

SITE INFORMATION

OWNER: LWF DEVELOPMENT L.L.C.
8333 CHRISTIE LANE
ROANOKE, VA 24018

PROPERTY ADDRESS: BRAMBLETON AVENUE
ROANOKE, VA 24019

TAX MAP #: 86.08-04-16.02
LOT AREA: 0.92 ACRES
ZONING: C2 - 042506-9
FEMA MAP #: 51161C0022 D
(EFFECTIVE DATE 10/15/93)

PROPOSED USE: PERSONAL IMPROVEMENT SERVICES

SETBACKS: FRONT - 20 FEET
REAR - 15 FEET
SIDE - NONE

MAX. BLDG. HEIGHT: 45 FEET
ACTUAL BLDG. HEIGHT: 30 FEET

LIMITS OF DISTURBANCE: 1.09 ACRES

REQUIRED PARKING: 1 PER 300 SF = 40 SPACES
ACTUAL PARKING: 42 SPACES

REQUIRED HC PARKING: 2 SPACES
ACTUAL HC PARKING: 2 SPACES

OPEN SPACE REQUIRED: 10% (0.09 AC)
OPEN SPACE PROVIDED: 35% (0.32 AC)

MAX. BUILDING COVERAGE: 50% (0.46 AC)
EX. BUILDING COVERAGE: 0.56% (0.005 AC)
ACTUAL BUILDING COVERAGE: 18% (0.169 AC)

MAX. LOT COVERAGE: 90% (0.82 AC)
ACTUAL LOT COVERAGE: 65% (0.60AC)

LEGEND

- 1" METER WATER
X WWA
UTILITY CONTR.
EXISTING
BEYOND W.M. BY PLUMB.
- 1 1/4" WATER LATERAL
X WWA
UTILITY CONTR.
EXISTING
- (D) VDOT STANDARD STOP SIGN
(P) CONNECTION BY PLUMBER
(S) SEWER LATERAL 6"
X UTILITY CONTR.
EXISTING

STRUCTURE SCHEDULE

- 225 L.F. 10" ROOF DRAIN @ MIN. 1%
INV. IN=1113.00
- DI-3B; LENGTH:8'; TOP=1113.83
H=4.25'
- 19.05 L.F. OF 15" RCP @ 0.50%
INV. IN=1109.58 INV. OUT=1109.48
- DI-3C; LENGTH:8'; TOP=1115.35
H=7.00'
- UNDERGROUND STORAGE
164 L.F. OF 60" HDPE @ 0.50%
INV. IN=1107.85 INV. OUT=1107.00
U.P.
- 4' TYP. MANHOLE: TOP= 1122 H=15.10'
- 8 L.F. OF 15" RCP @ 14.58%
INV. IN=1106.90 INV. OUT=1105.74
- DI-5; TOP=1119.00
H= 13.95' TYPE: A I GRATE
- 30 L.F. OF 15" RCP @ 15.8%
INV. IN=1105.74 INV. OUT=1101.00

Water Materials

Pipe: 8" Flying W HDPE, SDR-17
8" National C909 PVC, DR 14
6" National C909 PVC, DR 14
2" Endot Endopure HDPE, SDR 9 (200 psi)
Valves: Both are American Flow Control valves, left-to-open
FH: American Darling, 4 1/2", 2007, Tag no. 20032, static pressure = 110 psi.

NOTES:

- NO CONSTRUCTION/FIELD CHANGES SHALL BE MADE WITHOUT THE CONSULTING ENGINEER, WWA, AND ROANOKE COUNTY.
- ANY NEW ALIGNMENTS, CHANGES IN GRADE, ALTERNATIVE PIPE SIZES, OR MANHOLES OR ESC MEASURES WILL REQUIRE A NEW SET OF PLANS STAMPED BY THE CONSULTING ENGINEER. PLAN SHEETS CAN BE 8.5 x 11 IF THE INFORMATION IS LEGIBLE.
- THE LOCATION OF ALL OFF-SITE OR BORROW AREAS ASSOCIATED WITH THE PROJECT WILL BE PROVIDED TO ROANOKE COUNTY DEPARTMENT OF COMMUNITY DEVELOPMENT. AN EROSION AND SEDIMENT CONTROL PLAN MAY BE REQUIRED FOR THIS AREA.
- THE PROPOSED RETAINING WALL ONSITE SHALL BE DESIGNED BY OTHERS. THE PROPOSED DESIGN SHALL BE SUBMITTED TO ROANOKE COUNTY AND A SEPARATE PERMIT SHALL BE OBTAINED PRIOR TO ANY RETAINING WALL CONSTRUCTION. THE WALL SHALL BE DESIGNED AND SEALED BY A PROFESSIONAL ENGINEER.

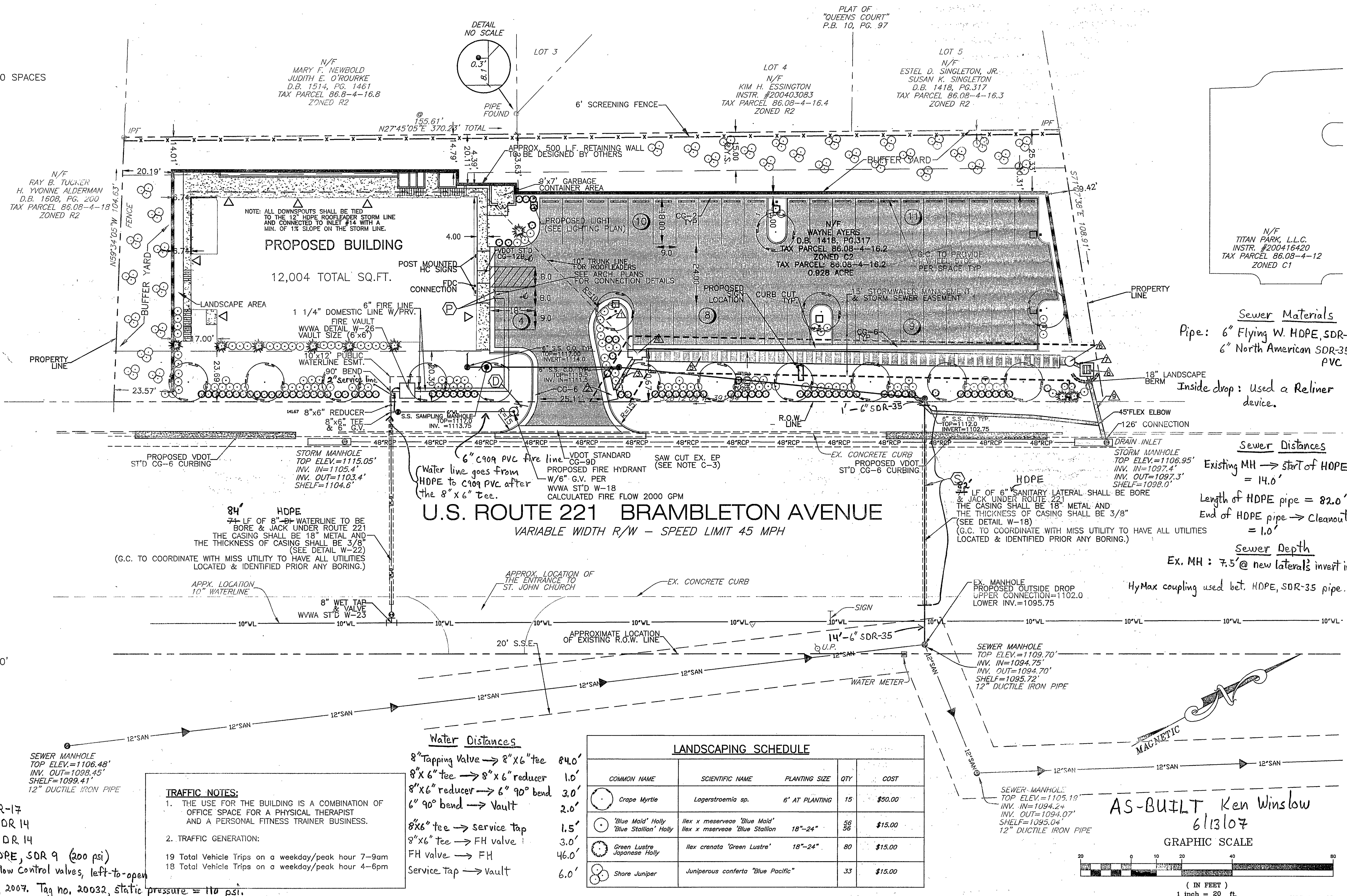
- ALL EXTERIOR LIGHTING FIXTURES SHALL BE DESIGNED, LOCATED, AND ARRANGED SO AS NOT TO DIRECT GLARE ON ADJOINING STREETS OR RESIDENTIAL PROPERTIES. THE LIGHTING INTENSITY AT ADJOINING RESIDENTIAL PROPERTIES SHALL NOT EXCEED 0.5 FOOT CANDLES.
- A SIGN PERMIT MUST BE OBTAINED FROM ROANOKE COUNTY PRIOR TO INSTALLATION OF THE SIGN. REFER TO SECTION 30-93 FOR ROANOKE COUNTY'S SIGN REGULATIONS.
- ALL GROUND LEVEL EQUIPMENT SHALL BE SCREENED FROM VIEW EITHER BY FENCING OR LANDSCAPING.
- PLEASE REFER TO THE LANDSCAPE WAIVER DATED AUGUST 14TH, 2006 FOR FURTHER INFORMATION REGARDING THE LANDSCAPE REQUIREMENTS.
- THE CONTRACTOR/DEVELOPER IS RESPONSIBLE FOR CLEANING OUT THE EXISTING STORM SEWER ALONG ROUTE 221 IF IT BECOMES SILTED OR BLOCKED IN ANY WAY DUE TO THE PROPOSED DEVELOPMENT.
- THE CONTRACTOR/DEVELOPER IS RESPONSIBLE FOR REPLACING OR REPAIRING ANY STRUCTURES DAMAGED DURING THE ATTACHMENT TO THE EXISTING STORMWATER SEWER ALONG ROUTE 221.

PAVING NOTES:

- ENTRANCE SAW CUT:
PRIOR TO BEGINNING ANY CONSTRUCTION WITHIN THE RIGHT-OF-WAY, THE GENERAL CONTRACTOR SHALL PREPARE A TRAFFIC PLAN AND ACQUIRE APPROVAL FROM THE LOCAL VDOT OFFICE. UPON RECEIVING APPROVAL, THE G.C. IS RESPONSIBLE FOR THE TRAFFIC CONTROL. THE SAW CUT INTO THE EXISTING TRAVEL LANE SHALL BE A MINIMUM OF 1' OR TO THE FULL DEPTH OF PAVEMENT AND THE EXPOSED PAVEMENT SECTION SHALL HAVE A TACK COAT APPLIED ONCE THE SAW CUT IS COMPLETE. THE SAW CUT WILL ALSO REQUIRE A ONE LANE TO BE CLOSED WITH TIME RESTRICTIONS FROM 9:00AM TO 3:00PM. ONCE THE PAVEMENT CUT HAS BEEN MADE INTO THE TRAVEL LANE, THE CONTRACTOR MUST LEAVE THE LANE CLOSED UNTIL THE FINISH CURBING HAS BEEN PLACED. ALL WORK SHALL CONFORM TO THE VIRGINIA WORK AREA PROTECTION MANUAL.

ORDINANCE CONDITIONS: NO. 042506-9

- THE DEVELOPMENT OF THE SITE SHALL BE IN SUBSTANTIAL CONFORMITY TO THE CONCEPT PLAN AND PROPOSED ELEVATION CONCEPT PLAN DATED FEBRUARY 28, 2006 SUBJECT TO THOSE CHANGES THAT MAY BE REQUIRED BY THE COUNTY DURING COMPREHENSIVE SITE PLAN REVIEW.
- HOURS OF OPERATION SHALL BE FROM 6a.m.-10p.m., MONDAY THROUGH FRIDAY 9a.m.-5p.m. SATURDAY, AND 12p.m.-5p.m. ON SUNDAY.
- A PROFESSIONAL ENGINEER MUST DESIGN AND SEAL THE RETAINING WALL PLANS FOR THE SITE.
- THERE SHALL BE NO ROOF TOP MECHANICAL EQUIPMENT.



Water Distances

8" Tapping Valve → 8" x 6" tee 84.0'
8" x 6" tee → 8" x 6" reducer 1.0'
8" x 6" reducer → 6" 90° bend 3.0'
6" 90° bend → Vault 2.0'
8" x 6" tee → service tap 1.5'
8" x 6" tee → FH valve 3.0'
FH valve → FH 46.0'
Service Tap → Vault 6.0'

LANDSCAPING SCHEDULE

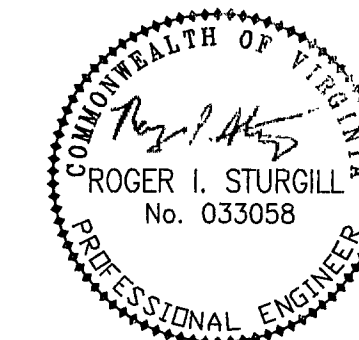
COMMON NAME	SCIENTIFIC NAME	PLANTING SIZE	QTY	COST
Crape Myrtle	Lagerstroemia sp.	6" AT PLANTING	15	\$50.00
'Blue Maid' Holly	Ilex x meserveae 'Blue Maid'	18"-24"	58	\$15.00
'Blue Stallion' Holly	Ilex x meserveae 'Blue Stallion'	18"-24"	58	\$15.00
Green Lustre Japanese Holly	Ilex crenata 'Green Lustre'	18"-24"	80	\$15.00
Shore Juniper	Juniperus conferta 'Blue Pacific'		33	\$15.00

AS-BUILT Ken Winslow
6/13/07

GRAPHIC SCALE



WWA ID# 6SFLBH



REFLECTING TOMORROW
www.balzer.cc
PLANNERS • ARCHITECTS
ENGINEERS • SURVEYORS

1208 Corporate Circle
Roanoke, Virginia 24018
Phone: 540/772-9580
FAX: 540/772-8050

501 Branchway Road
Richmond, Virginia 23230
Phone: 804/794-0571
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880 Technology Park Drive
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Glen Allen, Virginia 23059
Phone: 804/659-0192
FAX: 804/659-0193

448 Peppers Ferry Road, NW
Christiansburg, Virginia 24073
Phone: 540/381-4200
FAX: 540/381-4291

1591 Commerce Road
Suite 401
Virginia, Virginia 24462
Phone: 540/248-3220
FAX: 540/248-3221

LIFEWISE FITNESS

SITE PLAN

WINDSOR HILLS
ROANOKE COUNTY, VIRGINIA

DRAWN BY: BTC
DESIGNED BY: SMH
CHECKED BY: RIS
DATE: 7-6-06
REVISIONS:
8-14-06
9-18-06
10-26-06
1-8-07
1-30-07
5-2-07

SCALE: 1"=20'

SHEET NO.

C-3

JOB NO.
R0600064.00