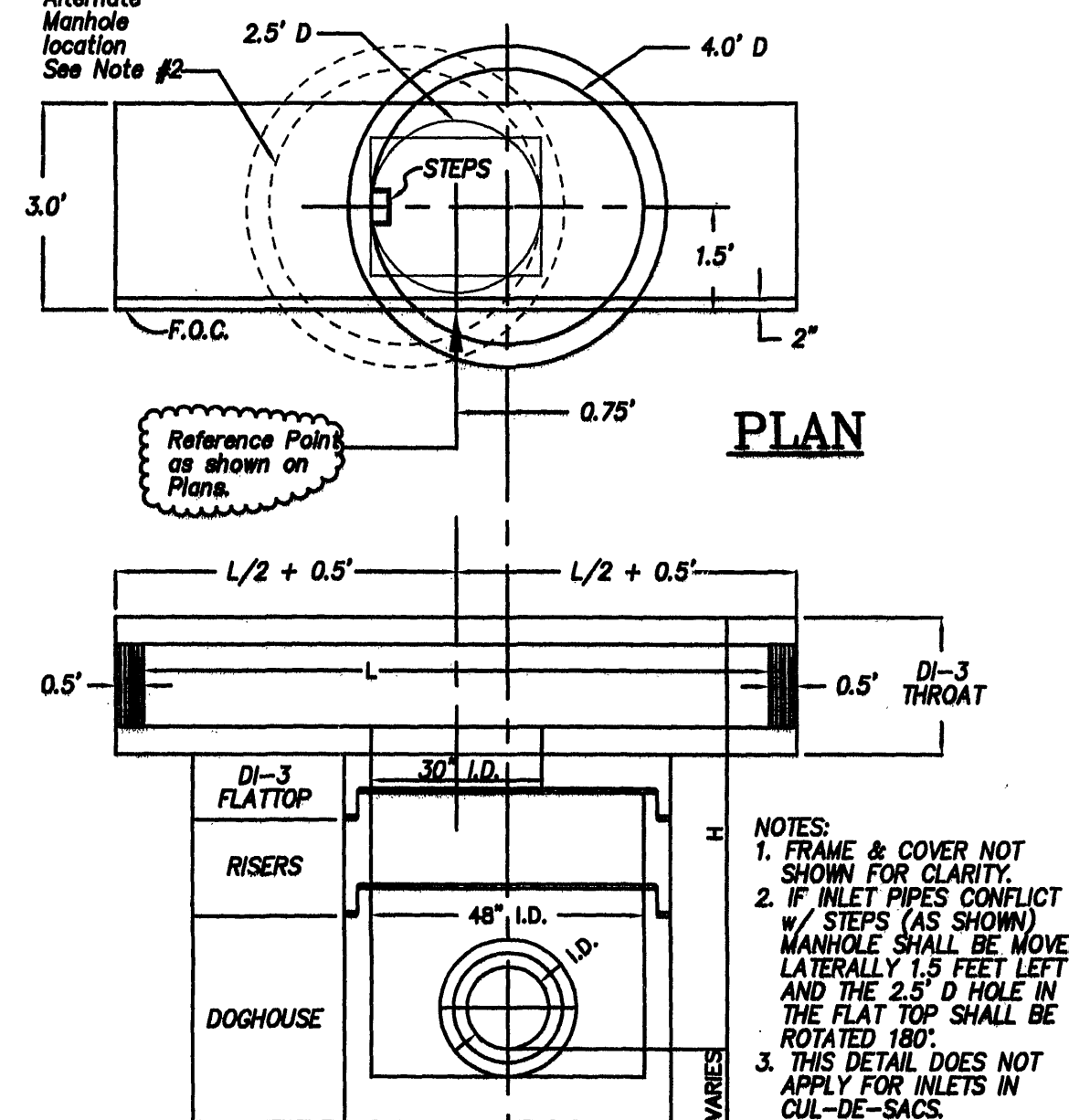


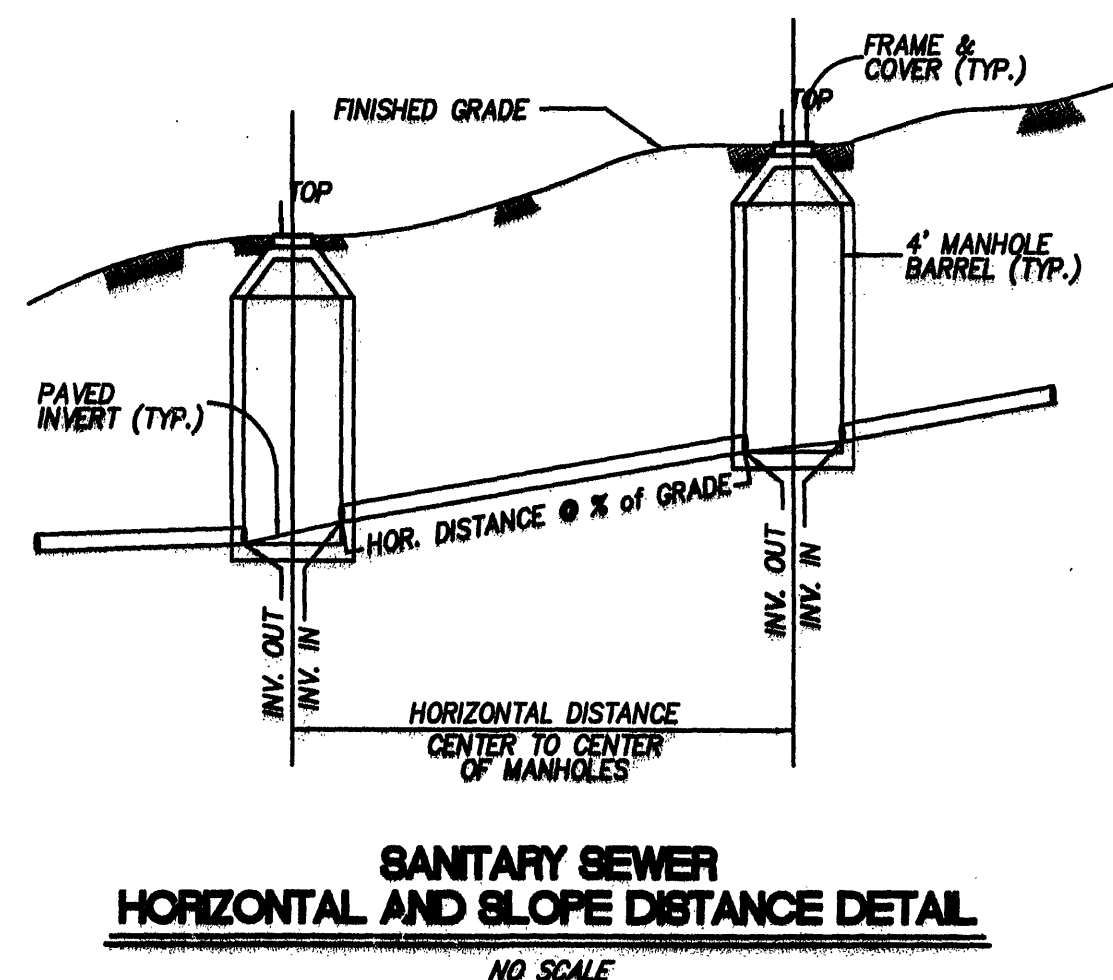
NOTES:

1. THE SIZE 21B AGGREGATE SHALL BE PRIMED WITH APPROXIMATELY 0.35 GAL/SY OF RC-250 ASPHALT AND COVERED WITH 16 TO 18 LBS/SY OF SIZE 8-P AGGREGATE BEFORE PLACING THE SM-8.5A.
2. THE PRELIMINARY PAVEMENT DESIGN SHOWS ARE BASED ON A PREDICTED SUB-GRADE COR VALUE OF 7.0 AND A RESILIENCY FACTOR (RF) OF 2.0 AS SHOWN IN APPENDIX C OF THE 2002 EDITION OF THE DEPARTMENT OF TRANSPORTATION PAVEMENT DESIGN GUIDE FOR SUBURBS AND SECONDARY ROADS. THE SUB-GRADE SOIL IS TO BE TESTED BY AN INDEPENDENT LABORATORY AND THE RESULTS SUBMITTED TO THE CITY OF ROCKAWE PRIOR TO BASE CONSTRUCTION. SHOULD THE SUB-GRADE COR VALUE AND/OR THE RF VALUE BE LESS THAN THE PREDICTED VALUES, ADDITIONAL BASE MATERIAL WILL BE REQUIRED IN ACCORDANCE WITH DEPARTMENTAL SPECIFICATIONS. REFER TO THE SAME MANUAL FOR THE NUMBER AND LOCATIONS OF THE REQUIRED SOIL SAMPLES TO BE TESTED. ALL PAVEMENT DESIGNS SHALL BE SUBMITTED TO THE CITY FOR REVIEW AND APPROVAL. (CHANGE VALUES FOR EACH SPECIFIC LOCATION).
3. THE SUB-GRADE SHALL BE APPROVED BY THE CITY OF ROCKAWE PRIOR TO THE PLACEMENT OF THE BASE. BASE SHALL BE APPROVED BY THE CITY OF ROCKAWE FOR DEPTH, TEMPLATE, AND COMPACTION BEFORE SURFACE IS APPLIED. THE SURFACE LAYER SHALL BE APPROVED BY THE CITY OF ROCKAWE FOR DEPTH, TEMPLATE, AND COMPACTION. THE DEVELOPER SHALL AUTHORIZE THE TESTING TO BE PERFORMED BY AN INDEPENDENT TESTING LAB FOR EACH LAYER OF THE PAVEMENT STRUCTURE. TEST RESULTS SHALL BE SUBMITTED TO THE CITY OF ROCKAWE FOR REVIEW AND APPROVAL. ALL TEST METHODS AND FREQUENCY OF TESTING SHALL BE IN ACCORDANCE WITH MDOT'S ROAD AND BRIDGE SPECIFICATIONS AND THE VIRGINIA TEST METHODS MANUAL.
4. AGGREGATE SHALL BE PLACED IN 8 (EIGHT) INCH MAXIMUM LIFTS. FOR 10 (TEN) INCH AGGREGATE LAYER, THE AGGREGATE SHALL BE PLACED IN TWO 5 (FIVE) INCH LIFTS.



NOTES:

1. CONCRETE 4,000 P.S.I.
2. REINFORCING #4 @ 6" C.C. E.W.  
DOUBLE ROW THROUGHOUT.
3. FOUR (4) BOLTS AND INSERTS ARE  
REQUIRED FOR 42" AND 48" EW-1.
4. PLACE CLASS 1 RIP RAP ALONG THE  
PERIMETER OF THE STRUCTURE TO  
PREVENT SCOUR AND EROSION.

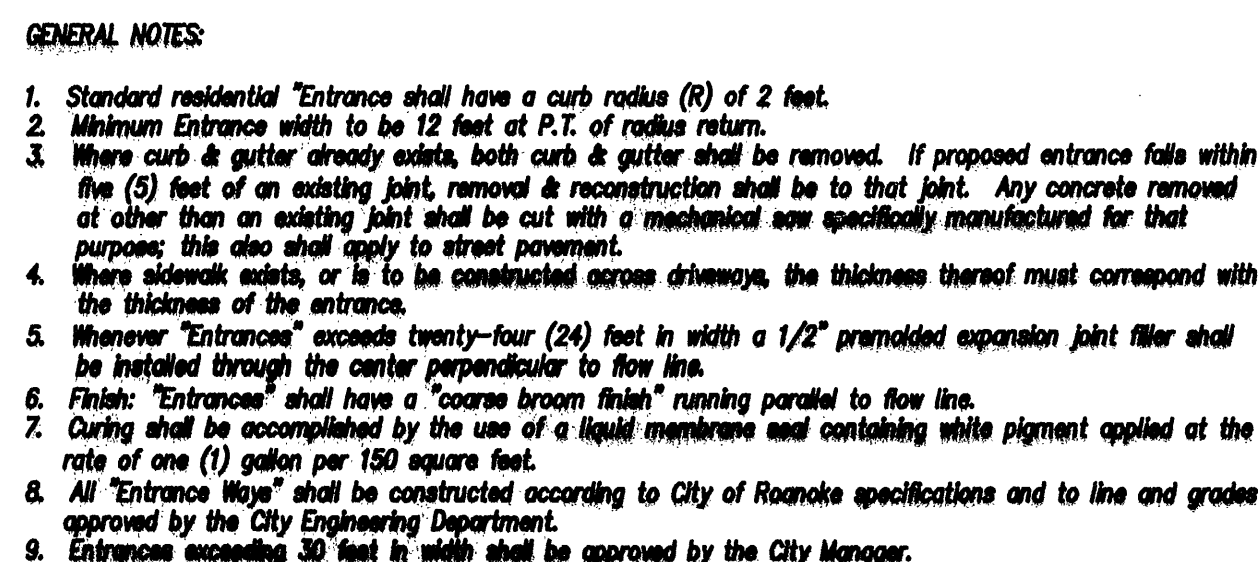


CURRENT ZONING: R-12  
PROPOSED USE: SINGLE FAMILY DETACHED DWELLINGS  
SITE ACREAGE: 10.74/- ACRES  
PROPOSED NUMBER OF LOTS: 25  
MINIMUM LOT AREA REQUIRED: 12,000 S.F.  
MINIMUM FRONTAGE REQUIRED: 80'  
MINIMUM REQUIRED YARD SETBACKS:  
MINIMUM FRONT: 20'  
MAXIMUM FRONT: NONE  
MINIMUM REAR: 30'  
MINIMUM COMBINED SIDE YARDS: 16'  
MINIMUM INDIVIDUAL SIDE YARD: 8'  
MAXIMUM HEIGHT ALLOWED: 35'  
MAXIMUM FLOOR AREA RATIO: NONE  
MAXIMUM IMPERVIOUS SURFACE RATIO: 50%

1. THE PROPERTY SHOWN ON THESE PLANS IS LOCATED AT ROANOKE CITY TAX ASSESSMENT MAP NO. 50B0310.
2. OWNER/DEVELOPER: MAPLE LEAF FARMS, LLC  
(ATTN: JARED SAUNDERS)  
214 COBBLE LANE  
BENT MOUNTAIN, VA 24059 (540) 929-8007
3. THE BOUNDARY IS THE DIRECT RESULT OF A FIELD SURVEY BY LUMSDEN ASSOCIATES, P.C. DATED 2008.
4. TOPOGRAPHY DATA BASED ON A FIELD SURVEY BY LUMSDEN ASSOCIATES, P.C. IN 2008.
5. A TITLE REPORT WAS FURNISHED FOR THIS PROJECT. TITLE REPORT PREPARED BY FIDELITY NATIONAL TITLE INSURANCE COMPANY DATED SEPTEMBER 20, 2008, COMMITMENT #FN-20294.
6. THE DEVELOPMENT SHOWN ON THESE PLANS SHALL BE SERVED BY WESTERN VIRGINIA WATER AUTHORITY WATER AND SANITARY SEWER.
7. THE PROPERTY ON THESE PLANS SHALL BE ACCESSED BY PUBLIC ROADS.
8. ALL EXTERIOR LIGHTS SHALL BE DESIGNED, ARRANGED, AND LOCATED SO AS NOT TO DIRECT GLARE ON ADJACENT RESIDENTIAL PROPERTIES OR RIGHT OF WAYS. THE MAXIMUM LIGHTING DENSITY AT ADJOINING PROPERTIES OR RIGHT OF WAYS SHALL NOT EXCEED 0.5 FOOT CANDLES.
9. A SEPARATE SIGN PERMIT WILL BE REQUIRED FOR ANY EXTERIOR SIGNAGE.
10. NO CONSTRUCTION/FIELD REVISIONS ARE ALLOWED WITHOUT THE APPROVAL OF THE CONSULTING ENGINEER, THE CITY OF ROANOKE, AND/OR THE WESTERN VIRGINIA WATER AUTHORITY..
11. IT SHALL BE THE RESPONSIBILITY OF THE DEVELOPER TO CLEAN OUT THE EXISTING STORM SEWER SYSTEM WITHIN EXISTING DEVELOPMENTS SHOULD THESE SYSTEMS BECOME SILTED OR BLOCKED IN ANY WAY DUE TO THE CONSTRUCTION OF THIS PROPOSED DEVELOPMENT.
12. AS EACH LOT IS DEVELOPED A BASIC DEVELOPMENT PLAN MUST BE SUBMITTED TO AND APPROVED BY THE CITY. THE BASIC DEVELOPMENT PLAN WILL BE REVIEWED TO INSURE CONFORMANCE WITH ALL CITY ZONING REGULATIONS INCLUDING, BUT NOT NECESSARILY LIMITED TO, SETBACKS, IMPERVIOUS SURFACE RATIOS, LIGHTING, DRIVEWAY WIDTHS AND SURFACING, AND LANDSCAPING.

1. ALL CONSTRUCTION SHALL CONFORM TO THE CURRENT CITY OF ROANOKE STANDARDS AND SPECIFICATIONS AND THE CURRENT EDITION OF VDOT'S ROAD AND BRIDGE STANDARDS.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE OWNER AND THE ENGINEER OF ANY CHANGES OR CONDITIONS ATTACHED TO PERMITS OBTAINED FROM ANY AUTHORITY ISSUING PERMITS.
3. NO SUBSIL INVESTIGATIONS HAVE BEEN FURNISHED TO THE DESIGNING ENGINEER.
4. THE CONTRACTOR SHALL VISIT THE SITE AND VERIFY EXISTING CONDITIONS PRIOR TO STARTING CONSTRUCTION.
5. THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL EXISTING UTILITIES PRIOR TO STARTING CONSTRUCTION.
6. ALL WATER CONNECTIONS TO EXISTING LINES SHALL BE COORDINATED WITH AND PERFORMED BY THE WESTERN VIRGINIA WATER AUTHORITY.
7. ALL SANITARY SEWER CONNECTIONS TO EXISTING LINES SHALL BE PERFORMED BY THE CONTRACTOR WITH A WESTERN VIRGINIA WATER AUTHORITY INSPECTOR ON-SITE.
8. SEE VDOT ROAD AND BRIDGE STANDARDS FOR CONCRETE CURB AND STORM DRAINAGE DETAILS.
9. THE CONTRACTOR AND OR OWNER SHALL PROVIDE A STORAGE CONTAINER FOR TEMPORARY STORAGE AND DISPOSAL OF LAND CLEARANCE DEBRIS AND BUILDING MATERIALS. ON-SITE BURIAL OF MATERIAL SHALL NOT BE PERMITTED.

1. AREAS TO BE GRADED SHALL BE CLEARED OF ALL VEGETATION, STRUCTURES, AND OTHER PHYSICAL FEATURES IN PREPARATION OF GRADING.
2. TOPSOIL SHALL BE REMOVED FROM THE CLEARED AREA AND STOCKPILED FOR FUTURE USE.
3. FILL MATERIAL SHALL BE FREE FROM ORGANIC MATTER AND ROCKS LARGER THAN 6 INCHES IN DIAMETER.
4. FILL MATERIAL SHALL BE PLACED AND COMPACTED IN EIGHT (8) INCH LOOSE LIMITS AND COMPACTED TO AT LEAST NINETY-FIVE (95) PERCENT OF THE MATERIAL'S MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D698, STANDARD PROCTOR. MAINTAIN MOISTURE CONTENT OF FILL MATERIAL WITHIN THREE (3) PERCENT OF OPTIMUM TO ATTAIN REQUIRED COMPACTION DENSITY.
5. NO SUBSURFACE SOILS INFORMATION HAS BEEN FURNISHED TO THE DESIGNING ENGINEER (LUMSDEN ASSOCIATES, P.C.). A QUALIFIED GEOTECHNICAL ENGINEER, LICENSED IN THE STATE OF VIRGINIA, SHOULD BE CONSULTED CONCERNING SOIL SAMPLES, SLOPE STABILIZATION, SOIL COMPACTION, TESTING, AND OTHER SOIL CHARACTERISTICS. LUMSDEN ASSOCIATES ASSUMES NO RESPONSIBILITY OR LIABILITY RELATING TO FAILURES RESULTING FROM SAME.



**EW-1 MODIFIED WITH ENERGY DISSIPATER**  
**NO SCALE**

**SANITARY SEWER  
HORIZONTAL AND SLOPE DISTANCE DETAIL**

REVISIONS	
NO.	DESCRIPTION
1	
2	
3	
4	
5	

DATE:	June 14, 2007
SCALE:	NONE
COMMISSION NO:	2006-276
SHEET	2 OF 12