

I hereby certify to McDonald's USA LLC, McDonald's Corporation, McDonald's Real Estate Company and Fidelity National Title Insurance Company that this plan has been compiled from a survey actually made on the ground under my supervision on August 24, 2007, that it is correct and complies with the requirements provided by McDonald's Corporation.

Date: _____ (include revisions)
Signed: _____, PLS
Registration Number: No.-1829

Preliminary

LEGAL DESCRIPTION

Beginning at an iron pipe found in the eastern margin of Williamson Road NE having NAD83/VAGRID/CORS96/EP0CH2002 grid coordinates of Northing: 3,626,378.16 feet, Easting: 11,065,698.02 feet, also being an iron pipe at the southwestern corner of now or formerly, Big Lick Realty Corporation as recorded in Deed Book 1149, Page 61, Deed Book 1137, Pages 301, 302, 304, 306, 308, 309, 315, and Deed Book 1138, Page 10, in the Roanoke County Circuit Court Clerk's Office; thence, along the southern line of said Big Lick Realty Corporation, South 88 degrees 08 minutes 39 seconds East 202.18 feet to an iron pipe set at the northwestern corner of now or formerly, The Branch Group, Inc., as recorded in Deed Book 1687, Page 819, as recorded in the Roanoke County Circuit Court Clerk's; thence, along the western line of The Branch Group, Inc., South 02 degrees 03 minutes 26 seconds West 203.13 feet to an iron pipe found in the northern margin of Rutherford Avenue, NE; thence, along the northern margin of Rutherford Avenue, NE, North 87 degrees 56 minutes 34 seconds West 200.00 feet to an iron pipe set; thence, a curve to the right having a radius of 42.00 feet with a chord bearing and distance of North 41 degrees 11 minutes 23 seconds West 61.19 feet to an iron pipe set at the intersection of the northern margin of Rutherford Avenue, NE and the western margin of Williamson Road NE; thence, along the western margin of Williamson Road NE, North 40 degrees 53 minutes 18 seconds East 31.62 feet to an nail set; thence, a curve to the left having a radius of 587.12 feet with a chord bearing and distance of North 10 degrees 33 minutes 39 seconds East 134.70 feet to the point of beginning, containing 44,106 square feet (1.013 acres).

LEGEND

- IRON PIPE FOUND
- IRON PIPE SET
- CURB INLET
- DRAINAGE MANHOLE
- ENERGY MANHOLE
- LIGHT POLE
- TRANSFORMER
- ENERGY METER
- POWER BOX
- SANITARY MANHOLE
- SANITARY SEWER CLEANOUT
- FIRE HYDRANT
- WATER MANHOLE
- GAS MANHOLE
- GAS VALVE
- COMMUNICATIONS MANHOLE
- TELEPHONE PEDESTAL
- MONITORING WELL
- TRAFFIC CONTROL BOX
- SIGN
- BOLLARD
- GATE POST
- FINISHED FLOOR ELEVATION
- SPOT ELEVATION

- CONCRETE SURFACE
- LANDSCAPE AREA
- TILE SURFACE

- P.O.B. POINT OF BEGINNING
- RCP REINFORCED CONCRETE PIPE
- DIP DUCTILE IRON PIPE
- N/F NOW OR FORMERLY
- CLS ZONING TYPE: COMMERCIAL-LARGE SITE DISTRICT
- CG ZONING TYPE: COMMERCIAL-GENERAL DISTRICT

LINE LEGEND

- SANITARY SEWER
- STORM DRAIN
- OVERHEAD UTILITY
- CHAIN LINK FENCE

NOTES:

- SITE IS ALL OF: FRANCHISE REALITY INTERSTATE CORPORATION, TAX NUMBER: 3025003; DEED BOOK 1402, PAGE 174; LOT 5A, DEED BOOK 1402, PAGE 182, AS RECORDED IN THE ROANOKE COUNTY CIRCUIT COURT CLERK'S.
- ALL DISTANCES ARE HORIZONTAL GROUND, UNLESS OTHERWISE NOTED.
- INFORMATION SHOWN HEREON IS FROM DIRECT FIELD DATA COLLECTED AUGUST 16-24, 2007.
- AREA: 44,106 SF (1.013 ACRES)
- THE SURVEYOR MAKES NO GUARANTEES THAT THE UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.
- ZONED: CG, COMMERCIAL-GENERAL DISTRICT
- THE PROPERTY IS NOT LOCATED IN A SPECIAL FLOOD HAZARD AREA AS DETERMINED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY COMMUNITY PANEL NO: 51161C0049D 0130; DATED: _____
- VERTICAL DATUM: NAVD83
- PARKING STALLS: 47 STANDARD
2 HANDICAPPED
49 TOTAL

DIMENSIONAL REQUIREMENTS

Minimum Lot Area: 10,000 SF
Maximum Lot Area: 130,680 SF
Minimum Lot Width: 100'
Minimum Street Frontage: 100'
Minimum Front Yard: 10'
Maximum Front Yard: 30'
Minimum Side Yard: Where a buffer yard is required, as set forth in Section 36.2-647(c), that is greater than the required minimum side yard established in Table 314-1, including where no minimum side yard is required, the required buffer yard shall govern the minimum side yard requirement.
Minimum Rear Yard: Where a buffer yard is required, as set forth in Section 36.2-647(c), that is greater than the required minimum rear yard established in Table 314-1, including where no minimum rear yard is required, the required buffer yard shall govern the minimum rear yard requirement.
Maximum Building Height: There shall be no maximum height of structures in the CG District, except that where a lot in the CG District abuts a residential district, the maximum height of any structure in the CG District shall be forty-five (45) feet.
Maximum Floor Area Ratio: 5.0
Maximum Impervious Surface Ratio: 85%

STATION	LAT (N)	LONG (W)	GRS 80 HEIGHT	CEOID 99 HT	DATUM
- DOBSON CORS ARP	36° 25' 31.51470"	80° 43' 11.71125"	340.652 M	-33.27 M	NAD 83(2002)
- BLACKSBURGVA2006 CORS ARP	37° 12' 40.62807"	80° 25' 13.80840"	607.020 M	-31.91 M	NAD 83(2002)
- MASSIE CORS ARP	37° 22' 32.07114"	79° 07' 35.67586"	265.101 M	-31.73 M	NAD 83(2002)

GPS OBSERVATION PERFORMED ON 08-17-2007

IRON PIPE FOUND
NAD83/VAGRID/CORS96/EP0CH2002
NORTHING: 3,626,378.16
EASTING: 11,065,698.02
ELEVATION: 941.84
COMBINED FACTOR: 0.99999854

Tax Number: 3024002
N/F: Big Lick Realty Corporation
Deed Book 1149 Page 61
Deed Book 1137 Page 301
Deed Book 1137 Page 302
Deed Book 1137 Page 304
Deed Book 1137 Page 308
Deed Book 1137 Page 309
Deed Book 1137 Page 315
Deed Book 1138 Page 10

Zoning: CLS

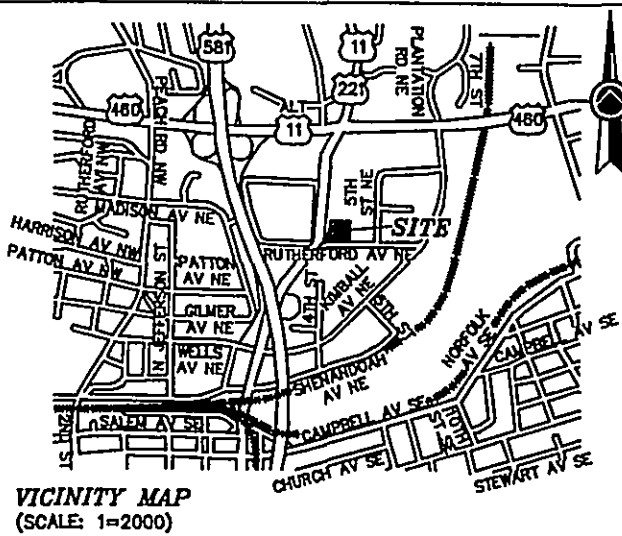
Tax Number: 3025004
N/F: The Branch Group, Inc.
Deed Book 1687 Page 819
Zoning: CG

5B

DB 1423 PG 517



NAD83/VAGRID
CORS96/EP0CH2002



Preliminary

Site # 45-0076
ALTA/ACSM LAND TITLE SURVEY
Franchise Realty Interstate Corporation
701 Williamson Road NE
Roanoke, Roanoke County
Virginia

Regional Land Surveyors, Inc.

8642 WEST MARKET STREET, SUITE 100
GREENSBORO, NORTH CAROLINA 27409
TELEPHONE (336) 665-8155

JOHN 930.00 | DRAWN BY: HAD | DATE: 08-20-2007 | CREW CHIEF: DGC

Survey for:
McDonald's USA, LLC - Raleigh Region
4801 Six Forks Road Suite 200
Raleigh, North Carolina 27609
(919) 876-9716

GRAPHIC SCALE



(IN FEET)
1 inch = 20 ft