

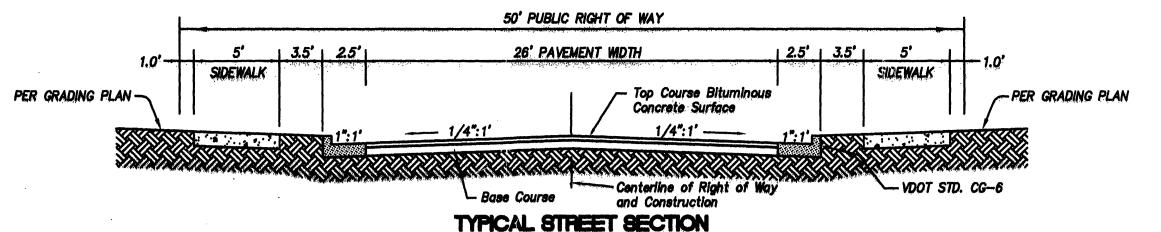
GENERAL NOTES:

- Standard residential "Entrance shall have a curb radius (R) of 2 feet
- . Minimum Entrance width to be 12 feet at P.T. of radius return. 3. Where curb & gutter already exists, both curb & gutter shall be removed. If proposed entrance falls within five (5) feet of an existing joint, removal & reconstruction shall be to that joint. Any concrete removed at other than an existing joint shall be cut with a mechanical saw specifically manufactured for that purpose; this also shall apply to street pavement.

 4. Where sidewalk exists, or is to be constructed across driveways, the thickness thereof must correspond with the thickness of the second constructed across driveways.
- the thickness of the entrance.
- Whenever "Entrances" exceeds twenty—four (24) feet in width a 1/2" premaided expansion joint filler shall be installed through the center perpendicular to flow line.
 Finish: "Entrances" shall have a "coarse broom finish" running parallel to flow line.
- ?. Curing shall be accomplished by the use of a liquid membrane seal containing white pigment applied at the
- rate of one (1) gallon per 150 square feet.
- 8. All "Entrance Waye" shall be constructed according to City of Roanoke specifications and to line and grade
- approved by the City Engineering Department.
 9. Entrances exceeding 30 feet in width shall be approved by the City Manager.

CITY OF ROANOKE RESIDENTIAL 'ENTRANCE' STANDARD

NO SCALE



NO SCALE

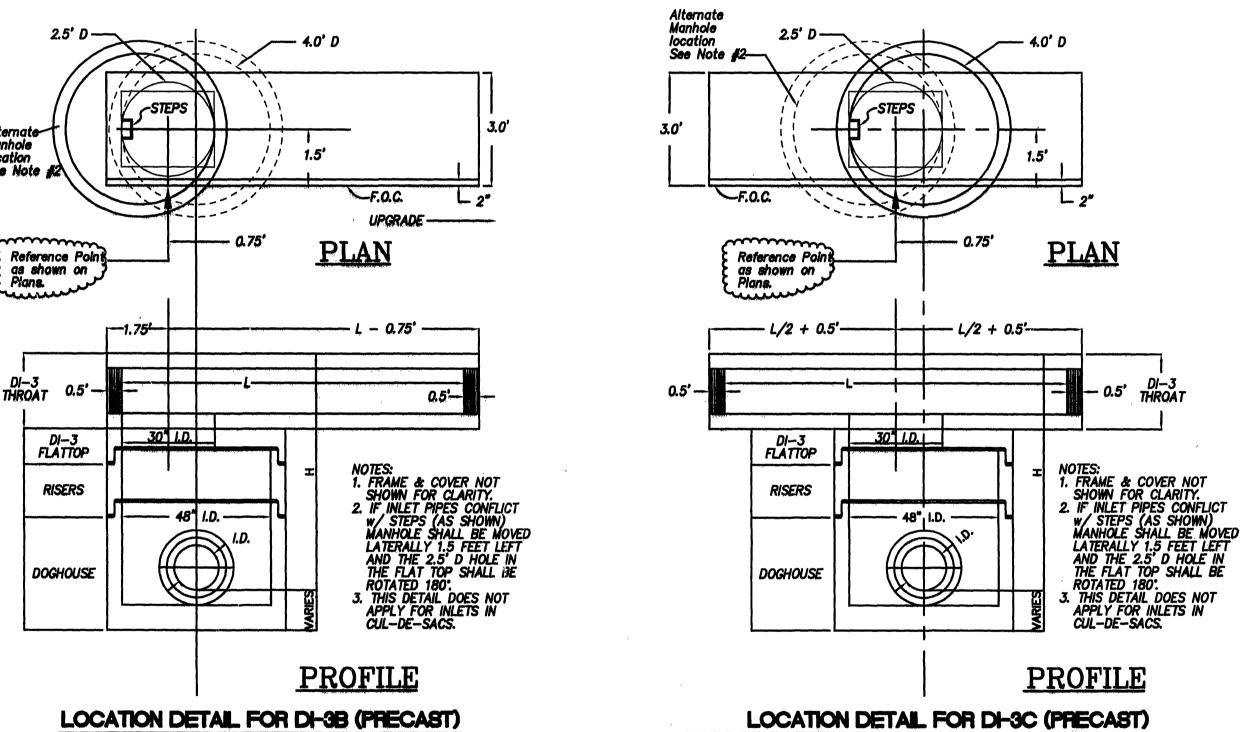
PAVENENT SPECIFICATIONS:						
STREET NAME	FROM STATION TO STATION	PAVEMENT WIDTH	RIGHT OF WAY WIDTH	VEHICLE TRIPS PER DAY	NUMBER OF REQ'D CBR TESTS	PAVEMENT SPECIFICATION
MAPLE LEAF DRIVE	10+10 <u>+</u> TO 12+40 <u>+</u>	26'	50	<i>385</i>	3 (INCL. ONE AT CONNECTION POINT OF EXIST. GRANDIN RD EXT.	220 PSY ASPH. CONCRETE (2"), TYPE SM-9.5A 10" AGGREGATE BASE21B, SEE NOTES BELOW
MAPLE LEAF DRIVE	12+ 4 0± TO 16+00±	26'	50'	275		220 PSY ASPH. CONCRETE (2"), TYPE SM-9.5A 10" AGGREGATE BASE-21B, SEE NOTES BELOW
MAPLE LEAF COURT	20+15 TO CUL DE SAC	26'	<i>50</i> '	105	2	220 PSY ASPH. CONCRETE (2"), TYPE SM-9.5A 10" AGGREGATE BASE-21B, SEE NOTES BELOW
GREENLACE CIRCLE	30+00± TO 32+10±	26'	<i>50</i> '	145	2	220 PSY ASPH. CONCRETE (2"), TYPE SM—9.5A 10" AGGREGATE BASE—21B, —— SEE NOTES BELOW
GREENLACE CIRCLE	32+10± TO CUL DE SAC	26'	50'	105		220 PSY ASPH. CONCRETE (2"), TYPE SM-9.5A 10" AGGREGATE BASE-21B, SEE NOTES BELOW

1. THE SIZE 21B AGGREGATE SHALL BE PRIMED WITH APPROXIMATELY 0.35 GAL/SY OF RC-250 ASPHALT AND COVERED WITH 16 TO 18 LBS/SY OF SIZE 8-P AGGREGATE BEFORE PLACING THE SM-9.5A.

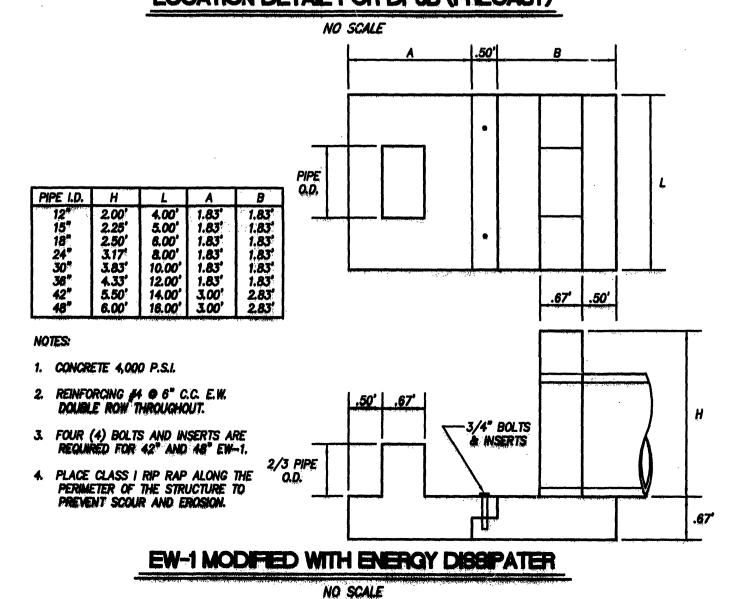
2. THE PRELIMINARY PAVEMENT DESIGNS SHOWN ARE BASED ON A PREDICTED SUB-GRADE CBR VALUE OF 7.0 AND A RESILIENCY FACTOR (RF) OF 2.0 AS SHOWN IN APPENDIX I OF THE 2000 VIRGINIA DEPARTMENT OF TRANSPORTATION PAVEMENT DESIGN GUIDE FOR SUBDIVISION AND SECONDARY ROADS, THE SUB-GRADE SOIL IS TO BE TESTED BY AN INDEPENDENT LABORATORY AND THE RESULTS SUBMITTED TO THE CITY OF ROANOKE PRIOR TO BASE CONSTRUCTION. SHOULD THE SUB—GRADE CBR VALUE AND/OR THE RF VALUE BE LESS THAN THE PREDICTED VALUES, ADDITIONAL BASE MATERIAL WILL BE REQUIRED IN ACCORDANCE WITH DEPARTMENTAL SPECIFICATIONS. REFER TO THE SAME MANUAL FOR THE NUMBER AND LOCATIONS OF THE REQUIRED SOIL SAMPLES TO BE TESTED. ALL PAVEMENT DESIGNS SHALL BE SUBMITTED TO THE CITY FOR REVIEW AND APPROVAL. (CHANGE VALUES FOR EACH SPECIFIC LOCATION)

3. THE SUB-GRADE SHALL BE APPROVED BY THE CITY OF ROANOKE PRIOR TO THE PLACEMENT OF THE BASE. BASE SHALL BE APPROVED BY THE CITY OF ROANOKE FOR DEPTH, TEMPLATE, AND COMPACTION BEFORE SURFACE IS APPLIED. THE SURFACE LAYER SHALL BE APPROVED BY THE CITY OF ROANOKE FOR DEPTH, TEMPLATE, AND COMPACTION. THE DEVELOPER SHALL AUTHORIZE THE TESTING TO BE PERFORMED BY AN INDEPENDANT TESTING LAB FOR EACH LAYER OF THE PAVEMENT STRUCTURE. TEST RESULTS SHALL BE SUBMITTED TO THE CITY OF ROANOKE FOR APPROVAL. ALL TEST METHODS AND FREQUENCY OF TESTING SHALL BE IN ACCORDANCE WITH VDOT'S ROAD AND BRIDGE SPECIFICATIONS AND THE VIRGINIA TEST METHODS MANUAL

4. AGGREGATE SHALL BE PLACED IN 8 (EIGHT) INCH MAXIMUM LIFTS. FOR 10 (TEN) INCH AGGREGATE LAYER, THE AGGREGATE SHALL BE PLACED IN TWO 5 (FIVE) INCH LIFTS.



LOCATION DETAIL FOR DI-3B (PRECAST)



FRAME & COVER (TYP.) FINISHED GRADE -PAVED INVERT (TYP.

NO SCALE

SANITARY SEWER HORIZONTAL AND SLOPE DISTANCE DETAIL NO SCALE

SITE AND ZONING TABULATIONS

CURRENT ZONING: R-12 PROPOSED USE: SINGLE FAMILY DETACHED DWELLINGS SITE ACREAGE: 10.7+/- ACRES PROPOSED NUMBER OF LOTS: 25 MINIMUM LOT AREA REQUIRED: 12,000 S.F. MINIMUM FRONTAGE REQUIRED: 80' MINIMUM REQUIRED YARD SETBACKS: MINIMUM FRONT: 20' MAXIMUM FRONT: NONE MINIMUM REAR: 30' MINIMUM COMBINED SIDE YARDS: 18' MINIMUM INDIVIDUAL SIDE YARD: 8'

MAXIMUM HEIGHT ALLOWED: 35' MAXIMUM FLOOR AREA RATIO: NONE MAXIMUM IMPERVIOUS SURFACE RATIO: 50%

GENERAL NOTES

- THE PROPERTY SHOWN ON THESE PLANS IS LOCATED AT ROANOKE CITY TAX ASSESSMENT MAP No. 5080310.
 - OWNER/DEVELOPER: MAPLE LEAF FARMS, LLC (ATTN: JARED SAUNDERS)

214 COBBLE LANE BENT MOUNTAIN, VA 24059 (540) 929-8007

THE BOUNDARY IS THE DIRECT RESULT OF A FIELD SURVEY BY LUMSDEN ASSOCIATES. P.C. DATED 2006.

TOPOGRAPHY DATA BASED ON A FIELD SURVEY BY LUMSDEN ASSOCIATES, P.C. IN 2006. A TITLE REPORT WAS FURNISHED FOR THIS PROJECT. TITLE REPORT PREPARED BY FIDELITY NATIONAL TITLE INSURANCE COMPANY DATED SEPTEMBER 20, 2008,

COMMITMENT #FN-20294. THE DEVELOPMENT SHOWN ON THESE PLANS SHALL BE SERVED BY WESTERN VIRGINIA WATER AUTHORITY WATER AND SANITARY SEWER.

THE PROPERTY ON THESE PLANS SHALL BE ACCESSED BY PUBLIC ROADS. ALL EXTERIOR LIGHTS SHALL BE DESIGNED. ARRANGED, AND LOCATED SO AS NOT TO DIRECT GLARE ON ADJACENT RESIDENTIAL PROPERTIES OR RIGHT OF WAYS. THE MAXIMUM LIGHTING DENSITY AT ADJOINING PROPERTIES OR RIGHT OF WAYS SHALL NOT

EXCEED 0.5 FOOT CANDLES. A SEPARATE SIGN PERMIT WILL BE REQUIRED FOR ANY EXTERIOR SIGNAGE.

NO CONSTRUCTION /FIELD REVISIONS ARE ALLOWED WITHOUT THE APPROVAL OF THE CONSULTING ENGINEER, THE CITY OF ROANOKE, AND/OR THE WESTERN VIRGINIA WATER **AUTHORITY...**

11. IT SHALL BE THE RESPONSIBILITY OF THE DEVELOPER TO CLEAN OUT THE EXISTING STORM SEWER SYSTEM WITHIN EXISTING DEVELOPMENTS SHOULD THESE SYSTEMS BECOME SILTED OR BLOCKED IN ANY WAY DUE TO THE CONSTRUCTION OF THIS PROPOSED DEVELOPMENT.

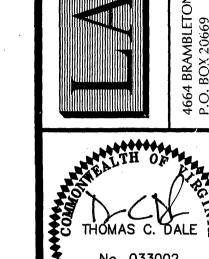
AS EACH LOT IS DEVELOPED A BASIC DEVELOPMENT PLAN MUST BE SUBMITTED TO AND APPROVED BY THE CITY. THE BASIC DEVELOPMENT PLAN WILL BE REVIEWED TO INSURE CONFORMANCE WITH ALL CITY ZONING REGULATIONS INCLUDING, BUT NOT NECESSARILY LIMITED TO, SETBACKS, IMPERVIOUS SURFACE RATIOS, LIGHTING, DRIVEWAY WIDTHS AND SURFACING, AND LANDSCAPING.

CONSTRUCTION NOTES

- ALL CONSTRUCTION SHALL CONFORM TO THE CURRENT CITY OF ROANOKE STANDARDS AND SPECIFICATIONS AND THE CURRENT EDITION OF VDOT'S ROAD AND BRIDGE
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE OWNER AND THE ENGINEER OF ANY CHANGES OR CONDITIONS ATTACHED TO PERMITS OBTAINED FROM ANY AUTHORITY ISSUING PERMITS.
- NO SUBSCIL INVESTIGATIONS HAVE BEEN FURNISHED TO THE DESIGNING ENGINEER. THE CONTRACTOR SHALL VISIT THE SITE AND VERIFY EXISTING CONDITIONS PRIOR TO
- STARTING CONSTRUCTION.
- THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL EXISTING UTILITIES PRIOR TO
- ALL WATER CONNECTIONS TO EXISTING LINES SHALL BE COORDINATED WITH AND
- PERFORMED BY THE WESTERN VIRGINIA WATER AUTHORITY. L SARITARY SEWER CONNECTIONS TO EXISTING LINES SHALL BE PERFORMED BY THE
- CONTRACTOR WITH A WESTERN VIRGINIA WATER AUTHORITY INSPECTOR ONSITE. SEE VOOT ROAD AND BRIDGE STANDARDS FOR CONCRETE CURB AND STORM DRAINAGE
- THE CONTRACTOR AND OR OWNER SHALL PROVIDE A STORAGE CONTAINER FOR TEMPORARY STORAGE AND DISPOSAL OF LAND CLEARANCE DEBRIS AND BUILDING

MATERIALS. ON-SITE BURIAL OF MATERIAL SHALL NOT BE PERMITTED. **GRADING NOTES**

- AREAS TO BE GRADED SHALL BE CLEARED OF ALL VEGETATION, STRUCTURES, AND OTHER PHYSICAL FEATURES IN PREPARATION OF GRADING.
- TOPSOIL SHALL BE REMOVED FROM THE CLEARED AREA AND STOCKPILED FOR FUTURE
- FILL MATERIAL SHALL BE FREE FROM ORGANIC MATTER AND ROCKS LARGER THAN 8
- INCHES IN DIAMETER.
- FILL MATERIAL SHALL BE PLACED AND COMPACTED IN EIGHT (8) INCH LOOSE LIFTS AND COMPACTED TO AT LEAST NINETY-FIVE (95) PERCENT OF THE MATERIAL'S MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D698, STANDARD PROCTOR. MAINTAIN MOISTURE CONTENT OF FILL MATERIAL WITHIN THREE (3) PERCENT OF OPTIMUM TO ATTAIN
- REQUIRED COMPACTION DENSITY. NO SUBSURFACE SOILS INFORMATION HAS BEEN FURNISHED TO THE DESIGNING ENGINEER (LUMSDEN ASSOCIATES, P.C.). A QUALIFIED GEOTECHNICAL ENGINEER, LICENSED IN THE STATE OF VIRGINIA, SHOULD BE CONSULTED CONCERNING SOIL STABILITY, SLOPE STABILIZATION, SOIL COMPACTION, TESTING, AND OTHER SOIL CHARACTERISTICS. LUMSDEN ASSOCIATES ASSUMES NO RESPONSIBILITY OR LIABILITY RELATING TO FAILURES RESULTING FROM SAME.



LUMSDEN ASSOCIATES, P.C. ENGINEERS-SURVEYORS-PLANNERS ROANOKE, VIRGINIA

OTI DE

ARM

June 14, 200

NONE OMMISSION NO: 2006-276

SHEET 2 OF 12