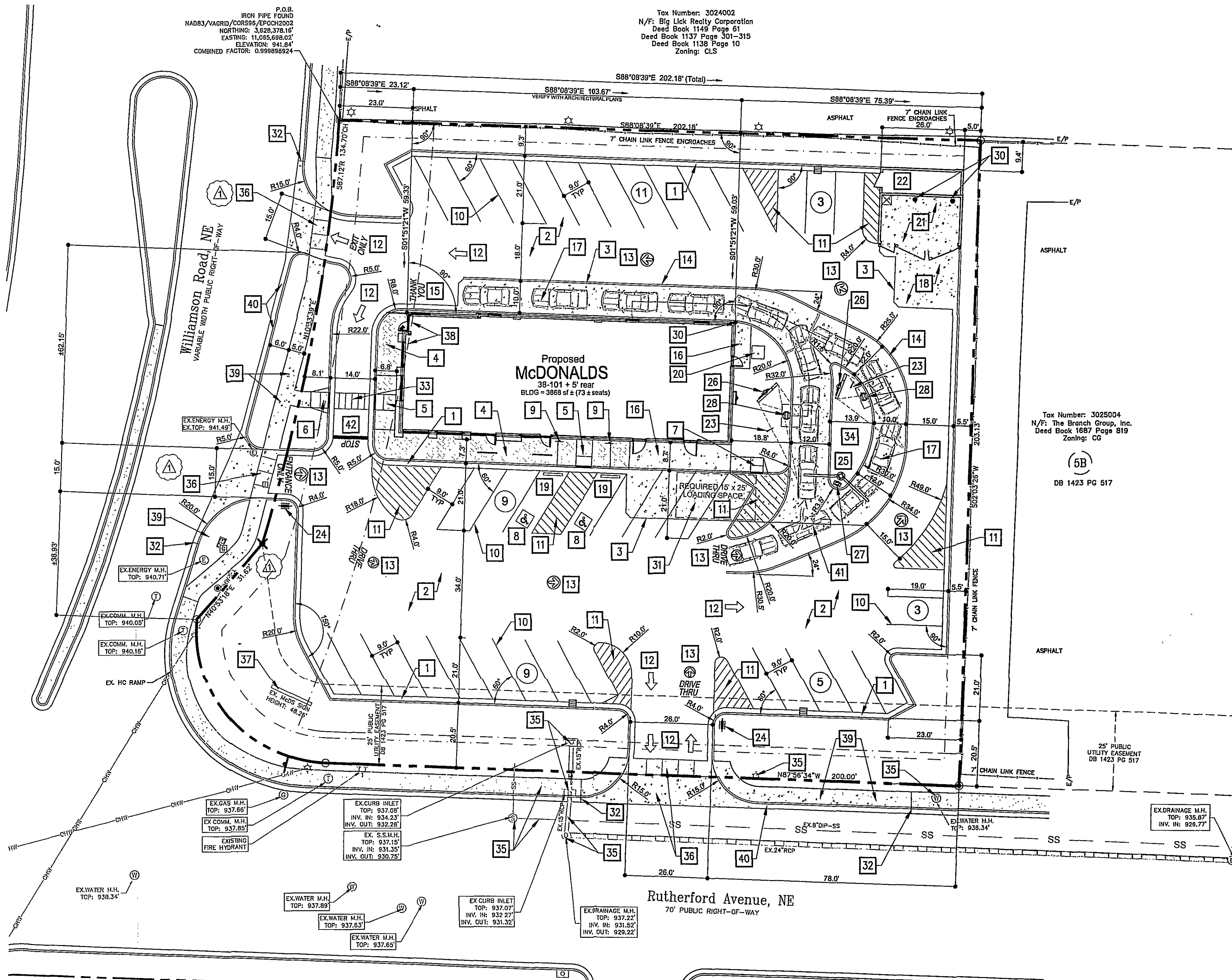


SITE KEY NOTES:

- CONSTRUCT 2' CURB AND GUTTER PER DETAIL SHEET
- ASPHALT PAVEMENT PER SOILS REPORT SPECIFICATIONS
- TRANSITION FROM ASPHALT TO CONCRETE PAVEMENT PER DETAIL SHEET
- CONSTRUCT CONCRETE WALK WITH TILE SURFACE PER McDONALD'S SPECS
- CONSTRUCT FLUSH CONCRETE H.C. RAMP "TYPE 1" PER DETAIL SHEET
- CONSTRUCT FLUSH CONCRETE H.C. RAMP "TYPE 2" PER DETAIL SHEET
- DELIVERY RAMP PER DETAIL SHEET
- PAINT H.C. SYMBOL PER DETAIL SHEET
- INSTALL H.C. SIGN PER DETAIL SHEET
- PAINT 4" WIDE STRIPE, WHITE
- PAINT 4" WIDE STRIPES, WHITE @ 45° 2'-0" O.C.
- PAINT TRAFFIC ARROWS PER DETAIL SHEET
- PAINTED "DRIVE-THRU" DIRECTIONAL ARROW, YELLOW, COORDINATE WITH McDONALD'S CONSTRUCTION MANAGER
- PAINT 6" WIDE YELLOW STRIPE ON ASPHALT FROM EDGE OF CONCRETE DRIVE-THRU LANE
- PAINTED "THANK YOU" LETTERING PER DETAIL SHEET, COORDINATE WITH McDONALD'S CONSTRUCTION MANAGER FOR SPECIFICATIONS AND TO VERIFY FINAL LOCATION.
- CONSTRUCT CONCRETE SIDEWALK PER DETAIL SHEET
- CONCRETE PAD @ DRIVE-THRU WITH 10' CONTROL JOINTS AND 20' EXPANSION JOINTS OR PER SOILS REPORT SPECIFICATIONS
- CONSTRUCT CONCRETE DUMPSTER PAD PER SOILS REPORT SPECIFICATIONS
- CONCRETE WHEEL STOP PER DETAIL SHEET
- CONCRETE TRANSFORMER PAD (COORDINATE SIZE AND LOCATION WITH LOCAL POWER COMPANY)
- CONSTRUCT DUMPSTER ENCLOSURE (TO MATCH BUILDING) PER DETAIL SHEET
- 8' X 26' STORAGE SHED (PER DETAIL SHEET), EXTERIOR FINISH TO MATCH DUMPSTER ENCLOSURE
- "PLEASE HAVE MONEY..." SIGN SUPPLIED BY AND INSTALLED BY SIGN CONTRACTOR
- DIRECTIONAL SIGNAGE (PER DETAIL SHEET): GALVANIZED ANCHOR BOLTS, 6" ABOVE GRADE, FOOTINGS AND ELECTRICITY BY GENERAL CONTRACTOR, SIGN INSTALLED BY SIGN CONTRACTOR, CONTRACTOR TO COORDINATE WITH McDONALD'S CONSTRUCTION MANAGER
- GATEWAY SIGN (PER DETAIL SHEET): GALVANIZED ANCHOR BOLTS, (6" ABOVE GRADE), FOOTINGS AND ELECTRICITY BY GENERAL CONTRACTOR, SIGN INSTALLED BY SIGN CONTRACTOR, CONTRACTOR TO COORDINATE WITH McDONALD'S CONSTRUCTION MANAGER
- MENU BOARD (PER DETAIL SHEET): GALVANIZED ANCHOR BOLTS, (6" ABOVE GRADE), FOOTINGS AND ELECTRICITY BY GENERAL CONTRACTOR, SIGN INSTALLED BY SIGN CONTRACTOR, CONTRACTOR TO COORDINATE WITH McDONALD'S CONSTRUCTION MANAGER
- VERTICAL PREVIEW "PRE-SELL" BOARD (PER DETAIL SHEET): GALVANIZED ANCHOR BOLTS, (6" ABOVE GRADE), FOOTINGS AND ELECTRICITY BY GENERAL CONTRACTOR, SIGN INSTALLED BY SIGN CONTRACTOR, CONTRACTOR TO COORDINATE WITH McDONALD'S CONSTRUCTION MANAGER
- CUSTOMER ORDER DISPLAY WITH DETECTOR LOOP AND DRIVE-THRU CANOPY (PER DETAIL SHEET): GALVANIZED ANCHOR BOLTS, (6" ABOVE GRADE), FOOTINGS AND ELECTRICITY BY GENERAL CONTRACTOR, SIGN INSTALLED BY SIGN CONTRACTOR, G.C. TO COORDINATE WITH McDONALD'S CONSTRUCTION MGR.
- NOT USED
- STEEL PIPE BOLLARD PER DETAIL SHEET
- DESIGNATED LOADING / UNLOADING SPACE AREA (SIZE = 15' wide x 25' deep).
- TIE CURB AND GUTTER INTO EXISTING AT THIS POINT, COORDINATE WITH McDONALD'S CONSTRUCTION MANAGER.
- PAINTED PEDESTRIAN CROSSWALK PER DETAIL SHEET
- REFER TO SHEET C-7 FOR ADDITIONAL DRIVE-THRU STAKING INFORMATION.
- PROTECT EXISTING UTILITIES TO REMAIN-TYPICAL. G.C. TO CONTACT ALL APPLICABLE UTILITY COMPANIES TO INSURE THE UTILITIES ARE PROPERLY SHUT-DOWN PRIOR TO THE START OF ANY SITE AND/OR DEMOLITION WORK.
- STANDARD CONCRETE DRIVEWAY ENTRANCES PER CITY OF ROANOKE STANDARDS AND SPECIFICATIONS, G.C. TO PROVIDE LEVEL PEDESTRIAN SURFACE ACROSS DRIVEWAYS AS SHOWN ON PLANS.
- PROTECT EXISTING ROAD SIGN TO REMAIN.
- G.C. TO VERIFY APPROXIMATELY 29.93' (OR 76.10%) OF TOTAL FRONT BUILDING ELEVATION OF 39.33' (TOTAL) IS WITHIN REQUIRED 30' MAXIMUM BUILDING SETBACK ALONG WILLIAMSON ROAD STREET FRONTAGE.
- NEW CONCRETE SIDEWALK (INTENDED TO MATCH EXISTING) TO THE CITY OF ROANOKE STANDARDS AND DETAIL PLACED 6 FEET BEHIND BACK OF CURB ALONG WILLIAMSON ROAD.
- NEW CURB AND GUTTER (INTENDED TO MATCH EXISTING) TO THE CITY OF ROANOKE STANDARDS AND DETAIL.
- PAINTED SIDE BY SIDE DRIVE-THRU DIRECTIONAL ARROW, COORDINATE WITH McDONALD'S CONSTRUCTION MANAGER FOR DETAIL AND TO VERIFY FINAL PLACEMENT LOCATION.
- PAINTED STOP BAR AND LETTERING. COORDINATE WITH McDONALD'S CONSTRUCTION MANAGER FOR DETAIL.

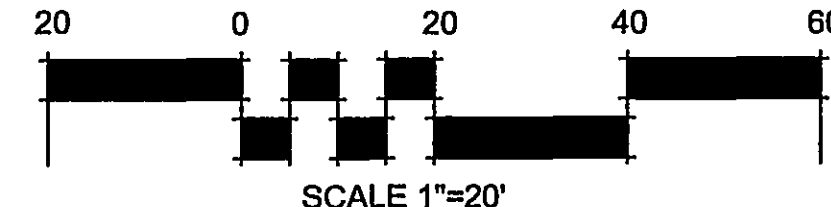


SITE INFORMATION

SITE ADDRESS:	701 WILLIAMSON ROAD	TOTAL BUILDING AREA:	± 3868 SF
OWNER / CLIENT:	McDONALD'S USA, LLC 4601 SIX FORKS ROAD SUITE 200 RALEIGH, N.C. 27609 TELEPHONE: (919) 876-9716 FAX: (919) 326-4215	MAP REFERENCE INFO:	TAX # 3025003 DB 1402, PG 174 LOT 5A DB 1402, PG 182
ZONING:	CG (COMMERCIAL-GENERAL DISTRICT)	SITE AREA:	1.013 ACRES
EXISTING USE:	RESTAURANT WITH DRIVE-THRU	DISTURBED AREA:	1.008 ACRES
PROPOSED USE:	RESTAURANT WITH DRIVE-THRU	IMPERVIOUS AREA:	0.778 ACRES
BUILDING SETBACKS:		% OF IMPERVIOUS AREA:	76.80%
FRONT	10' MIN / 30' MAX	DESIGNER:	STIMMEL ASSOCIATES, PA 601 N. TRADE STREET SUITE 200 WINSTON-SALEM, NC 27101 Phone: 336-723-1067 Fax: 336-723-1069
SIDE	R - 10', L - 0'		
REAR	0		
PARKING REQUIREMENTS:	calculated at: 1 SPACE PER 60 SF OF SEATING AREA ± 1125 s.f. of Seating Area / 60 = 18.75 19 Parking Spaces Required		
PARKING PROVIDED:	38 STANDARD SPACES 2 HANDICAP SPACES 40 TOTAL SPACES		
		SUBJECT PROPERTY IS NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD ZONE AS DEFINED BY F.E.M.A. MAP PANEL NUMBER 51161C0046D 0130.	

*EXISTING IMPERVIOUS CALCULATIONS:			
BUILDING:	0.079 ac.	7.80 %	
PAVEMENT:	0.722 ac.	71.27 %	
OPEN SPACE:	0.212 ac.	20.93 %	
TOTAL SITE:	1.013 ac.	100 %	
TOTAL IMPERVIOUS:	0.801 ac.	79.07 %	
*PROPOSED IMPERVIOUS CALCULATIONS:			
BUILDING:	0.089 ac.	8.79 %	
PAVEMENT:	0.689 ac.	68.02 %	
OPEN SPACE:	0.235 ac.	23.20 %	
TOTAL SITE:	1.013 ac.	100 %	
TOTAL IMPERVIOUS:	0.778 ac.	76.80 %	
NET DECREASE OF IMPERVIOUS: 0.023 AC - 2.27%			

SAPA PROJECT # 07-240



GENERAL SITE NOTES:

- THE CONTRACTOR SHALL VERIFY LOCATION AND ELEVATION OF ALL UNDERGROUND UTILITIES. THE LOCATION OF ALL EXISTING UTILITIES ARE NOT NECESSARILY SHOWN ON THE PLANS AND WHERE SHOWN ARE ONLY APPROXIMATE. THE CONTRACTOR SHALL ON HIS INITIATIVE AND AT NO EXTRA COSTS HAVE LOCATED ALL UNDERGROUND LINES AND STRUCTURES AS NECESSARY. NO CLAIMS FOR DAMAGES OR EXTRA COMPENSATION SHALL ACCRUE TO THE CONTRACTOR FROM THE PRESENCE OF SUCH PIPE, OTHER OBSTRUCTIONS OR FROM ANY DELAY DUE TO REMOVAL OR REARRANGEMENT OF THE SAME. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO UNDERGROUND STRUCTURES. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING ALL NON-SUBSCRIBING UTILITIES. THE CONTRACTOR SHALL CONTACT MISS UTILITY OF VIRGINIA AT 1-800-552-7001 ASSISTANCE IN LOCATING EXISTING UTILITIES. CALL AT LEAST 48 HOURS PRIOR TO ANY DIGGING.
- THE LOCATIONS OF ALL UTILITIES SHOWN ON THESE PLANS ARE BASED ON THE AVAILABLE INFORMATION. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF UTILITIES WITH THE UTILITY OWNERS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- PRIOR TO STARTING CONSTRUCTION, THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION OF ANY ITEM SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED ALL PLANS AND ANY OTHER DOCUMENTATION FROM ALL OF THE PERMITTING AND ANY OTHER REGULATORY AUTHORITIES. FAILURE OF THE CONTRACTOR TO FOLLOW THIS PROCEDURE SHALL CAUSE THE CONTRACTOR TO ASSUME FULL RESPONSIBILITY FOR ANY SUBSEQUENT MODIFICATION OF THE WORK REQUIRED BY ANY REGULATORY AUTHORITY. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH PERMITS ISSUED AND APPLICABLE STATE, COUNTY AND LOCAL CODES.
- THE GENERAL CONTRACTOR SHALL CONTACT ALL OWNERS OF EASEMENTS, UTILITIES AND RIGHT-OF-WAYS, PUBLIC OR PRIVATE, PRIOR TO WORKING IN THESE AREAS. ACCESS SHALL BE LIMITED UNTIL PERMISSION IS GRANTED.
- CONTRACTOR SHALL MAINTAIN THE SITE IN A MANNER SO THAT WORKMEN AND PUBLIC SHALL BE PROTECTED FROM INJURY, AND ADJOINING PROPERTY PROTECTED FROM DAMAGE.
- CONTRACTOR IS RESPONSIBLE FOR DAMAGE TO ANY EXISTING ITEM AND/OR MATERIAL, INSIDE OR OUTSIDE CONTRACT LIMITS DUE TO CONSTRUCTION OPERATIONS.
- ALL SITE DIMENSIONS ARE TO THE FACE OF CURB, UNLESS OTHERWISE NOTED.
- THE GENERAL CONTRACTOR SHALL KEEP THE AREA OUTSIDE THE "CONSTRUCTION LIMITS" BROOM CLEAN AT ALL TIMES AND REMOVE ALL TRASH AND DEBRIS FROM THE SITE UPON COMPLETION OF THE PROJECT AND AT LEAST ONCE A WEEK DURING CONSTRUCTION.
- BEFORE COMMENCEMENT OF WORK, THE CONTRACTOR SHALL REVIEW ALL PLANS AND SPECIFICATIONS AND THE JOB SITE. THE CONTRACTOR SHALL NOTIFY THE OWNER AND THE ENGINEER WHO PREPARED THE PLANS OF ANY DISCREPANCIES THAT MAY REQUIRE MODIFICATIONS TO THESE PLANS OR OF ANY FIELD CONFLICTS.
- ALL PERMITS RELATIVE TO THE PROJECT MUST BE OBTAINED, PRIOR TO CONSTRUCTION. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH PERMITS ISSUED AND APPLICABLE STATE, COUNTY AND LOCAL CODES.
- ALL WORK IN RIGHT-OF-WAY MUST COMPLY WITH THE CITY OF ROANOKE RIGHT-OF-WAY AND EXCAVATION STANDARDS.
- CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY, AND HOLD THE OWNER AND DESIGN PROFESSIONAL HARMLESS OF ANY AND ALL LIABILITY, REAL OR ALLEGED IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, ACCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR DESIGN PROFESSIONAL.
- SUBJECT PROPERTY IS NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD ZONE AS DEFINED BY F.E.M.A. MAP PANEL NUMBER 51161C0046D 0130.

PAVING SPECIFICATIONS

CONTRACTOR TO REFER TO SOILS REPORT FOR SITE SPECIFIC PAVEMENT SPECIFICATIONS.

NOTE: McDONALD'S ENGINEER RESERVES THE RIGHT TO REQUEST A COMPACTION TEST AND/OR A CORE SAMPLE, IF TESTS PROVE CORRECT, PER ABOVE SPECIFICATION, TESTS WILL BE AT THE EXPENSE OF McDONALD'S, OTHERWISE, GENERAL CONTRACTOR WILL BE CHARGED.

PARKING INFORMATION

TOTAL SPACES	2	HANDICAP SPACES	8.0' X 21.0' @ 60'
	32	SPACES	9.0' X 21.0' @ 60'
	3	SPACES	9.0' X 21.0' @ 90'
	3	SPACES	9.0' X 19.0' @ 90'

UTILITY INFORMATION

SIZE	TYPE	LOCATION
SANITARY SEWER	8" DIP IN RUTHERFORD AVE.	
WATER	12" LINE - WILLIAMSON ROAD	
STORM SEWER	EXISTING SYSTEM TIES IN TO MANHOLE. 24" RCP IN RUTHERFORD AVE.	
ELECTRIC	OVERHEAD AT SOUTHEAST CORNER OF PROPERTY	
GAS	ALONG WILLIAMSON ROAD	

SURVEY INFORMATION

PREPARED BY: REGIONAL LAND SURVEYORS, INC.
8642 W. MARKET ST. SUITE 100
GREENSBORO, NC 27409
336-655-8155
DATE OF SURVEY: 8-20-07

PLAN SCALE: 1" = 20'

STREET ADDRESS

CITY	STATE
ROANOKE	VIRGINIA
COUNTY	
TAX PIN NUMBER	LOCATION CODE NUMBER
3025003	45-0174
STIMMEL FILENAME:	
07-240BASE.DWG	

Stimmel

Stimmel Associates, PA

Landscape Architecture
Civil Engineering
Land Planning

601 N. Trade Street Suite 200
Winston Salem, NC 27101-2916
P: 336.723.1067 F: 336.723.1069

COMMONWEALTH OF VIRGINIA

DOUGLAS T. STIMMEL

Cert. No. 549

McDonald's

THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF McDONALD'S USA, LLC AND SHALL NOT BE REPRODUCED WITHOUT THEIR WRITTEN PERMISSION.

DATE	BY	REVISION
03/08/08	DS	1
03/08/08	JL	2

STATUS	DATE	BY
FINAL	03/08/08	DS
PLAN CHECKED	03/08/08	JL
AS-BUILT		

C-3

SITE PLAN