INVERT OUT
 LINEAR FOOT
 L.P. LIGHT POLE
 L.P. LOW POINT
 S.L. LANDSCAPED ISLAND
 L.B. L.B.
 M.B.L. MINIMUM BUILDING LINE
 MAG. MAGNETIC
 MAX. MAXIMUM
 MB MAIL BOX
 MH. MANHOLE
 MI. MILE
 MIN. MINIMUM
 MON. MONUMENT
 MTL. METAL
 N.C. NOT IN CONTRACT
 N.S. NORFOLK & SOUTHERN
 NOT TO SCALE
 N/O NOW OR FORMERLY
 NBL NORTHBOUND LANE
 N.D. NUMBER
 NR NEW RIVER VALLEY
 O.D. OUTSIDE DIAMETER
 O.F.C.I. OWNER FURNISHED CONTRACTOR INSTALLED
 OH OVERHEAD
 ONE OVERHEAD ELECTRIC
 P.B. PLAT BOOK
 P.U. PUBLIC UTILITY
 P.U. & K.E. PUBLIC UTILITY AND DRAINAGE EASEMENT
 P.U.E. PUBLIC UTILITY EASEMENT
 P.V. POLYETHYLENE
 PED. PEDESTAL
 PAGE PAGE
 PROP. PROPOSED
 PSI POUNDS PER SQUARE INCH
 P.W. PAVEMENT
 P.W.T. PAVEMENT
 R. RADIUS
 R.R. RAILROAD
 R/W RIGHT-OF-WAY
 R.F. REINFORCED
 RD. ROAD
 REF. REFERENCE
 REQ. REQUIRED
 RET. RETAINING
 REV. REVISION
 RTE. ROUTE
 R.W.Y. RAILWAY
 S.D. STORM DRAIN
 SDMH STORM DRAIN MANHOLE
 S.F. SQUARE FEET
 S.H. SOUTHBOUND LANE
 SCH. SCHEDULE
 SH. SHEET
 SPEC. SPECIFICATION
 SPTK SEPTIC TANK
 SSWF SANITARY SEWER
 SANITARY SEWER MANHOLE
 S.W. STREET
 STA. STATION
 STD. STANDARD
 STY. STORM
 SWME STORMWATER MANAGEMENT EASEMENT
 SWMF STORMWATER MANAGEMENT FACILITY
 TOP OF CURB/CONCRETE
 TERRA COTTA PIPE
 TEL. TELEPHONE
 TOP OF BANK
 TOS TOP OF SLOPE
 TW. TOP OF WALL
 TYP. TYPICAL
 U.G. UNDERGROUND
 U.T. UTILITY POLE
 U.S. UNITED STATES
 VA. VIRGINIA
 VIRGINIA DEPARTMENT OF TRANSPORTATION
 VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK
 W.B. WELD BOND
 W.W.F. WELDED WIRE FABRIC
 W/ WESTBOUND LANE
 W. WATER METER
 W. WATER TANK
 W. WATER VALVE
 W.W. WOVEN WIRE
 TRANSFER TRANSFER



GAY AND NEEL, INC.
CIVIL ENGINEERING
LAND PLANNING
SURVEYING

Cover Sheet

*Kabuki Expansion
Prepared For
Koeda Akio*



REVISED:
10/19/07
11/02/07
PRINTED ON
DEC 17 2007

DESIGNED/CALC.: RCM
CHECKED: RCM
DRAWN: PLJ,RWA
SCALE: N/A
DATE: 07/02/07

JOB NO. 1800.0

SHEET 1 OF 13

Yabuki
APPROVED
3/10/2008